

- Identify important features which should be preserved, such as original windows, doors, trim, porches or other elements.

DON'T:

- Strip away architectural features just because they appear to be deteriorated. Maybe they only need a new coat of paint.
- Hesitate to put money into "invisible" work such as improvements to heating, plumbing and wiring. A building cannot function with faulty systems.
- Try to give a building a history it never had. Don't apply "Colonial", "Victorian", "Wild West" or other details to buildings that never had them in Old Hilliard.

BUILDING REHABILITATION

RESIDENTIAL STRUCTURES

The following are recommendations to guide the exterior rehabilitation of various elements of older residential buildings within Old Hilliard. While each element is an important separate element, remember all of a building's components shall interrelate in both their function and design. Many of the principals discussed in the residential section apply as well to commercial buildings. In order to retain the District identity all existing residential buildings should be retained. Before suggested improvements are made it is wise for the property owner to make sure a building is structurally sound and water tight.

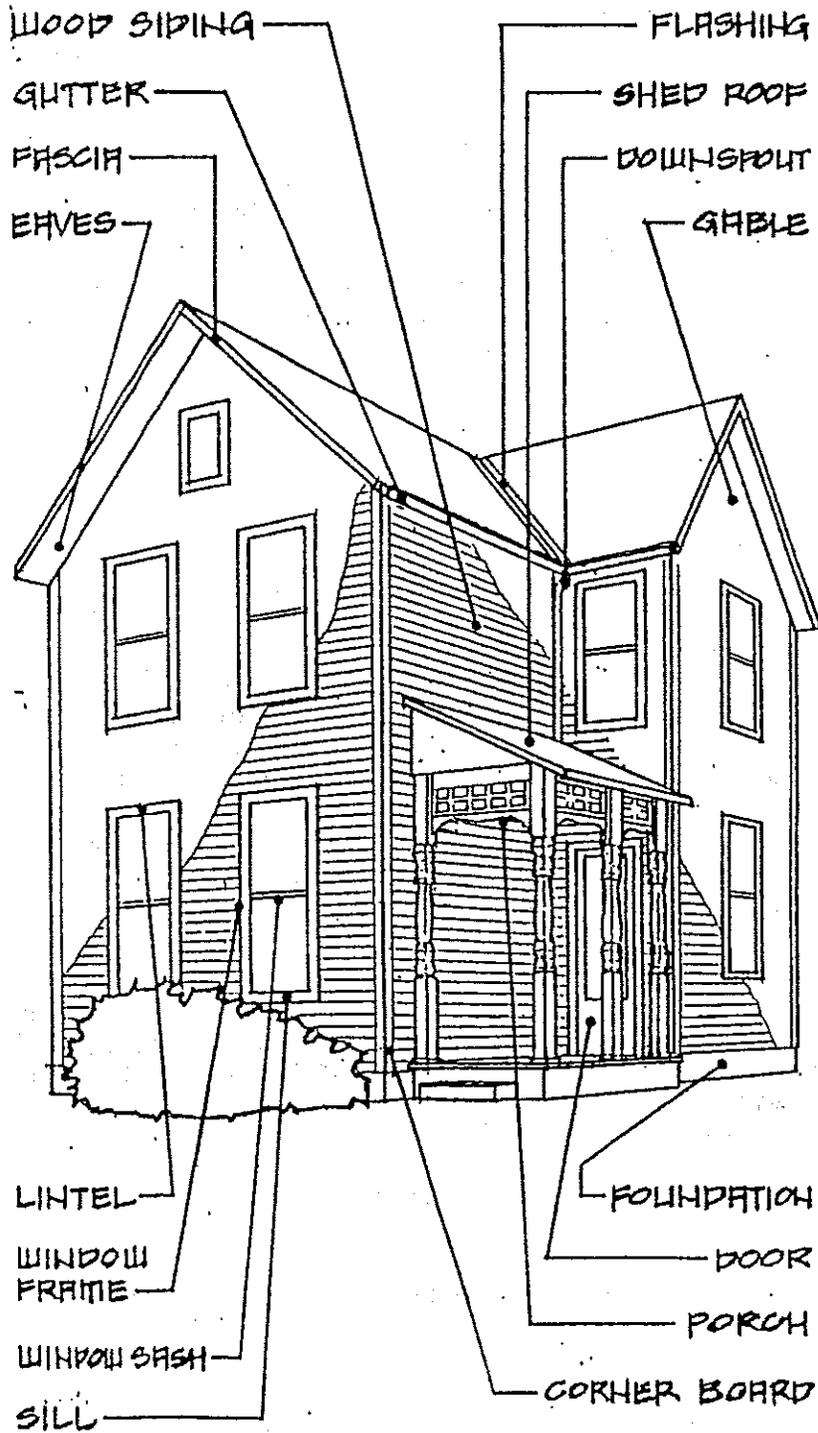
EXTERIOR MATERIALS

The exterior building materials of the same period were of narrow wood siding or brick masonry. It is suggested wall surfaces should maintain these materials or materials should be used which give this same affect.

Siding

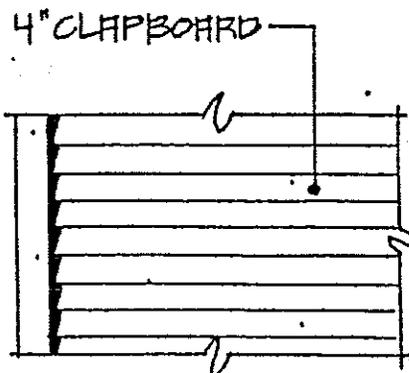
- Materials which simulate brick or stone should be avoided.
- Siding with embossed wood grading should be avoided.
- Nothing herein shall be interpreted as prohibiting the use of aluminum or vinyl siding. However, if vinyl or aluminum siding is used every effort should be made to insure that the spacing or width approximate the original siding.

PARTS OF A RESIDENTIAL STRUCTURE

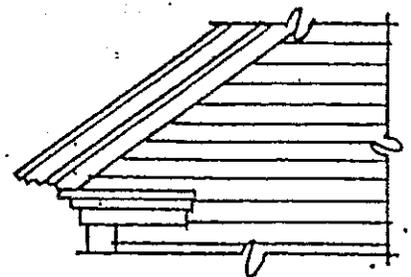


Source: Old Building Owner's Manual by Judith Kitchen
of the Ohio Historic Preservation Office
Ohio Historical Society

- When re-siding a structure, the original corner boards, sills, jambs and other trim material should be maintained in appearance.
- Wood siding is the preferred siding material. Aluminum or vinyl siding may be used if the corner and trim boards are maintained in appearance.
- Keep exterior wood siding painted at all times. Paint protects the wood from moisture and maintains the physical appearance of the building.
- Maintain the original wood siding on your building. Although it may have weathered and turned gray, wood siding is still sound if it resists penetration by a knife or ice pick; it may only need a new coat of paint.
- If artificial siding is to be added, it should be applied only where siding was used in the past. It should be the approximate same width as the original siding used on houses.
- Artificial sidings can be removed from Old Hilliard houses wherever possible to return them to their original appearance. The original wood siding which exists under the artificial covering should be repaired and repainted to return the house to its original appearance.



Corner Boards



Eave

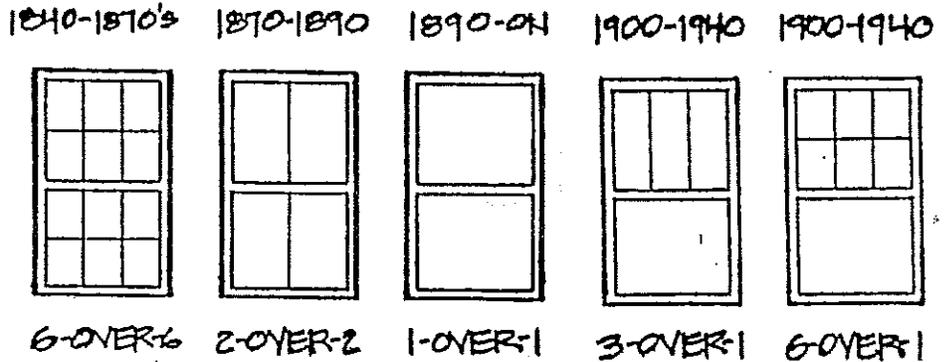
Masonry

Since brick masonry buildings were not as common in Old Hilliard, it is important to maintain their original character and maintain as many structures as possible. It is preferred brick buildings not be painted. However, where that has been done it is best to keep similar surfaces painted the same color. Other suggestions for masonry structures relate in large part to the maintenance of surfaces.

- Since erosion of the masonry occurs when a brick or stone surface is sandblasted, the sandblasting of brick is not recommended under any circumstances.
- Brick, which is a fired material is hardest on the outside. When this outer surface is penetrated, the softer core of the brick is susceptible to more rapid deterioration.
- The visual quality of the brick is also damaged by the loss of sharp corners and delicate features. These roughened surfaces attract dirt and pollutants more quickly than the smooth non-sandblasted surfaces.
- Cleaning of brick buildings is not really necessary and should be avoided. If a brick building is to be cleaned, a gentle cleaning with water or chemical cleaning is recommended.
- The process of removing deteriorated mortar from the joints of a masonry wall and replacing it with new mortar is called tuckpointing. It prevents water leaks and helps to maintain the appearance of the building.
- Tuckpointing or repointing should only be done where necessary.
- New mortar joints should match old joints in color, texture, appearance and tooling. Avoid "peanut butter" joints that are smeared into the surface of the brick.
- Holes in bricks, due to earlier sign supports, cables or brackets, should be repaired.
- Existing concrete block buildings may be treated in a number of ways in Old Hilliard. If the block has a rock face, it is sometimes left unpainted. Other types of concrete block

should be painted. Concrete block may also be faced with brick, aluminum/vinyl, wood or with stucco, depending upon the type of use which the building will have. It is preferred that all concrete block structures other than garages front or rear be faced.

WINDOW TYPES

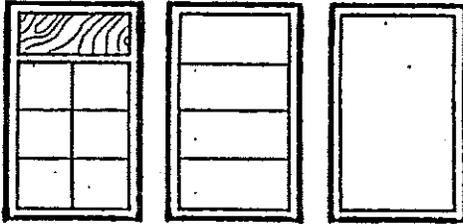


Appropriate Windows for Residential Structures in Old Hilliard

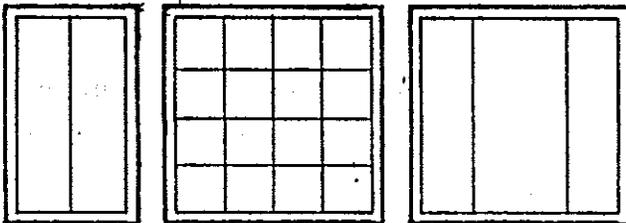
The illustrations depicted are indicative of the window styles appropriate for the time the residential building types were built in Old Hilliard.

- Original window and door openings should be maintained wherever possible.
- Blocking up an existing opening to fit a too-small window (down-sizing) is not recommended.
- When replacing old windows, use windows of the same size and type as the originals to maintain architectural character.
- Raw, "brushed" aluminum should never be used as a finish for storm windows as it is out of character with older structures.
- Enlarging an existing window by replacing it with a picture window, bay window, or other type of "modern" window is not recommended.
- Wood or anodized aluminum storm windows should fit the window opening and consist of clear glass panes. They should blend with the window in shape, color, and appearance.

- If any changes to windows are desired, they should be limited to the rear or side of the building, such as the addition of a greenhouse window. No changes should occur on the front of the structures.



DOWN ALL SINGLE
SIZING HORIZONTAL PANE



VERTICAL ENLARGING ENLARGING
PANES

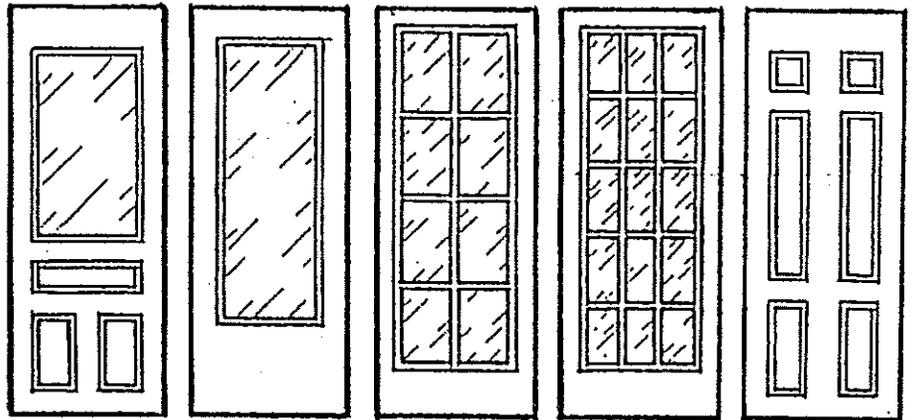
Inappropriate Windows for Residential Structures in Old Hilliard

- Original wood windows should be retained and repaired, rather than replaced. If the window sash is so deteriorated that it has to be replaced, the new sash should match the old as closely as possible. Try not to alter the size of the window lights or sash, as this can destroy the scale and proportion of the building.

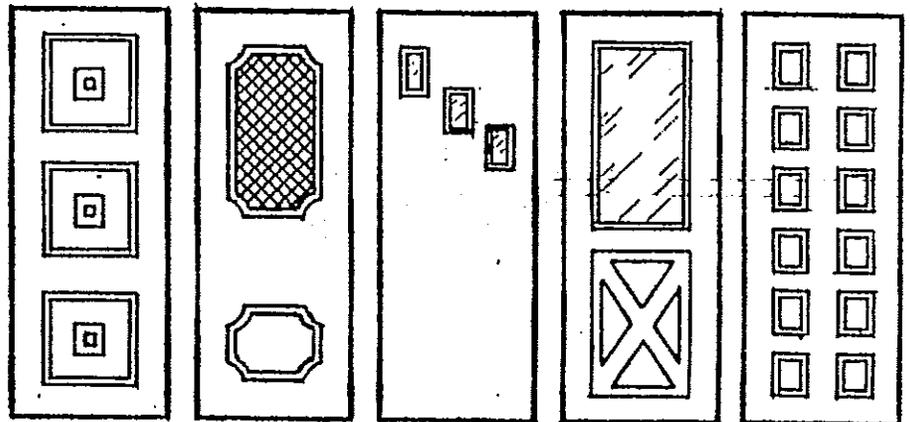
DOOR TYPES

Exterior doors are an integral part of the exterior building fenestration. Some common types found on residential structures in Old Hilliard are illustrated.

- Inappropriate doors, shown above, are styles that are modern (post 1940) and out of character with older buildings in Old Hilliard. These styles may, however, sometimes be used on new buildings.



**Appropriate Doors for Residential Structures
in Old Hilliard**



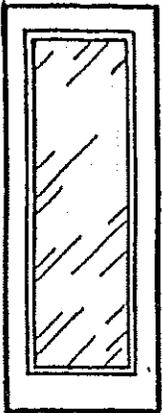
**Inappropriate Doors for Residential Structures
in Old Hilliard**

- If the original door is missing, the replacement should be in keeping with the simple architecture found in Old Hilliard. Simple wood doors with windows in the upper half or full length are commonly found and are illustrated as appropriate styles.
- Original storm doors should be retained where possible. If a storm door is to be added, a simple style with full pane of glass is recommended. Multi-paned doors or the "cross-buck" style of storm door detract from the character of the building.

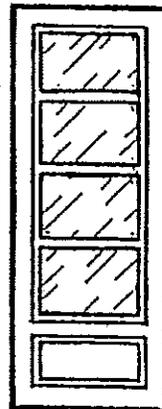
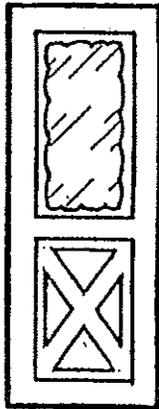
FOUNDATIONS

Acceptable foundation materials which are similar in appearance to the original foundation should be used.

STORM DOORS



Appropriate

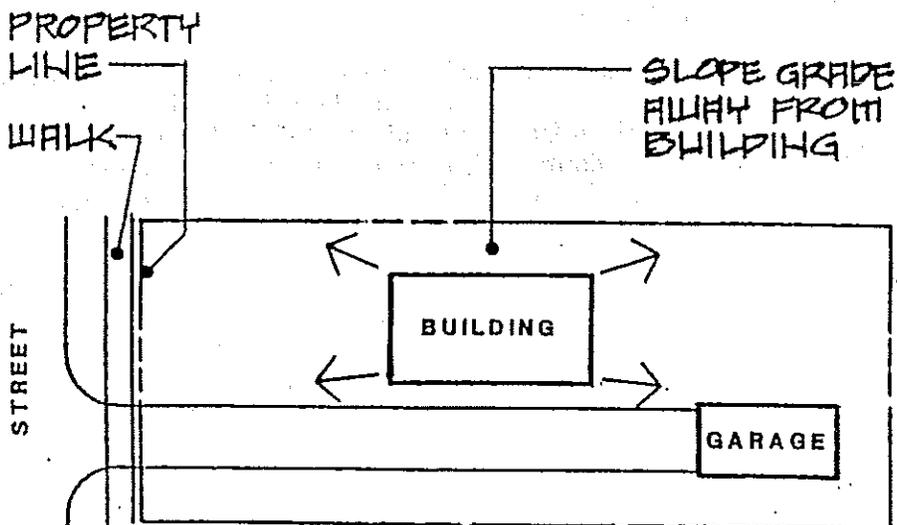


Inappropriate

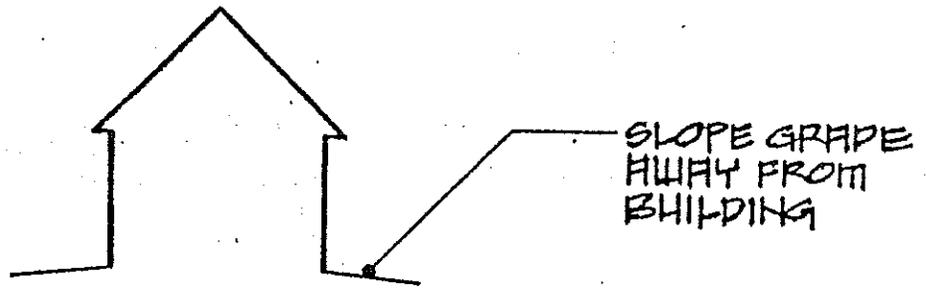
Some common suggestions for the treatment of foundations involve the maintenance of the foundation walls and area immediately around those foundations.

- Inspect the foundation on an annual basis for signs of cracks or slippage and contact a foundation contractor if you suspect that you have an unsound foundation.
- Brick, stone or concrete block foundations should be repointed when the old mortar deteriorates to close up gaps where moisture might penetrate.

GRADING & DRAINAGE



Plan



Elevation

- Keep the foundation free from moisture by making sure that your property's drainage system works to carry water away from the building.
- Avoid cutting or enlarging windows or doors in basement walls as they can remove support from the building, cause settlement and shifting.
- Keep porch foundations open and ventilated by use of a lattice screen.

ROOF TREATMENT

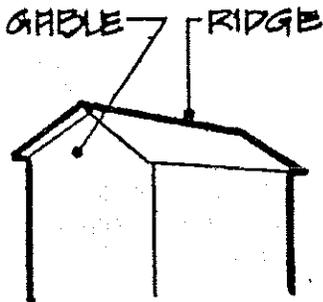
The original roofs of some residential structures were slate, used for its durability, fireproof qualities and aesthetics. Asphalt shingles were first used around the 1890's. Asphalt shingles in slate gray, dark gray and brown were used. Standing seam metal roofs were also used, but were principally a 19th Century phenomenon. Roof treatments for residential structures should follow the following guidelines.

- Avoid the addition of wood shingle mansard roofs.
- Retain the original roofing material where possible. Existing slate roofs in Old Hilliard are significant features that should be repaired rather than replaced.
- When making roof repairs, make sure the new material matches the existing in shape, texture and color. Mismatched roof materials can look haphazard and unattractive.
- Maintain the original roof shape of your building, including any existing dormers. If dormers or skylights are to be added, they should be located toward the rear of the build-

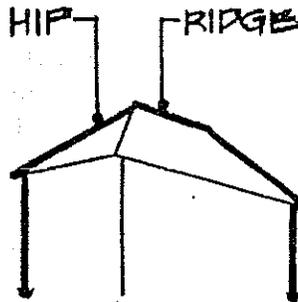
ing on the least visible side of the roof.

- Conduct a regular inspection of your roof every six (6) months. Look for holes or missing pieces in the roof material and inspect the flashing at dormers, chimneys, in valleys and ridges. If a problem exists, don't waste time, make the repairs in a timely manner.

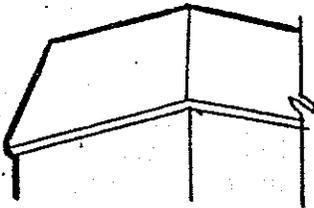
ROOF SHAPE



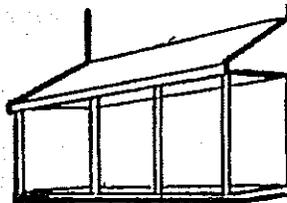
Gable



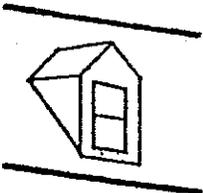
Hip



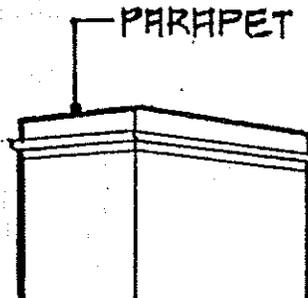
Mansard



Shed



Gabled Dormer

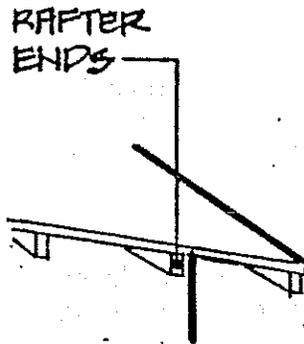


Flat

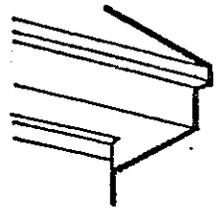
- Asphalt shingle, slate and standing seam roofs are most appropriate on houses in Old Hilliard. Standing seam metal roofs should be painted a dark color, such as gray, red or green, rather than white or silver.

- Aluminum shingles formed to look like wood, asphalt roll roofing and other simulated materials should not be used.
- Mechanical equipment such as air conditioners or condensers, should not be roof mounted on residential structures. If mounted on the roof of a commercial structure, mechanical equipment should be screened by a parapet wall.

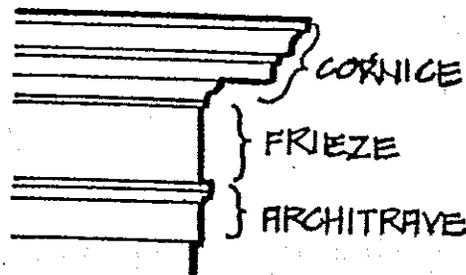
ROOF DETAILS



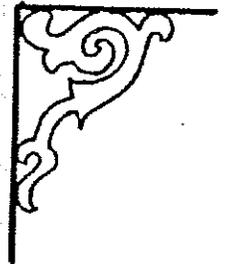
Eaves



Box Cornices



3-Part Entablature



Scroll Brackets

GUTTERS & DOWNSPOUTS

- Downspouts are best placed at corners or in the rear of a building.
- Make sure that gutters and downspouts are kept painted and in good repair. Don't allow rusty looking downspouts to spoil the appearance of your building.
- If replacement is needed, try to match the appearance of the old gutter as closely as possible with existing. Try not to disturb the building's cornice and decorative trim during replacement.

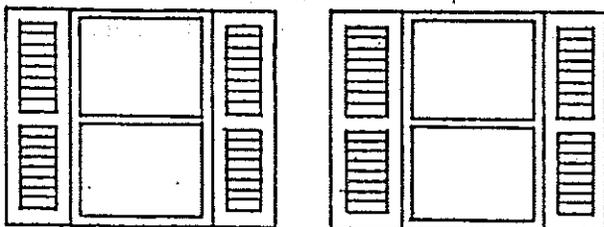
- To ensure proper maintenance check during a heavy rain for excessive dripping, overflowing gutters or water pouring out of downspout seams. Make the repairs in a timely manner.
- Gutters and downspouts should be painted to blend with the background or body color of the building.

ORNAMENTATION

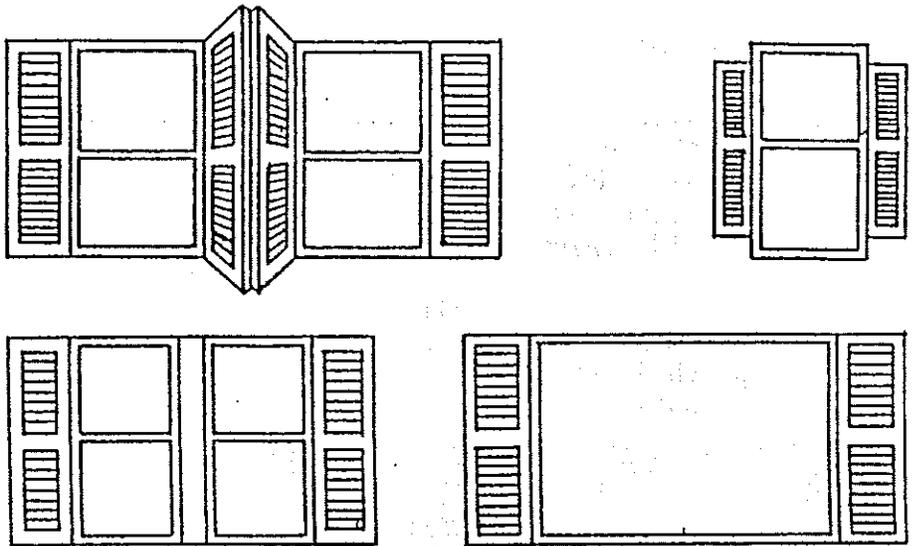
Many houses in Old Hilliard have some fine examples of ornamentation as shown in the illustrations and noted below. Such decorative wood detailing on porches, eaves or at entrance should be maintained and kept painted for their long-term protection. Maintenance and design suggestions are as follows.

- Do not try to add ornamentation to "dress up" a building to make it appear older than it is.
- Maintain brackets and other decorative trim where it appears on Old Hilliard buildings. Keep wood trim painted and in good condition, repairing it as needed.
- If replacement is needed, try to duplicate the trim as closely as possible. Local lumber yards may have stock moldings or may be able to mill a new piece based on a sample.
- Avoid theme decorations that attempt to create a "Colonial", "Victorian", or "Wild West" appearance. Old Hilliard has its own identity and you should let the architecture speak for itself.
- Window shutters were not common on residential structures in Old Hilliard. If used, shutters should be sized and shaped so they exactly fit the window opening when they are closed.

WINDOW SHUTTERS



Appropriate Shutters



Inappropriate Shutters

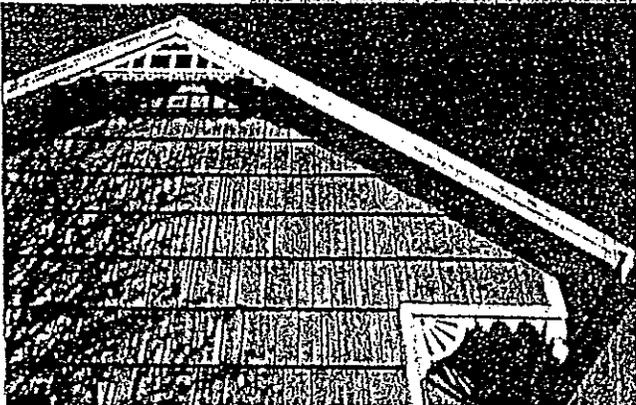
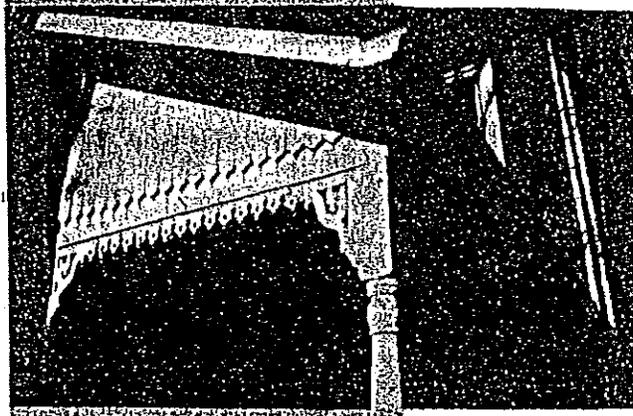
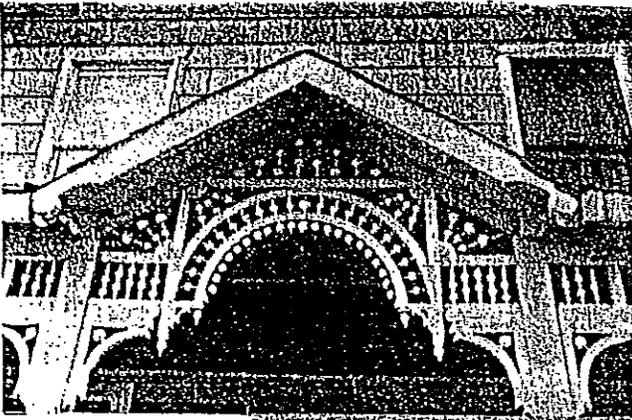
PORCHES AND AWNINGS

Porches were quite common on several styles of residential structures in Old Hilliard. The use of awnings was less common on residential structures, but are often used for energy conservation. The following are basic guidelines for porches and awnings for residential structures.

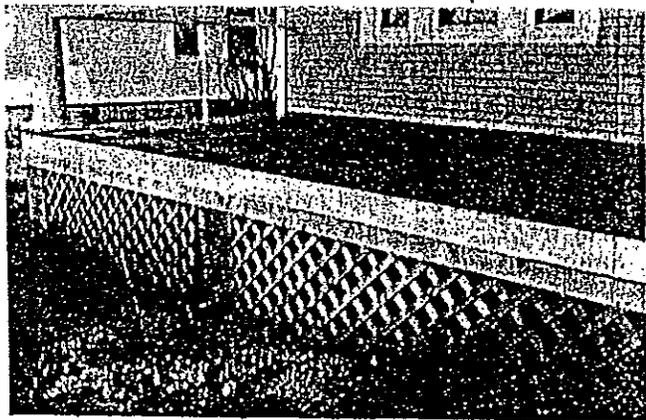
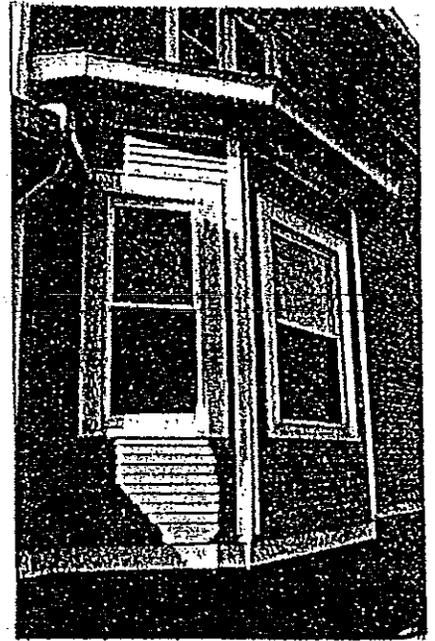
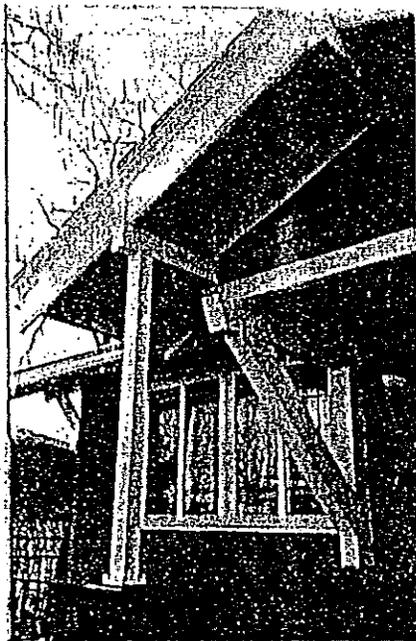
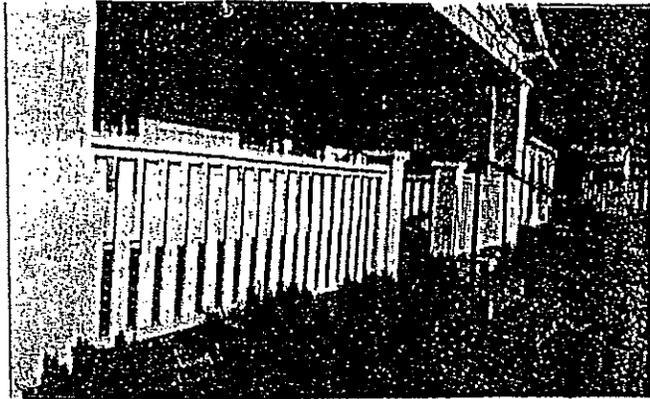
- Wrought iron should not be added to the porches of Old Hilliard residential structures. Existing wrought iron may be repaired and maintained.
- Practice good maintenance techniques on your porch by keeping the wood deck dry, ventilating the space below the porch with lattice, and keeping decorative wood trim painted at all times.
- Avoid removing original front porches, replacing porch columns with inappropriate supports, replacing the wood deck with concrete and removing decorative porch trim.
- If original wood columns need to be replaced, the replacements should match the existing in appearance, style, size and mass. The porch columns should be in scale with the house, not too thin nor too bulky.
- If the wood deck is deteriorating, it should be patched and repaired rather than replaced with concrete. New interlocking boards that are the

same width as the original should be installed.

- If the porch is made of wood, the base of the porch should be ventilated in some fashion. Wood lattice, which is commonly used in Old Hilliard, should be kept in good repair and should always be painted.
- Porch enclosures should be avoided altogether or limited to the rear of the house. If the porch is enclosed, it should be as transparent as possible and keep all trim intact.



Decorative Wood Detailing Shall Be Maintained



Existing Residential Elements to be Preserved.

ENERGY CONSERVATION

Energy conservation is more a part of building maintenance than any other aspect of the guidelines. The following is a summary of some basic procedures to be followed in the rehabilitation of older structures.

- Caulking around all windows and doors to reduce air infiltration should be the first thing done.
- Repair all windows and doors to ensure tight fits. Weatherstrip around windows and doors as required.
- Replacement windows should closely match the historic/original windows in size, number of window lights or sash, color or frame.
- Consider installing exterior storm windows and doors for further energy savings. New storms should be painted to match the window or door trim; brushed aluminum is not recommended. Storm windows should match the window size and fit snugly. Storm doors should have a full or upper pane of glass, but "cross-buck" storm doors are not recommended in Old Hilliard.
- If insulation is desired, insulate attic and roof areas first. Studies have shown that heat loss is greater through a building's roof than through its walls.
- Install insulation in basement or crawl spaces. Ventilate unheated spaces. In unheated spaces wrap insulation around heating and cooling ducts and hot water pipes.
- Insulation should always have a vapor barrier. A vapor barrier is a waterproof material (such as sheet plastic or metallic foil) which is placed on the warm side of the insulation. Its purpose is to keep interior moisture (from cooking, bathing, laundry, etc.) from migrating to drier air and becoming trapped in the insulation.
- If sidewall insulation is to be added, it should be installed from the inside and not "blown in" to the walls from the outside. Blown-in insulation does not have a vapor barrier, so it can trap moisture and cause problems later on. Many times, exterior paint

will not adhere to a house with blown-in insulation.

- If trees are used for shade, deciduous trees should be selected which will provide shade in the summer, but after dropping their leaves shall allow the sun to warm the building in the winter. Trees shall be planted no closer than ten (10') feet to the building to avoid damage to the foundation.

ACCESSORY ELEMENTS

There are numerous structures and elements which are a part of residential development which need to be controlled as to their location and the nature of their materials.

- Decks should be located in the rear yards.
- Patios should be located in rear yards.
- Storage sheds should be located in rear yards.
- Swimming pools should be located in rear yards.
- Decks should be painted or stained to match or complement the house.
- Greenhouses, as an addition, should maintain a continuity of building roof lines.
- Metal storage sheds and other pre-fabricated outbuildings should not be permitted.
- Building materials for accessory elements should match or be compatible with those of the house, including siding, roofing, colors, construction details and slope of roof.

EXTERIOR PAINTING

The color one paints their property is a personal decision. However, it is important to look at the building in relation to the entire block or streetscape. Different building color schemes were popular at different periods of time. Historically white paint was not so widely used as it is today. At the end of the 1800's darker, richer more earthen

colors were more common, such as brown, muted yellows, dark reds and greens. It is suggested the structures in Old Hilliard return to these original building color schedules.

It is recommended that the Old Hilliard Commission review and approve the exterior painting of all structures within Old Hilliard. Approval is not required by the Old Hilliard Commission when a property owner wishes to repaint a structure the same color, nor if the color is an approved color within the guidelines. Color changes should apply not only to building siding, but also to doors, shutters, trim or roofing.

Traditionally, building trim was painted in a decorative manner in a contrasting shade lighter or darker than the main building color defining the trim, but not overemphasizing it. The most effective paint color schedules include one (1) or two (2) colors for the major elements of the building. Other guidelines for exterior painting are as follows.

- All exterior colors should be subdued.
- Strong colors like reds, pinks, chartreuse should be avoided.
- Unpainted brick buildings should be left unpainted, but trim should be painted a complementary color.
- Latex paint is generally a good paint to use on masonry surfaces.
- All surfaces require adequate surface preparation if paint is to hold.
- Surface preparation includes cleaning, remove all rust from surfaces and scaling of paint.
- Brickwork that is in good condition and has never been painted should not be painted.
- Aluminum window and door frames, if left natural should be painted a neutral color to reduce reflection.
- Trim colors should be consistent throughout a building. In commercial buildings, the color selected for the storefront is usually repeated on upper facade details such as cornices and window sash.

- For late 19th and early 20th century buildings contrasting colors are appropriate, but no more than two (2) colors should be used on Old Hilliard buildings. The district's buildings are simple in design, and color combinations should be simple as well.
- When choosing paint colors for your building, a conservative approach should be to use a lighter color for the body and reserve darker colors for trim and accents. Darker shades of the same color can be used effectively to create contrast.

A general guide for exterior building paint color combinations for structures within the Old Hilliard District include the following:

Mid-19th Century 1 1/2 Story Cottage (c. 1853 - 1870's): Neutral earth-tone colors are appropriate for Old Hilliard's cottages, including slate grays, pale yellows, rose-beiges, tan and cream colors. Trim should be in a complementary color.

Late 19th Century Farmhouse (c. 1880 - 1910): Paint colors took on darker hues toward the end of the 19th century. Appropriate colors for Old Hilliard are medium greens, medium browns, golds, terra cotta, dark reds and rose colors, with trim in complementary hues.

American Four Square (c. 1900 - 1920): Light grays, blue-grays, pale yellows and cream colors are appropriate for Old Hilliard's Four-Square houses.

Craftsman Bungalow (c. 1910 - 1930): Craftsman Bungalows tended to be painted earth-tone colors which reflected their use of natural materials. Golds, olive greens, moss greens, browns and dark reds are appropriate colors for the Bungalow.

Commercial Buildings: Typical trim choices for brick buildings of the late 19th and early 20th century have included pale yellow, muted gold, blue gray or olive green.

SPECIAL CONSIDERATION FOR IDENTIFIED BUILDING TYPES

To further emphasize the building rehabilitation guidelines each basic residential building type found

within the Old Hilliard District is illustrated with the basic physical characteristics noted and those improvements which are inappropriate for those structures.

It should be remembered that Colonial style structures occurred prior to when Ohio was first settled. Buildings of this period or style or details from this period are inappropriate for the Old Hilliard District.

MID-19TH CENTURY 1 1/2 STORY COTTAGE (c. 1853 - 1870's)

Characteristics of the original design features of these structures that should be retained include:

- Frame Construction
- Central Chimney
- 3 Bays or Openings
- With and Without a Front Porch
- Gable Roof Oriented to the Street
- Window on the Gable Face in Upper Story

LATE 19TH CENTURY FARMHOUSE (c. 1880 - 1910)

Characteristics of the original design features that should be retained include:

- Gable Roof
- Frame Construction
- Decorative Siding
- Porches with Columns
- Ornamentation at Gables

AMERICAN FOUR SQUARE (c. 1900 - 1920)

Characteristics of the original design features that should be retained include:

- Square Shape
- Broad Eaves

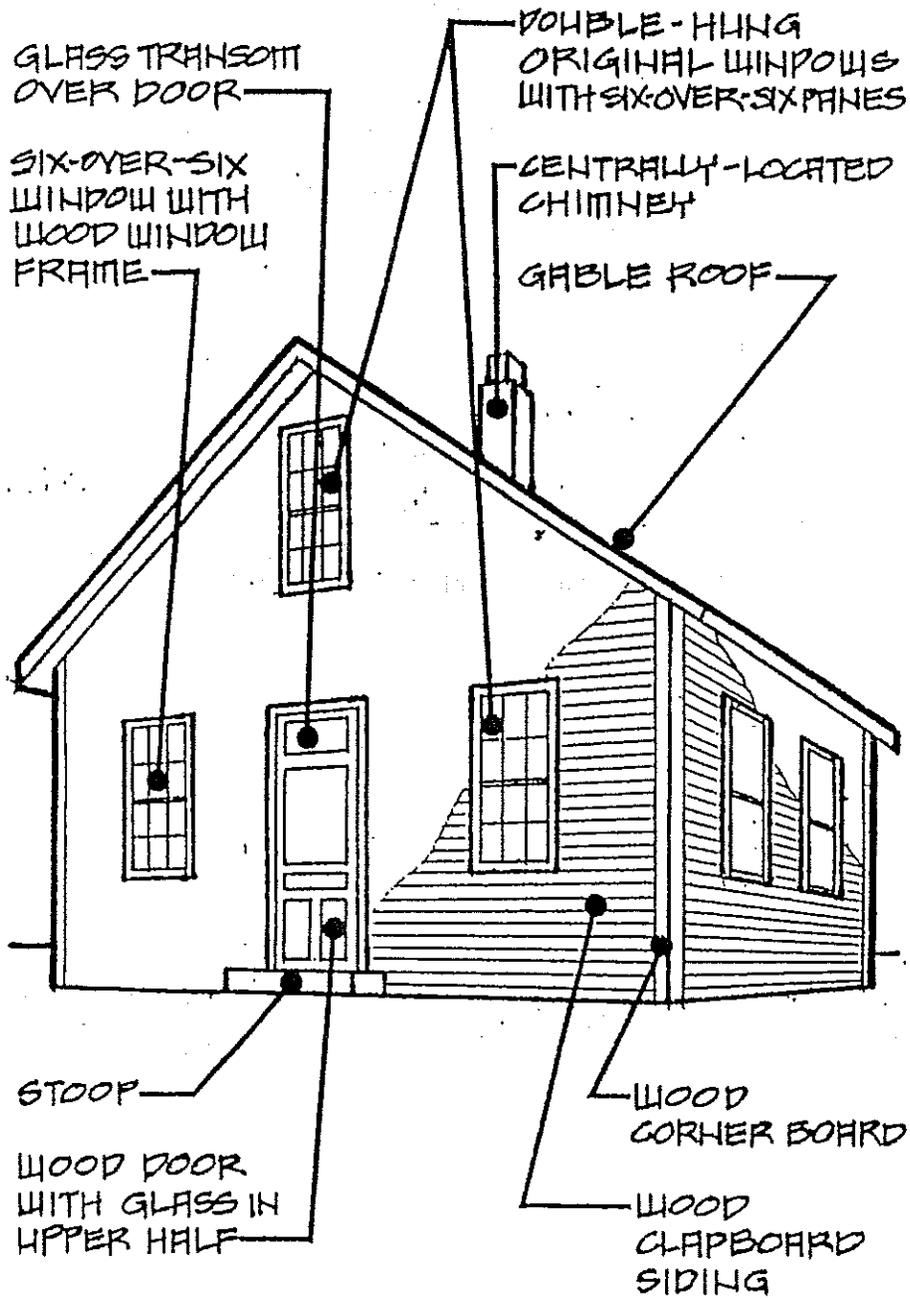
- Full Glass Door
- 1 Over 1 Windows
- Narrow Clapboard Siding
- Hipped Roof With Dormers
- Lattice at Base of Porch
- Windows Frequently Grouped in 2's or 3's
- Broad Front Porch Which Covers Entire Front of Structure

CRAFTSMAN BUNGALOW (c. 1910 - 1930)

Characteristics of the original design features that should be retained include:

- Stone, Wood or Stucco Facade
- Wide, Overhanging Eaves With Brackets
- Broad Front Porch With Heavy Posts
- Windows Frequently Grouped in 2's or 3's

1 1/2 STORY COTTAGE (c. 1853 - 1870's)

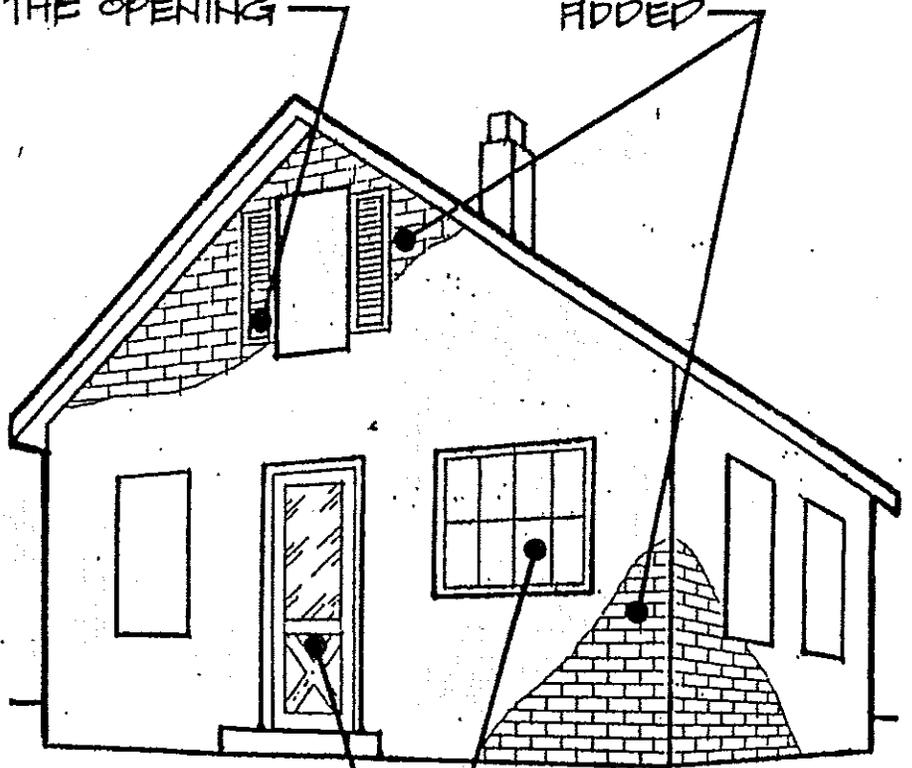


Original Design (Recommended)

1 1/2 STORY COTTAGE (c. 1853 - 1870's)

SHUTTERS ARE TOO SMALL FOR THE OPENING

ARTIFICIAL BRICK SIDING HAS BEEN ADDED

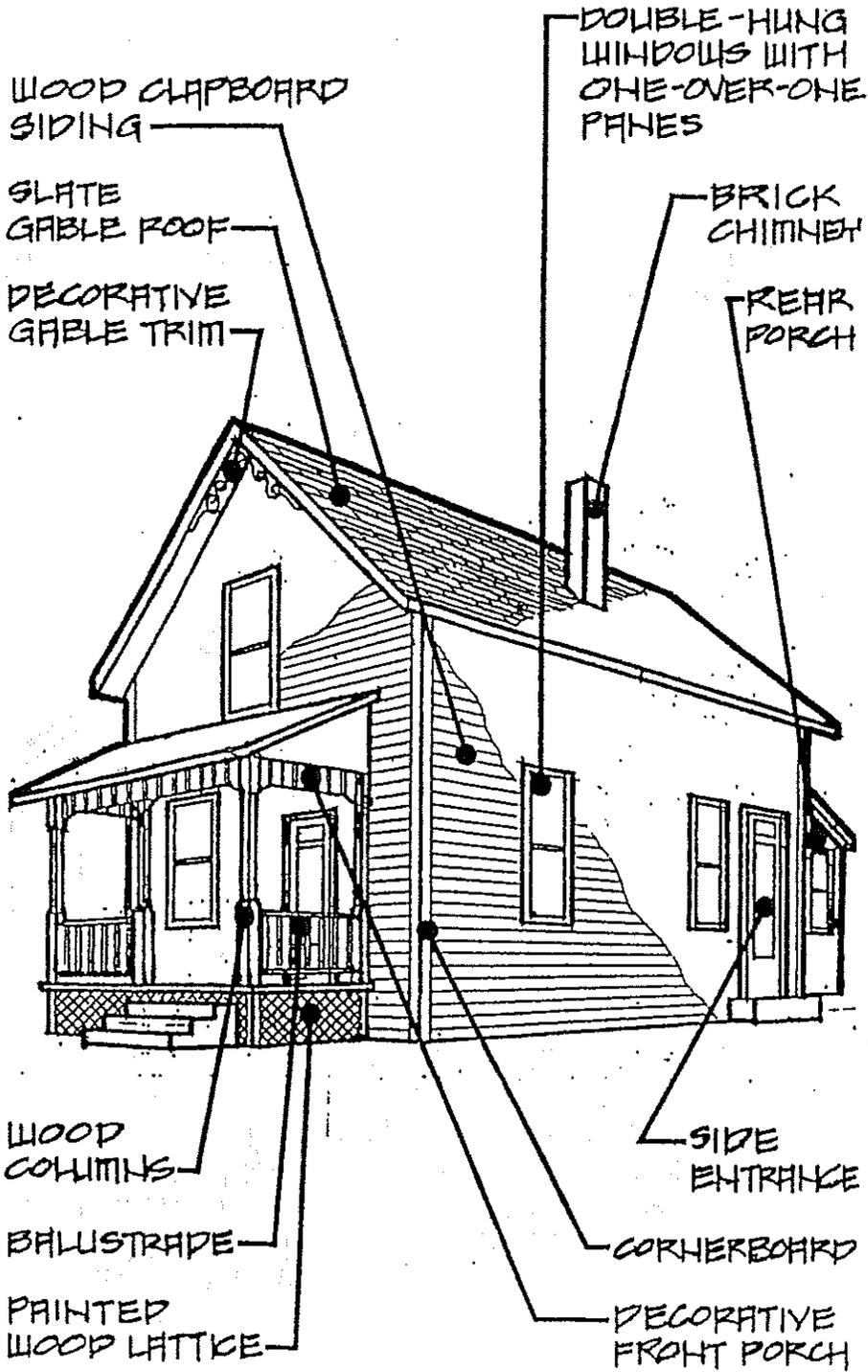


A "CROSS BUCK" DOOR HAS REPLACED THE ORIGINAL; THE GLASS TRANSOM HAS BEEN REMOVED

ORIGINAL WINDOW HAS BEEN REMOVED AND REPLACED WITH AN ENLARGEMENT THAT CHANGES THE CHARACTER OF THE HOUSE.

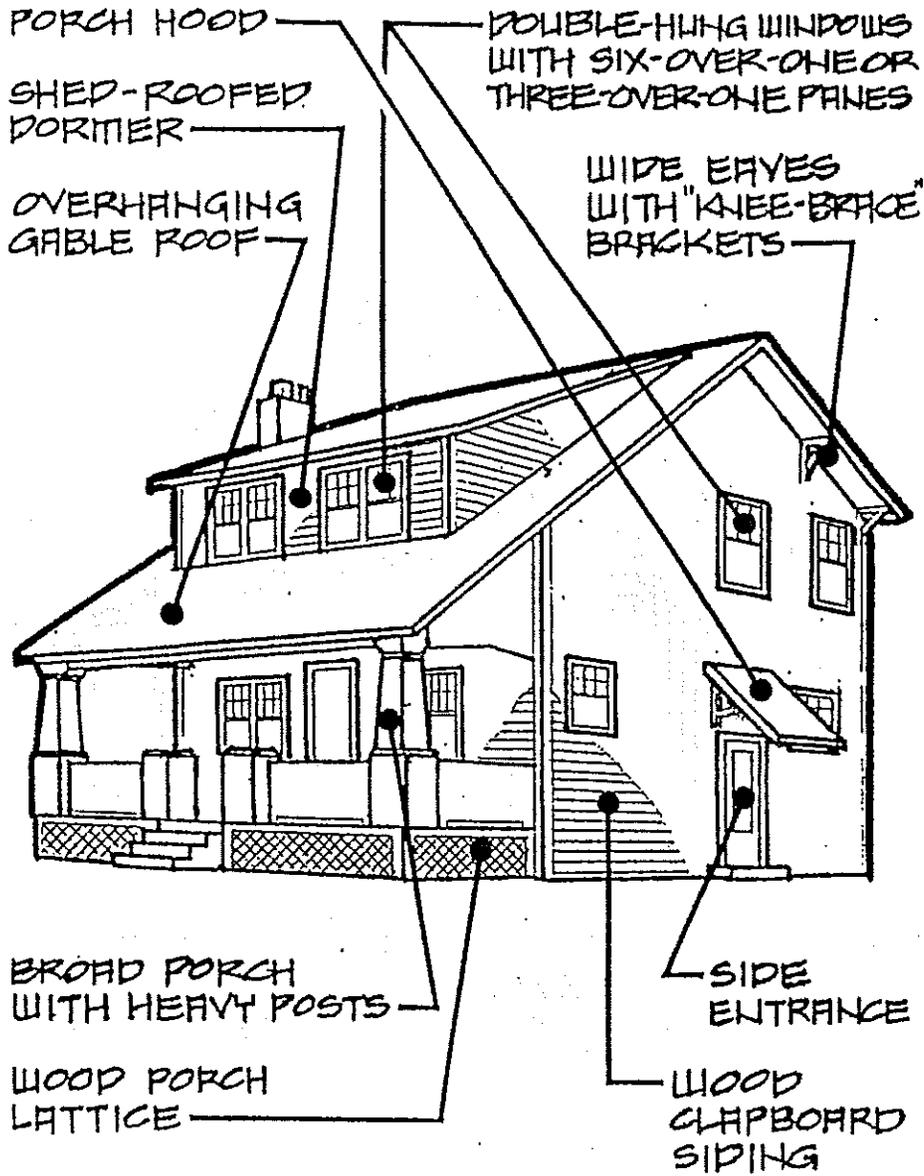
Inappropriate Changes (Not Recommended)

LATE 19TH CENTURY FARMHOUSE (c. 1880 - 1910)



Original Design (Recommended)

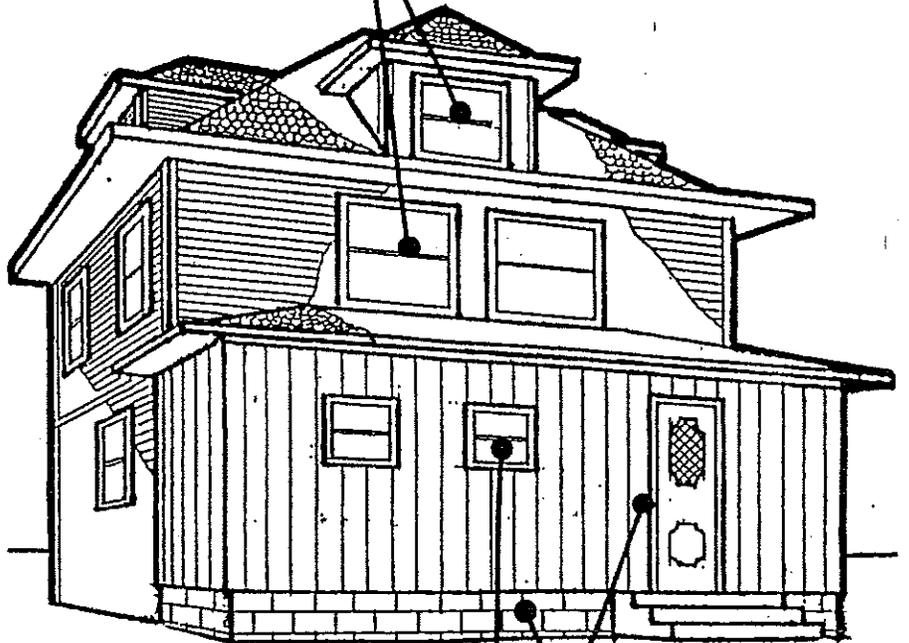
THE BUNGALOW (c. 1910 - 1930)



Original Design (Recommended)

AMERICAN FOUR - SQUARE (c. 1900 - 1920)

DOUBLE-HUNG WINDOWS
REMOVED AND REPLACED
WITH HORIZONTAL PANES
OF GLASS

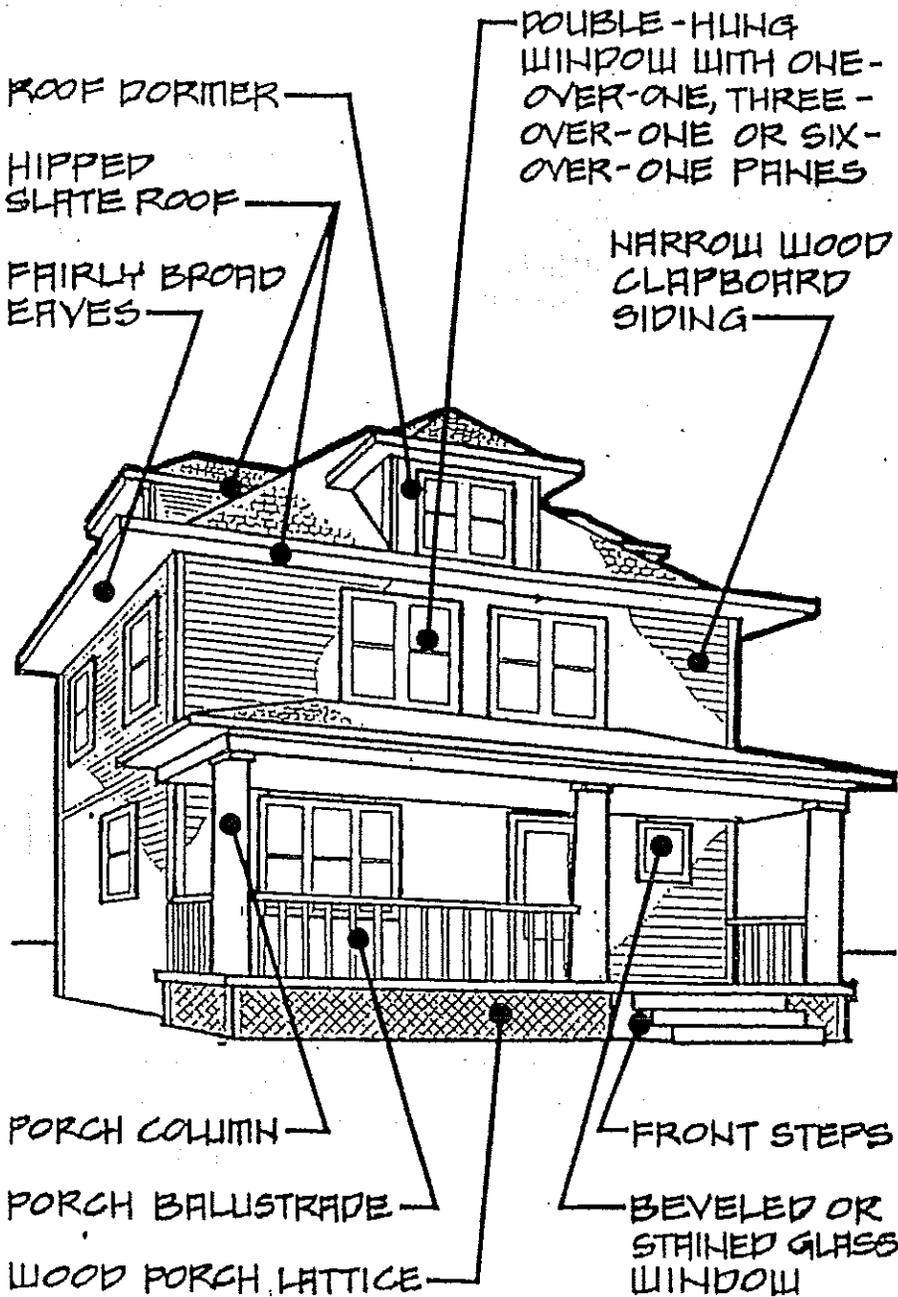


ALL PORCH FEATURES
REMOVED AND PORCH
FILLED IN WITH INAPPRO-
PRIATE ENCLOSURE:
CHARACTER OF THE
HOUSE IS COMPROMISED

WOOD LATTICE
REMOVED AND
REPLACED WITH
CONCRETE BLOCK

Inappropriate Changes (Not Recommended)

AMERICAN FOUR - SQUARE (c. 1900 - 1920)

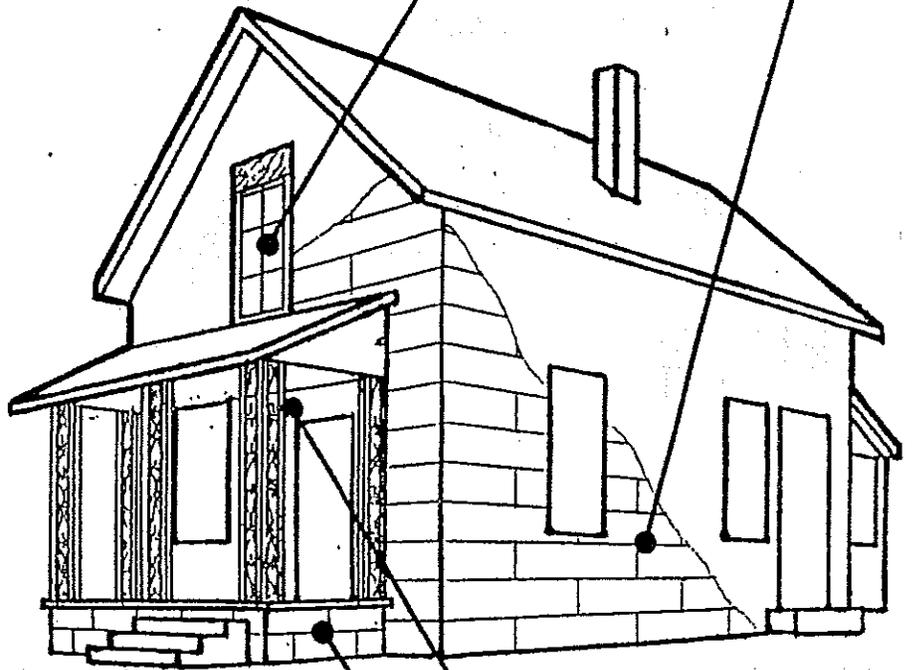


Original Design (Recommended)

LATE 19TH CENTURY FARMHOUSE (c.1880-1910)

GABLE WINDOW HAS BEEN REDUCED IN SIZE AND AN INAPPROPRIATE WINDOW HAS BEEN INSTALLED

ORIGINAL WOOD SIDING HAS BEEN COVERED UP WITH ARTIFICIAL SIDING MATERIAL



PORCH BASE HAS BEEN FILLED IN WITH CONCRETE BLOCK

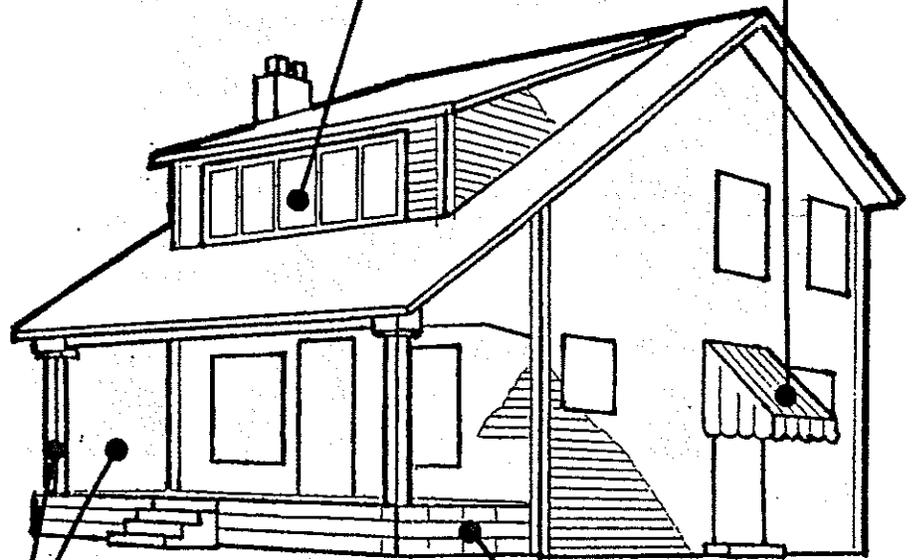
PORCH BALUSTRADE AND COLUMNS HAVE BEEN REMOVED AND REPLACED WITH WROUGHT IRON

Inappropriate Changes (Not Recommended)

THE BUNGALOW (c. 1910 - 1930)

ORIGINAL WINDOWS
REMOVED AND REPLACED
WITH BAND OF
NEW WINDOWS

ORIGINAL PORCH
HOOD REPLACED
WITH METAL
AWNING



ORIGINAL PORCH
COLUMNS AND RAILING
REMOVED AND REPLACED
WITH THIN WOOD POSTS

WOOD PORCH
BASE REPLACED
WITH CONCRETE

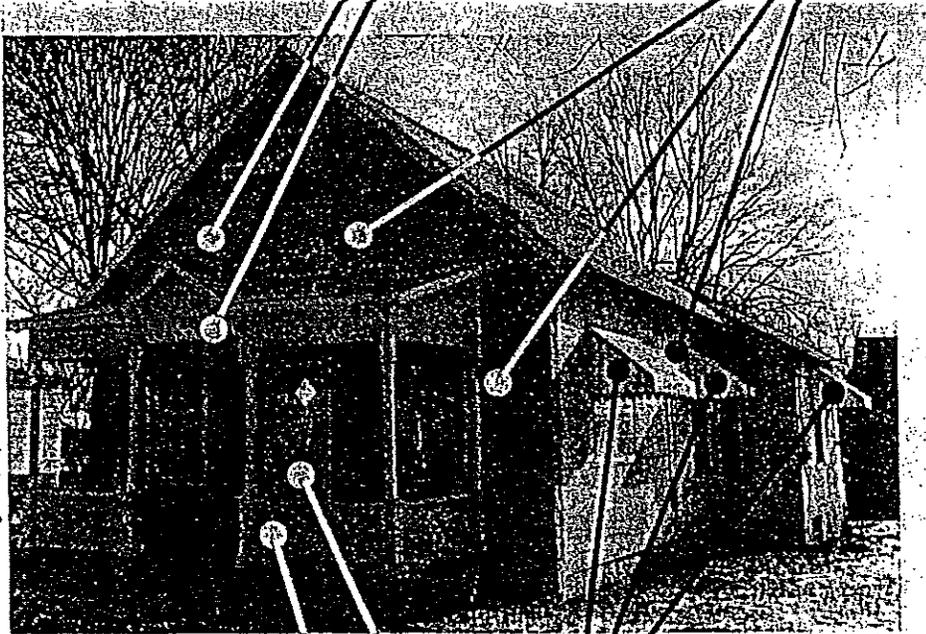
Inappropriate Changes (Not Recommended)

1 1/2 STORY COTTAGE (c. 1853 - 1870's)

CONTINUE TO
MAINTAIN
DECORATIVE PORCH

RETAIN GENERAL
BUILDING FORM

REMOVE ARTIFICIAL
SIDING AND PERMA-
STONE & REFURBISH
ORIGINAL SIDING
UNDERNEATH



REPLACE "WALL"
WITH SIMPLE
BALUSTRADE

REMOVE
METAL AWNINGS

REPLACE DOOR AND
STORM DOOR WITH
MORE APPROPRIATE
TYPES

LATE 19TH CENTURY FARMHOUSE (c. 1880-1910)

RETAIN WINDOWS AND WINDOW TRIM; PAINT STORMS TO MATCH

REMOVE ARTIFICIAL SIDING & REFURBISH ORIGINAL WOOD SIDING UNDERNEATH

REPAIR AND REPAINT GUTTERS & DOWNSPOUTS

REMOVE ARTIFICIAL SIDING INSIDE GABLE TO SEE WHAT IS BENEATH. REFURBISH AND PAINT TRIM



RETAIN AND RENOVATE REAR PORCH. REPAIR AND REPAINT

AS AN ALTERNATIVE, CONSIDER REPLACING THE SMALL PORCH WITH ONE WHICH EXTENDS ACROSS THE THREE OPENINGS

REMOVE WROUGHT IRON POSTS AND REPLACE WITH SIMPLE WOOD COLUMNS OR SQUARE POSTS

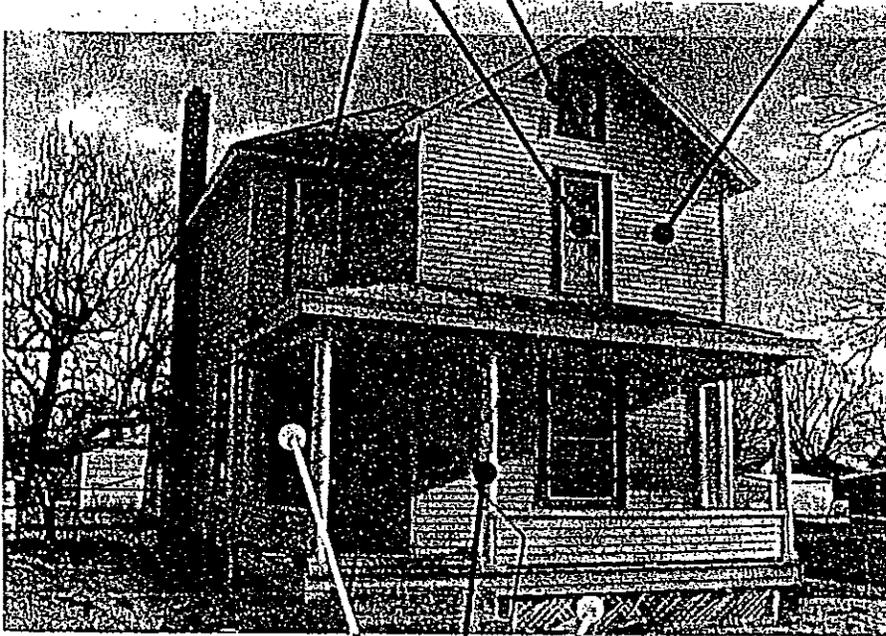
MAINTAIN DOOR AND TRANSOM

LATE 19TH CENTURY FARMHOUSE (c. 1880-1910)

ALUMINUM SIDING IS PEELING OFF, REMOVE FROM ALL TRIM AND SCRAPE AND PAINT ORIGINAL TRIM

RETAIN ORIGINAL WOOD WINDOWS; PAINT STORM WINDOWS TO MATCH

REMOVE ALLUMINUM SIDING AND RESTORE ORIGINAL WOOD SIDING THAT IS UNDERNEATH

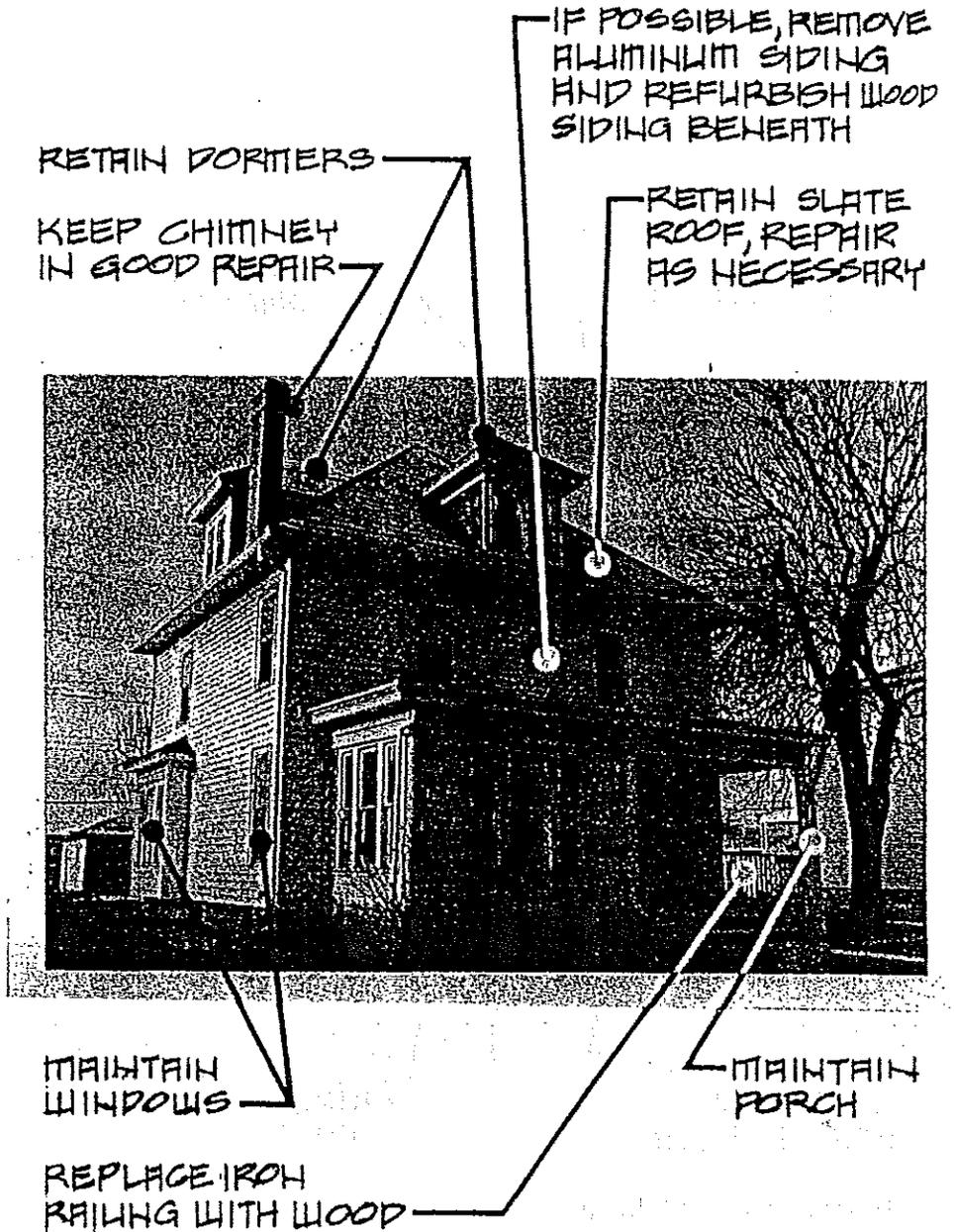


RETAIN ORIGINAL ENTRANCE DOOR

REPAIR BROKEN LATTICE; REPAINT

MAINTAIN FRONT PORCH & COLUMNS

AMERICAN FOUR - SQUARE (c. 1900 - 1920)



CRAFTSMAN BUNGALOW (c. 1910 - 1930)

REPLACE STORM DOOR
WITH DOOR WITH FULL
LIGHT GLASS

MAINTAIN WOOD
TRIM & BRACKETS



MAINTAIN
PORCH LATTICE

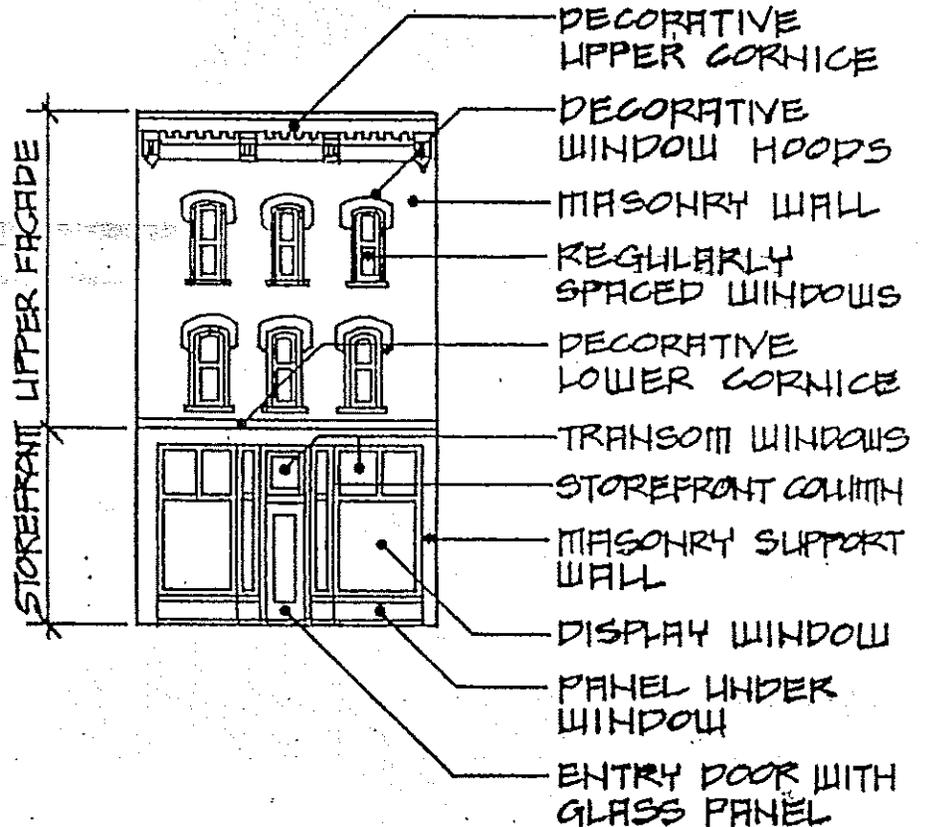
MAINTAIN EXISTING
WINDOWS AND
WOOD STORMS

MAINTAIN BUILDING
FORM AND MATERIALS

COMMERCIAL BUILDINGS

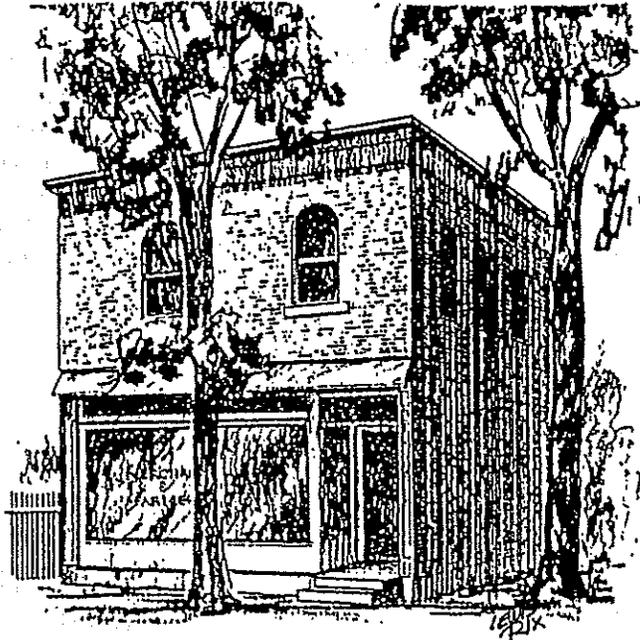
There exists in Old Hilliard, as in any downtown, many diverse types of commercial buildings. Buildings found in the Old Hilliard commercial area include structures which are historically significant 19th century and 20th century multi-story, one-story structures and residential structures converted to commercial use. A unified rehabilitation approach to all buildings is important in the redevelopment of the District. The following are recommendations for the exterior rehabilitation of these structures.

HISTORIC COMMERCIAL

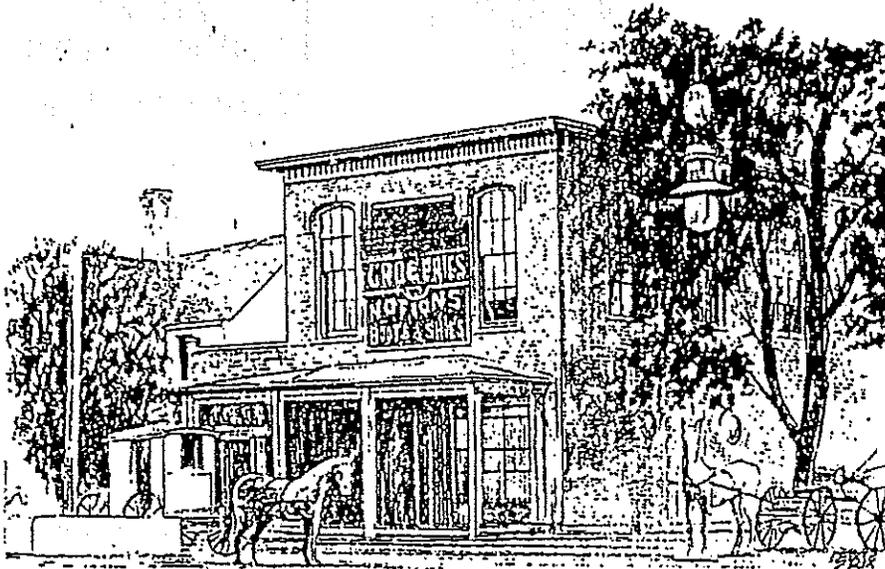


Elements of a Historic Commercial Building

Sometimes older buildings were altered by what was thought of at the time as "improvements" which were superficial in nature. Foreign or out-of-character materials were sometimes added, destroying the original architectural style. A few of those historical commercial buildings were identified by the Northwest Franklin County Historical Society a few years ago and are illustrated in this section. Where such buildings



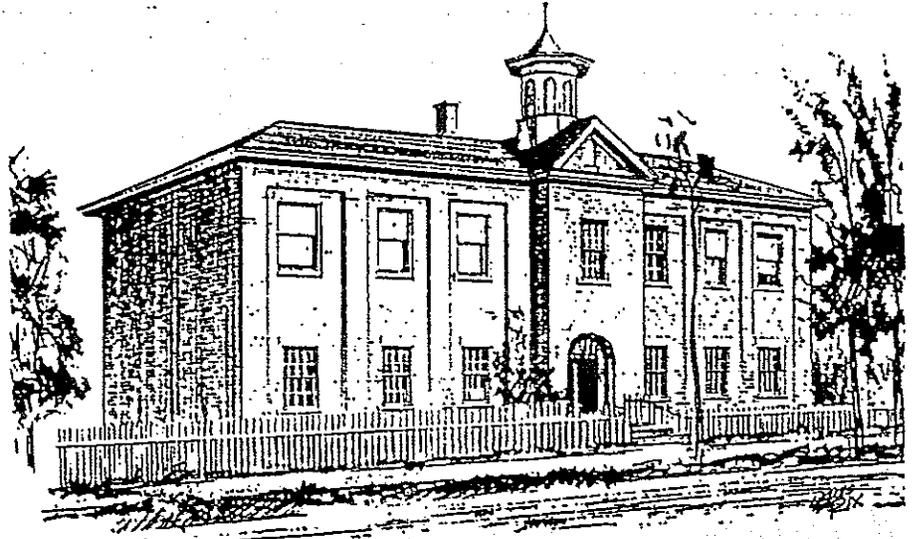
**Merchants & Farmers Bank
1903-1914
Hilliard, Ohio**



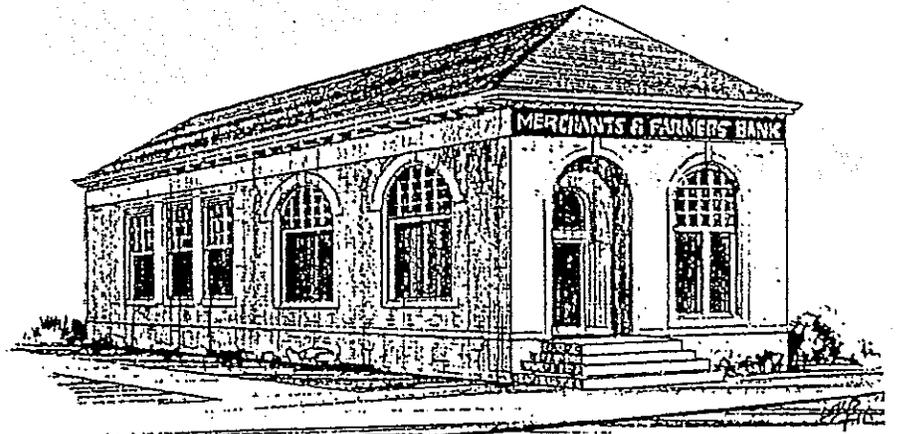
**Winterringer Building
Since 1873
Hilliard, Ohio**

**Source: Northwest Franklin
County Historical Society**

Early Historic Commercial Buildings



**Consolidated School
1878-1919
Hilliard, Ohio**



**Merchants & Farmers Bank
1914-1961
Hilliard, Ohio**

Source: Northwest Franklin
County Historical Society

Early Historic Commercial Buildings

19TH CENTURY COMMERCIAL BUILDING

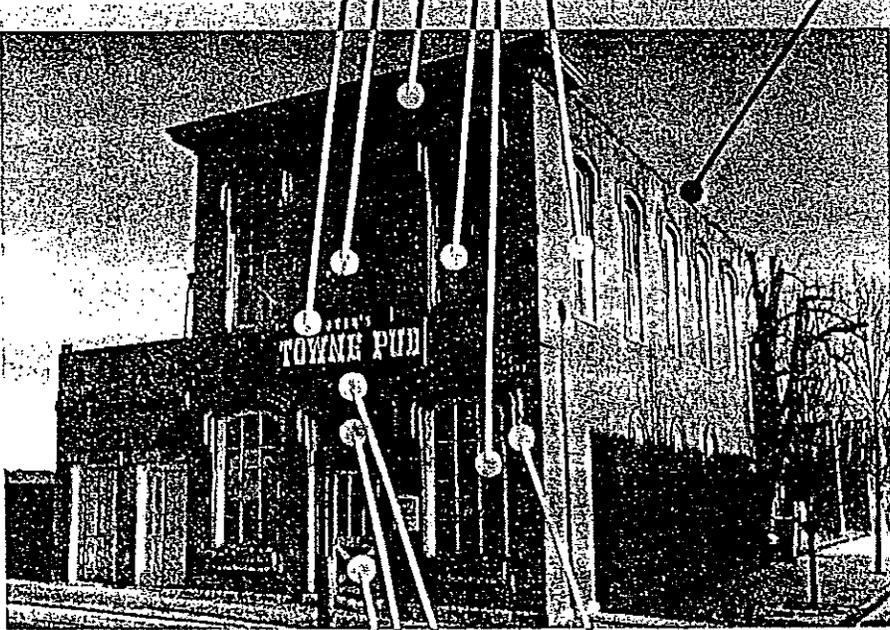
PATCH, REPAIR
AND REPAINT
METAL CORNICE

INSTALL NEW LIGHT
OVER SIGN

PAINT SIGN
BACKGROUND TO
MATCH TRIM COLOR

MAINTAIN ORIGINAL
WINDOWS. REPAIR
AND REPAINT.

MAKE SURE
DRAINAGE SYSTEM
IS WORKING
PROPERLY TO
SHED WATER



REPLACE
"CROSS-BLOCK" DOOR
WITH MORE
APPROPRIATE TYPE

RE-OPEN TRANSOM
WITH GLASS

REPAIR OR
REPLACE ANY
LOOSE BRICKS

CONSIDER INSTALLING
ONE AWNING OVER
DOOR, BUT NO MORE
ARE NECESSARY.

Suggested Rehabilitation

still remain, their basic architectural character should be retained. Exterior guidelines should be as suggested below.

- Original facades of historic structures should not be changed.
- Windows and doors should match the original in terms of their size of openings and style.
- Artificial veneers should be removed where the original facade has been covered.
- Patched walls should match existing adjacent surfaces in material, color, bond and jointing.
- Sheet metal cornices on commercial buildings in Old Hilliard can be easily repaired. If the sheet metal has rusted through, patches may be soldered or fastened on.
- All structural and decorative elements of the building facade should be repaired or replaced.
- The upper and lower floors of a building should be visually linked by color and materials.
- False or imitation historic storefronts are not recommended on new commercial construction.
- Painted masonry buildings should have loose material removed and repainted a single color, except for trim, which may be another color.
- All cornices should be made structurally sound and rotted or weakened portions should be removed and repaired or replaced to match the original patterns. All exposed wood should be painted.

1-STORY COMMERCIAL

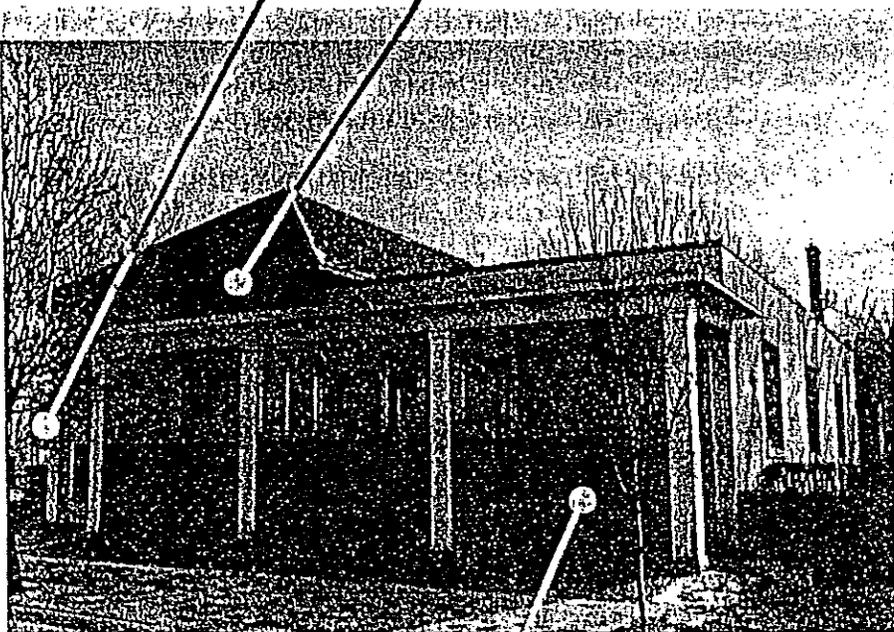
There exist within the Old Hilliard District numerous 1-story commercial structures which were developed in the mid-20th century. The 1-story commercial facade has a historic quality or integrity which is a historic part of the development of Old Hilliard. These structures are characterized by flat roofs and large glass storefront areas. Recommendations for these structures are suggested below.

- Window sizes should not be altered.

1-STORY COMMERCIAL

MAINTAIN
ORIGINAL WINDOWS
ON SIDE
ELEVATION

MAINTAIN CORNICE
AND EXISTING
ROOF MATERIAL

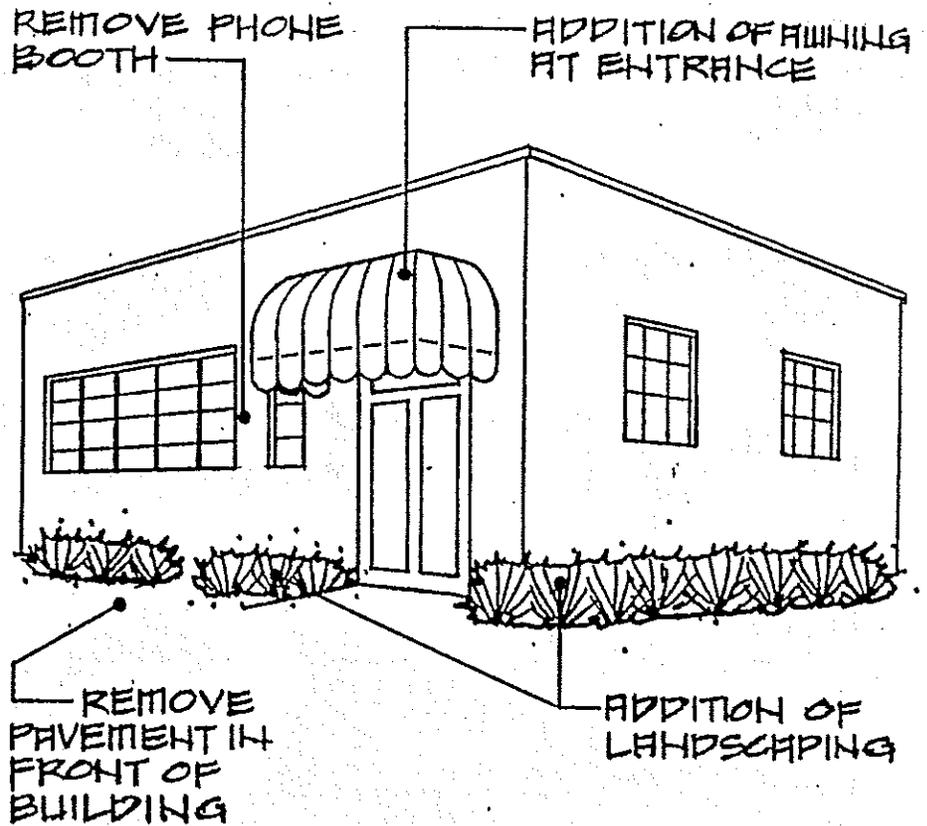


PAINT BRICK WALL
TO MATCH COLOR
OF MAIN BUILDING

Suggested Rehabilitation

- Building materials should be compatible to other surrounding buildings.
- It is not necessary to change a facade simply because it does not look historic.
- All window and door trim should be the same color for the entire building.
- Painted wall surfaces should be consistent or the same color as the front, side and rear walls.
- Where building materials are not the same on all elevations, the walls should be painted to match the front or major facade.

1-STORY COMMERCIAL



- Where a building has several businesses with individual fronts, the facades and elevations for the building should be treated with continuity for the entire building.

RESIDENTIAL STRUCTURES CONVERTED TO COMMERCIAL USES

There is a trend to convert residential buildings to commercial uses for offices and shops. This is especially true along Main Street. Where this has been recommended based on the land use plan the following guidelines apply.

- Houses which are converted to commercial use, whether for retail or for office, should retain their residential character.
- Avoid making any changes to the main facade that will change the residential character.
- Do not enlarge window openings, change doors, remove or enclose front porches.
- If an addition is needed in order to use the

1-STORY COMMERCIAL

NEW
PAINT
SCHEME

REMOVE ROOFTOP
SIGNAGE AND INSTALL
PROP SIGNS AT EDGE
OF CANOPY.



IRON COLUMNS SHOULD
BE REPLACED OR BOXED
IN WITH WOOD POSTS THAT
ARE SIMPLE IN DESIGN.

house for a commercial business, the addition should be located at the rear of the building where it will not be readily visible from the street.

- A new addition should be subsidiary to the main house, with rooflines that are lower than the main structure and at the same slope as the main roof.
- If off-street parking is required, it should be located to the rear or side of the structure and screened from view from the street and landscaped per the landscaping section.

STOREFRONTS

The design of the traditional storefront emphasized the display windows and entry door. Building decoration or facade treatment was plain and simple, involving unobtrusive materials. Historically the traditional storefront had a recessed entry at the front door. This recessed entry emphasized the door entrance and kept display windows next to the sidewalk. This design concept is often lost in the 20th century commercial structures.

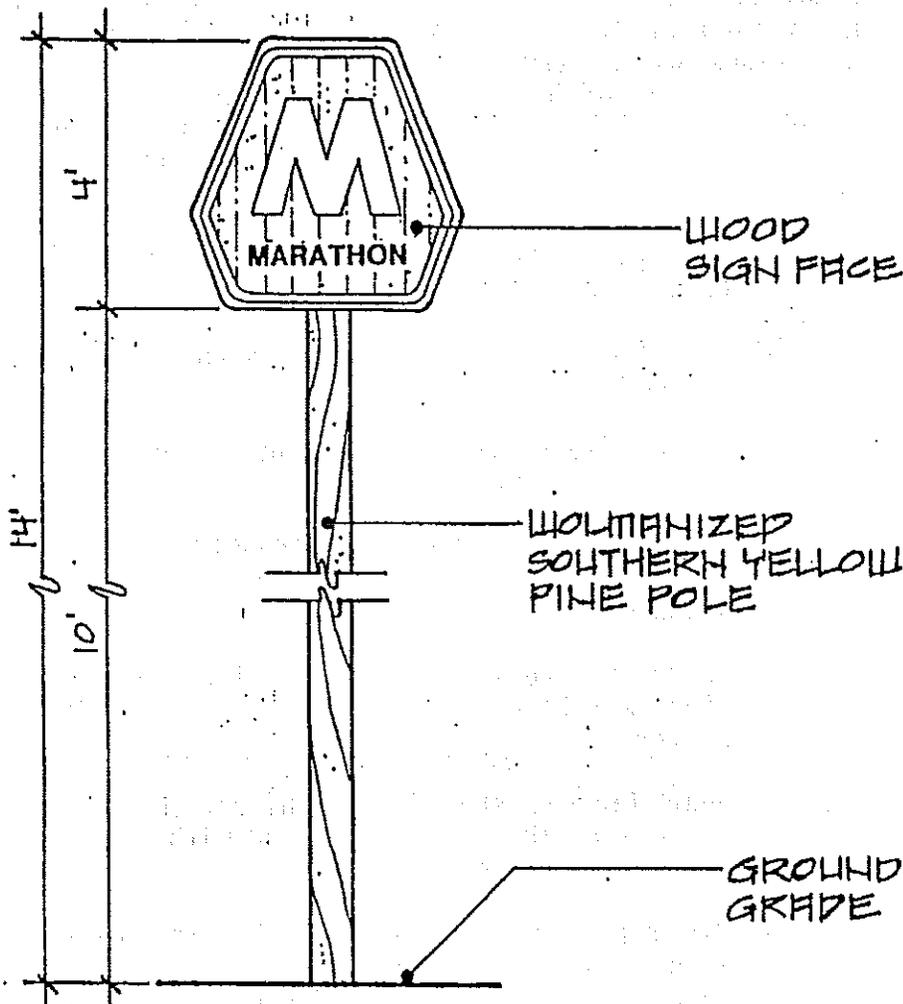
Many property or business owners fail to extend renovation efforts to the rear and sides of a building. Renovation of any commercial structure should include all sides of a structure. Renovation of the front, rear and sides of buildings should include the removal of obsolete additions, including utilitarian conduit, old sign supports and unnecessary brackets or other supports.

- Existing storefronts should be repaired and preserved.
- Imitation stone and wood products should be avoided.
- Ground floor fronts should not be covered with opaque enclosures.
- Rear entrances should be identified with adequate lighting, landscaping, a small awning and signage.
- To reduce replacement costs large glass sections may be unobtrusively divided into two (2) or three (3) sections.
- Rear facades should be finished in materials and colors that match or blend with the remainder of the building.
- Windows on upper levels, which may relate to lesser used space for storage or which may be vacant should not be boarded up.
- If windows, doors and columns have been covered by a previous renovation, the original frames and details should be uncovered.

SIGNAGE

The tradition of competing for customers with larger and larger signs not only obscures buildings, but also reduces the effectiveness of individual business signs. Good signage is the product of excellent lettering, creativity, color coordination, materials compatible with the building and mounting techniques. Poor signage is oversized, crudely lettered and poorly built.

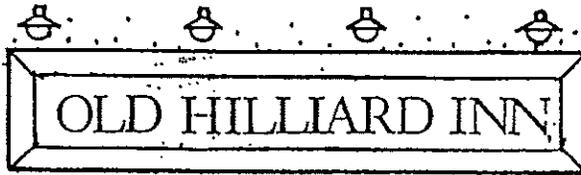
BUSINESS IDENTIFICATION SIGNAGE



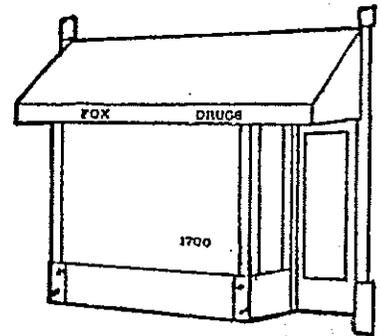
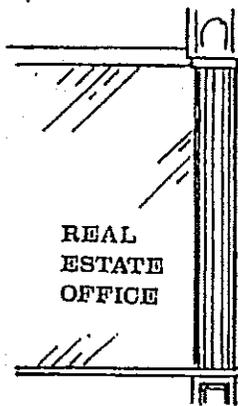
Historically, flat signs or wall mounted signboards were common on most commercial buildings. They were usually located above transoms between the storefront and the upper facade. Many of Old Hilliard's commercial buildings such as the Odd Fellows Hall, or Otie's Pub House have built-in locations for such signage. The addition of a moulding around the edges

of a wall sign can enhance the appearance of a wall mounted sign.

COMMERCIAL SIGNAGE



Wall Mounted Signs

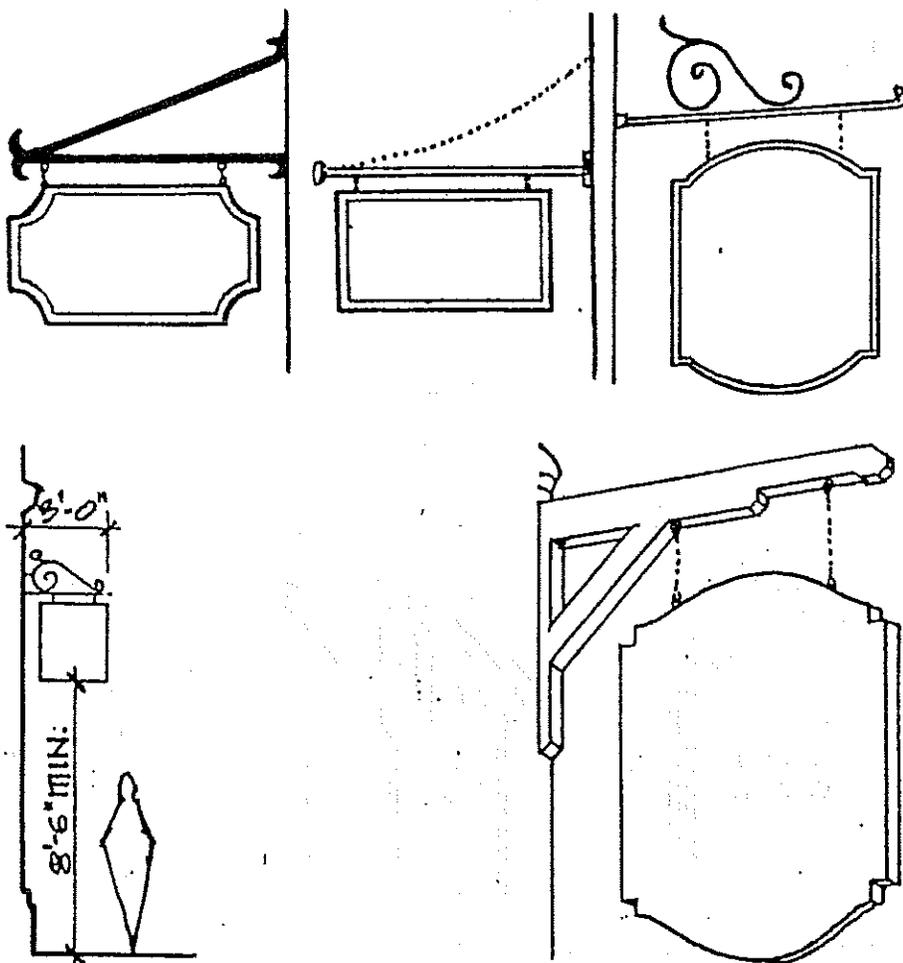


Lettering On Storefront

Window signs were common identification signs at the turn-of-the-century; painted directly on the inside of the window. Such signs were often gold-leafed. Projecting signs were also common. These signs were hung either perpendicular to the building facade or were hung from the corner of the building. Projecting signs were also often used to display symbols and logos of businesses.

Signage adds or detracts to the environmental quality of an area, the streetscape and integrity of architectural and landscape architectural character. The purpose of the guidelines for exterior signage is to regulate the size, type, number, location and illumination for signage. Designs for signage in Old

Hilliard should be done carefully to reflect the character of the individual business, but be compatible with the building and landscape architecture of the District.

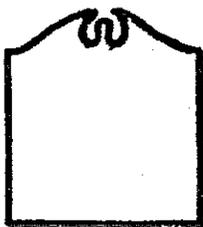


Projecting Sign

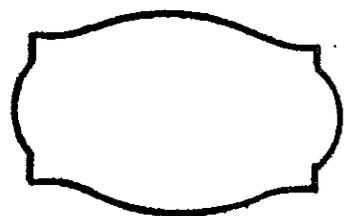
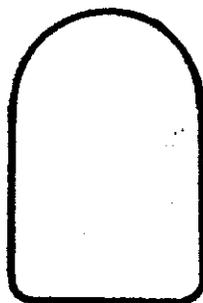
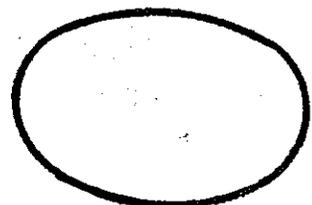
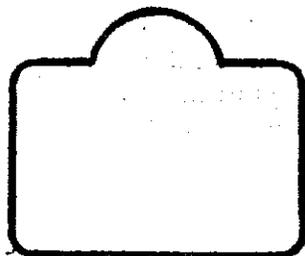
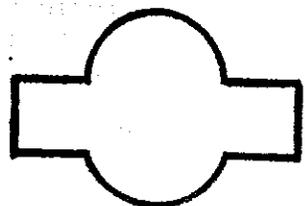
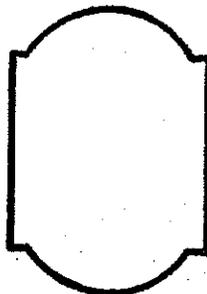
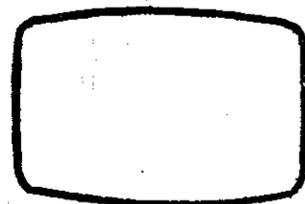
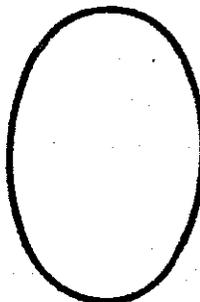
- Inappropriate signs for the Old Hilliard District include the following. Such signs should not be permitted within the District.
- Marquee signs.
- Digital signs.
- Plastic signs.
- Colonial sign forms.
- Off-premise graphics.
- Mobile or portable signs.
- Interior-illuminated signs.
- Billboards or outdoor advertising panels.
- Blinking, moving, flashing or rotating signs.

- Signs mounted on the top of a building or on the roof.
- Signs that advertise a national product or co-op signage.
- Signs extending above the wall of any structure to which they are attached.

SIGN FORMS



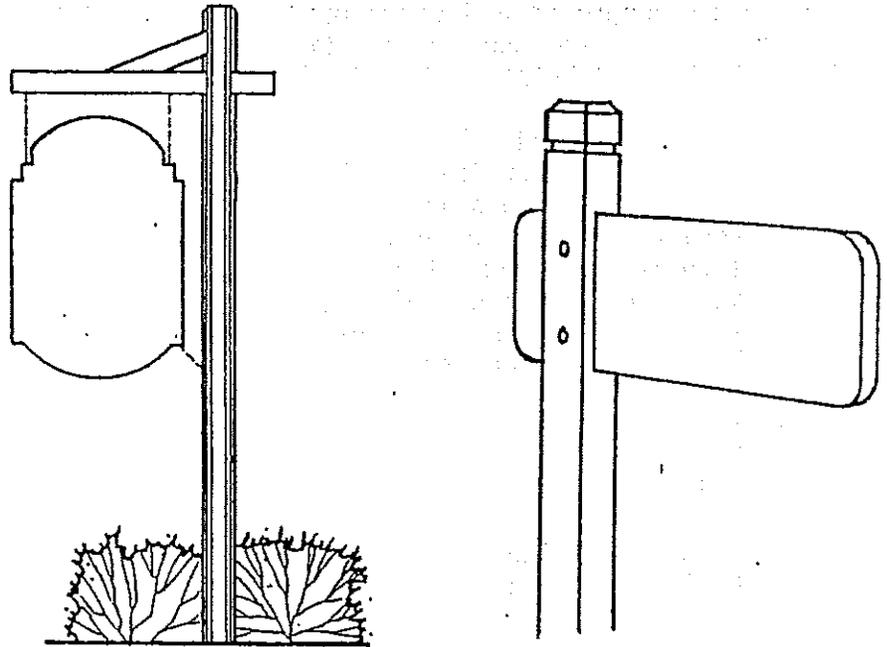
Inappropriate



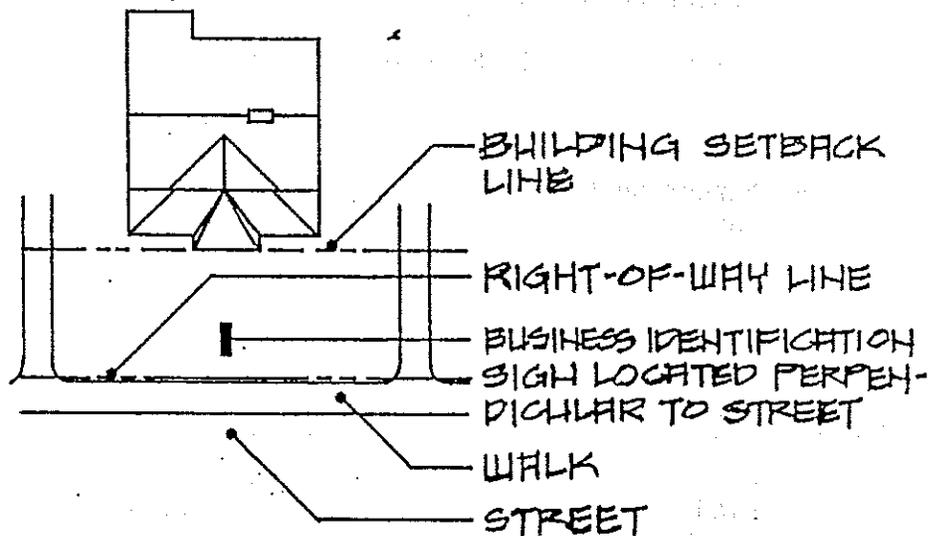
Appropriate

- No more than two (2) signs should be permitted for business identification signage for each ground floor business. Such signage should be a combination of the following:
 - Signs painted on the building.
 - Lettering mounted on the building.
 - Symbol signs such as barber poles etc.
 - Wall-mounted wood or metal signboards.
 - Lettering, symbols or designs painted or sewn on the face of an awning.
 - Painted lettering located on the interior of a glass storefront; window signage.
 - Projecting wood or metal signs hanging from the face of the building.
- All signs or superstructures which no longer identify a use or dilapidated signs which exist within the public right-of-way and/or on private property should be removed within one (1) year of adoption of the Old Hilliard Guidelines.
- Hanging or projecting signs should be double-faced, a minimum of 8'-6" above the walk grade and project out from the face of the building no more than 3'-0". Projecting signs should not be permitted for business identification for residential structures converted to a commercial use.
- Only one (1) projecting sign should be permitted per each commercial building or per each business. All signs should be located on the front or front corner facade.
- Signs or lettering which is painted or attached directly on the building surface should be permitted in accordance with the provisions for wall-mounted signs.
- Wall-mounted signs should be permitted above each storefront attached parallel to the face of a building. Such signs should not project more than twelve (12") inches beyond the face of the building.
- Non-illuminated secondary signs should be permitted for the identification of commercial tenants occupying the upper floors of a building. Such signs should not exceed one (1) square foot in area and should not project beyond the building wall more than one (1") inch.

BUSINESS IDENTIFICATION SIGNAGE



Ground Mounted Freestanding Signs



Residence Converted to Commercial Use

- Lettering applied to storefront windows or doors should be no larger than one and one-half (1 1/2") inches in height and the text should be limited to the identification of the business only.
- Decals of a small area should be affixed to a storefront window or entrance door if supplied

by a national or local credit card company. Such signs should be grouped and carry no text or message other than the identification of such companies.

- Ground-mounted, free-standing signs are appropriate for buildings which are set back from the street. This is especially appropriate for residential structures converted to commercial structures. All signs should be double-faced and sited perpendicular to the street. Such signs should be no taller than eight (8') feet high with a sign panel no larger than 6'x4'.
- Free-standing or ground-mounted signs should be located a minimum of five (5') feet behind the existing right-of-way.
- Signs should be located so they do not obscure building/architectural features.
- No signs should be located within the street right-of-way.
- Lettering on an awning is considered signage.
- All signs should be maintained in good repair.
- All signage should be externally illuminated.
- Street numbers and names of occupants of single and two-family residential structures should be permitted. Street numerals should be a minimum of four (4") inches high of contrasting color.
- Directional signage should be confined to destination and direction only and should be no larger than two (2) square feet in area.
- Any sign located on property which is unoccupied for three (3) months or more or any sign which pertains to a time, event or purpose which no longer applies, should be deemed abandoned.
- An abandoned sign is prohibited and should be removed by the sign owner or owner of the premises within ten (10) days of receipt of notification by certified mail from the Building and Zoning Inspector.
- Sign colors should be compatible to the building material colors. Sign colors should be

kept to no more than three (3) colors. For best readability the lettering should be in a color of sharp contrast to the background of the sign. Fluorescent colors should be avoided.

- Business identification signs for existing service stations should be no taller than fourteen (14') in height.

AWNINGS

Canvas awnings were used widely on commercial buildings around the 1880's and the 1890's. They reoccurred in the 1930's. Awnings are a relatively inexpensive way to spruce up a commercial facade. Awnings can also be used on new buildings to visually link together new buildings with the older-styled building within Old Hilliard. Fabric, weather resistant awnings are appropriate in selected areas noted below.

- An awning should not cover architectural details of a building or windows.
- The bottom of an awning should be a minimum of seven (7') feet above the walk or pavement grade.
- Upper-story awnings should match or complement street-level awnings.
- Street-level awnings should have a valance approximately twelve (12") inches deep.
- Upper-story awnings should extend more than half way down the windows and have a valance approximately ten (10") inches wide.
- Rigid or fixed awnings, sun screens or permanent canopies should not be permitted on any portion of the building exterior.
- Metal awnings are not recommended as they are out of historic character and tend to dominate rather than enhance the architectural character.

NEW CONSTRUCTION

The City of Hilliard is experiencing rapid growth in many sections of the City. The Old Hilliard area will certainly attract some of that new development as it becomes an increasingly popular place to live and do

business. New construction may take the form of an addition to an existing older building, a completely new free-standing structure, or several new buildings which comprise a new development on previously vacant land.

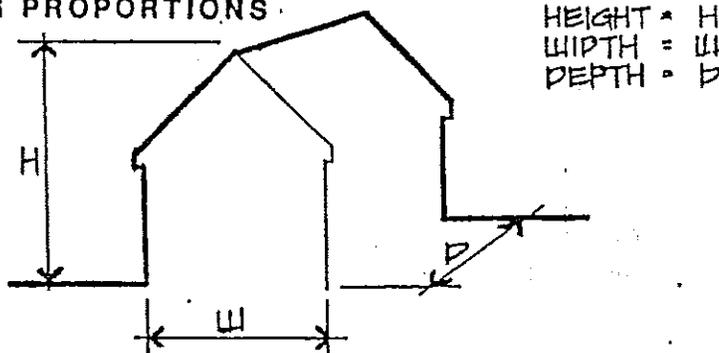
The intent of the new construction guidelines is to help the Old Hilliard District retain its character even as new development occurs. This is not to say that new buildings should look "historic". New construction should be contemporary but compatible with the existing buildings in the area. The goal of new construction in Old Hilliard should be for such construction to be visually compatible with the area's historic character.

To be compatible, buildings should take visual "cues" from neighboring buildings. In developing a design for new construction, an owner, developer, architect or builder should look at adjacent and surrounding buildings and make notes about the style, orientation, roof height, materials, colors, massing, proportion and scale, setback, rhythm and spacing or relationship between buildings. Each new structure should respect surrounding patterns while still being contemporary for the time of construction.

RESIDENTIAL AND COMMERCIAL INFILL

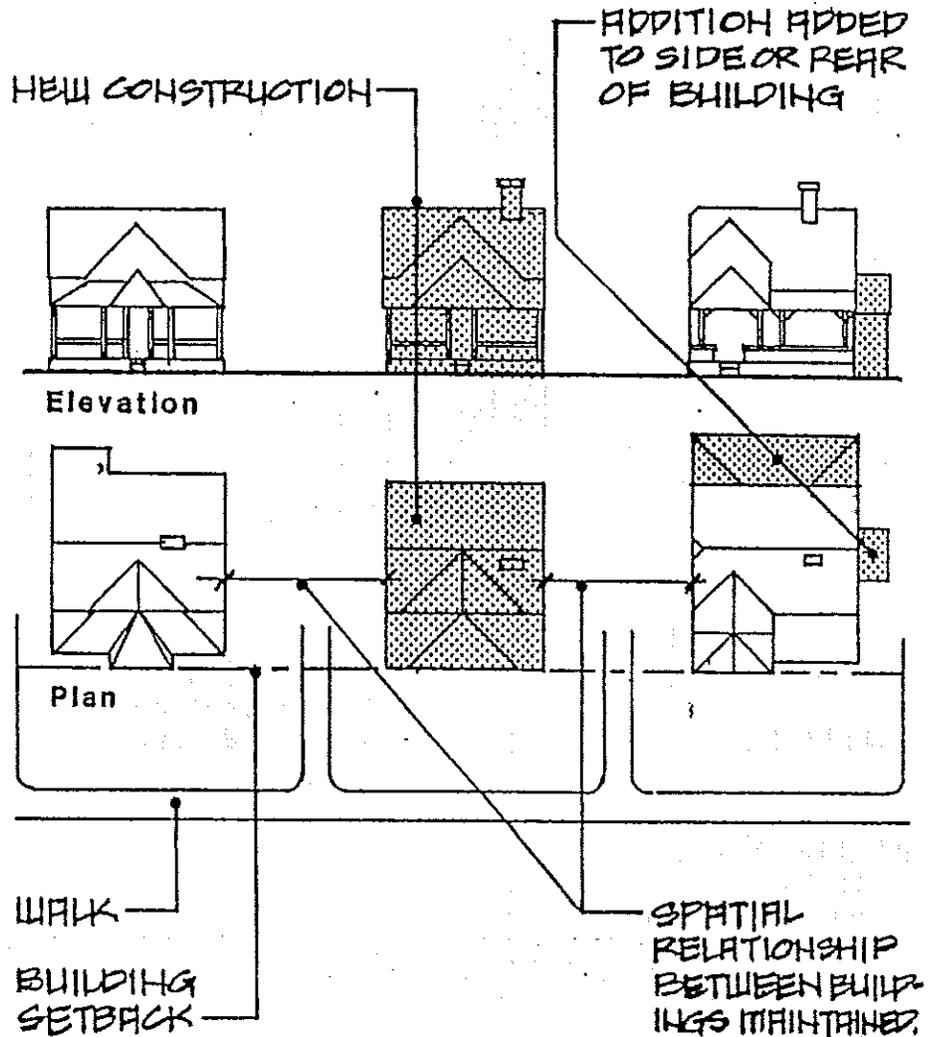
Where new buildings are built on vacant land between existing buildings, the construction is called infill construction. Infill construction is new and should not attempt to look differently by copying older facades. However new buildings should relate to their surroundings. New buildings should reflect the existing basic shapes of surrounding buildings. The following ten (10) criteria should apply to residential and commercial infill: height, width, relationship to the street, roof forms, proportion, composition, rhythm, proportion of openings, materials and colors.

BUILDING PROPORTIONS



exist between buildings should be observed in any development. Infill construction of a house on a vacant lot between two (2) houses should be appropriate if it maintains the rhythm of the street.

NEW CONSTRUCTION - RESIDENTIAL



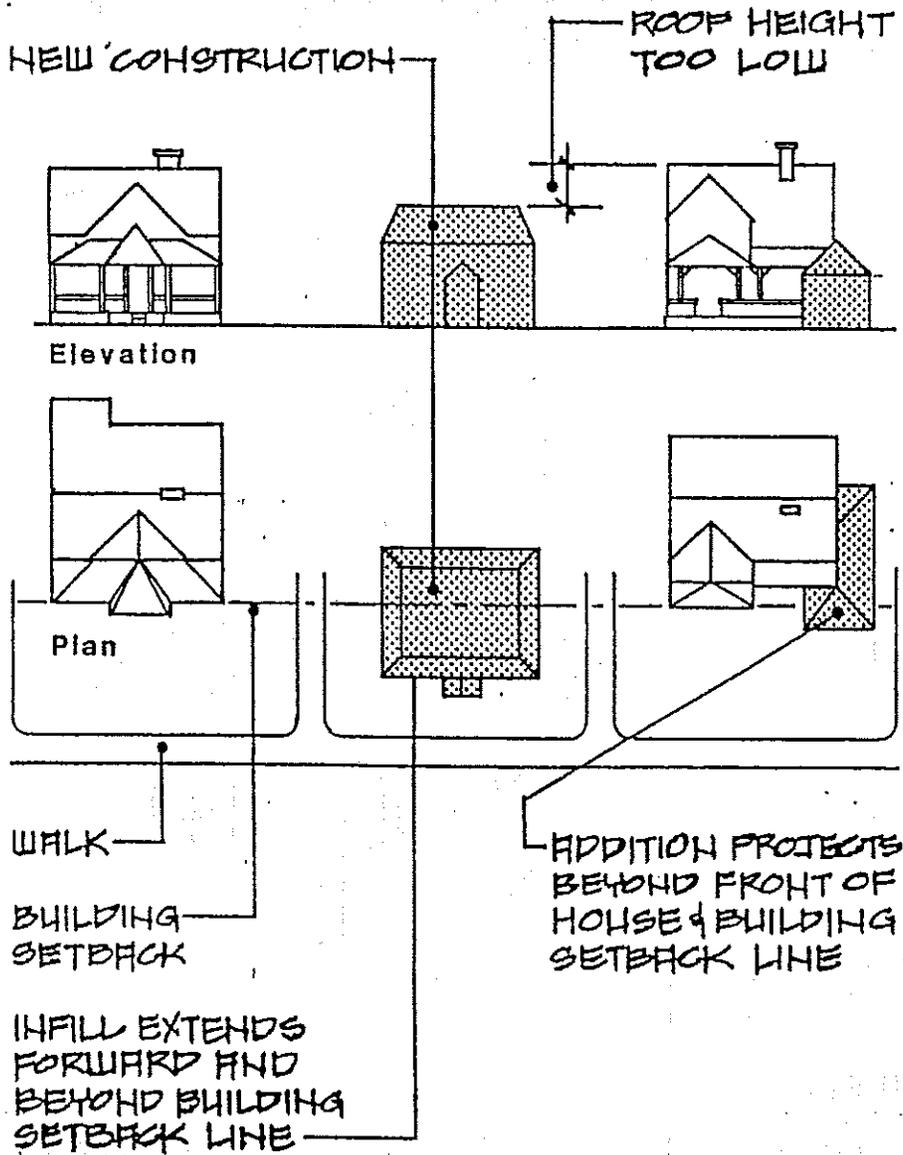
Appropriate

UNDEVELOPED AREAS

The development of vacant, undeveloped lands within Old Hilliard should comply with the guidelines previously noted for residential and commercial infill. In addition to those guidelines all new buildings should comply with the following:

- Height-width ratio or the relationship between the height and width of the front facade.

NEW CONSTRUCTION - RESIDENTIAL



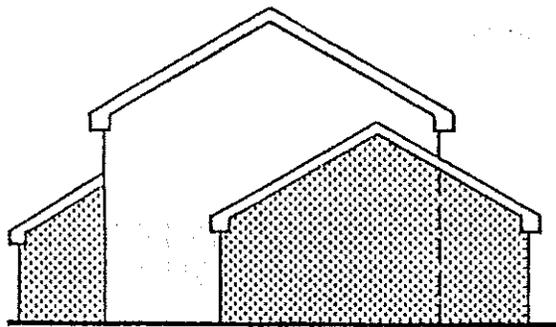
Inappropriate

- Shape of facade or building silhouette which results from the structure's geometric configuration.
- The roof forms or the number of roofs being used as well as their direction, pitch and arrangement.
- All new structures should match existing structures as to detailing and facade openings.
- All new structures should be compatible with existing structures as to material.

ADDITIONS

Additions for residential or commercial structures should not try to duplicate older styles and designs. However it is important that additions follow certain compatible relationships as to fenestration, roofs and materials.

- Additions should be placed in inconspicuous locations, preferably at the rear or in an unobtrusive, side location.
- Frame buildings should have frame additions. Brick buildings should have additions of either frame or brick. Where brick additions are made to brick buildings, the brick of the addition should match the original brick.
- Locations of new doors and windows should be located in a manner which should relate to or be similar to the location of exterior openings on the existing structure.



ROOF SLOPE AND MATERIALS ON ADDITIONS SHOULD MATCH EXISTING ROOFS

Additions

- New windows and doors should match the type in the original structure.
- Trim details should match those on the main structure.
- Pitched roofs should match the existing in direction and slope.