

Introduction:

This PUD Modification (the “Truepointe PUD Master Plan”) amends and replaces subareas 5 and 6 of the original SOMA Company development plan and text adopted by the City Hilliard under Resolution 14-R-45 (last amended 4-28-14) and establishes a new consolidated Subarea 5 that incorporates and includes a limited amount of the previous SOMA subareas acreage of 27.73+/- acres (PINs 050-003043-00 and 050-010984-00, existing medical office use.) A vibrant, campus-style, mixed-use development establishing living, working, hospitality and restaurant uses, and amenitized gathering areas, along with common green spaces will result from this amended PUD. The Truepointe PUD Master Plan will further define Hilliard’s image along I-270 and attract job and tax producing uses along the Trueman Boulevard commercial corridor.

The current site design and uses includes: four 3-story multi-family residential buildings (Bldg. B); one 4-5 story multi-family building (Bldg. A) that extends over ground level retail space (Bldg. D) and wraps around two sides of a 6-level parking garage (Bldg. C); four freestanding 1-2 story retail and restaurant buildings (Bldgs. E, F, G & J); one 4-story hotel (Bldg. H); maintain existing 1-story office building (Batelle For Kids); one 6-level parking garage (Bldg. M) between three office buildings (Office K/L, N1 & N2) that range from 2-4 stories; four 5-car residential garages as well as surface parking throughout the site.

Supporting the “24/7 live, work, play” mixed-use concept, a featured building in the middle of the site includes residential on three sides, wrapped around interior courtyards, with ground level retail and a shared parking garage. Additional multi-family is located on the southern portion of the site. Corporate offices, a co-working building and a hotel anchor the northern portion of the site. The co-location of self-supporting uses and the creation of a modern, high quality, integrated business campus is designed to attract competitive employers and to accommodate their highly valued employees in a manner that will make the Truepointe site Hilliard’s premier commercial office location. (Please see subsection L. Outdoor and Public Spaces for a further description of this live, work, play concept.)

Background, Existing Land Uses and Development Plans:

The SOMA Company zoned approximately 146.421+/- acres immediately east of I-270, north of Cemetery Road and south of Davidson Road for mixed use development. The north-south collector road from Fishinger Boulevard to Davidson Road was installed to support the SOMA development, along with the necessary utilities and other infrastructure.

Of this original acreage, 27.73+/- acres are being modified with this application. Approximately 21.664 +/- acres (PIN #050-003043-00) are owned by Trueman Boulevard LLC, which is the applicant of record and a legal entity which is fifty percent controlled by Equity Inc. and fifty percent controlled by Milhaus, a residential developer located in Indianapolis. The property to be developed was purchased in January 2022. Construction commencement is targeted for early 2023. The development and construction will be conducted by Equity and Milhaus in a joint venture, with Milhaus directing the development of the multifamily and Equity directing the development of the office and retail. A separate parcel amounting to 6.061+/- acres (PIN #050-010984-00) is owned by RRIHQ LLC, with Steve Wathen as the managing partner of this trust. The existing uses on the 6.061+/- acres site include the current Battelle for Kids medical office building in its existing condition on the RRIHQ, LLC parcel, as well as undeveloped land. Outside of this PUD Modification, the balance of the original SOMA site development, and new Subarea 6, at 2.65 acres are to be governed under its original approval terms or as otherwise updated.

Comprehensive Plan Compliance with Original SOMA Company PUD

The primary emphasis of the Comprehensive Plan for this property was the construction of the arterial connector from Fishinger Boulevard to Davidson Road, which would enable tax generating office and commercial development. The road extension was completed at the time of the previous SOMA development approval. This proposed PUD modification would fulfill the purpose of the Comprehensive Plan, the original SOMA PUD site approval and the road extension in facilitating tax generating office and commercial development. This modification and the addition of residential, retail, restaurant, hospitality, and other amenities and supportive uses are needed in the current economy and market to attract and retain high value corporate office jobs and tax base in Hilliard. The modern mixed-use development that is proposed will integrate the variety of uses on site that are self-supportive, income producing and image defining for the Trueman Boulevard Corridor.

New Subarea 5 (Replaces 27.73+/- acres of existing SOMA Text subareas 5 and a portion of subarea 6.)

A. Location and Size

1. Subarea 5 is located east of I-270 and west of Trueman Boulevard.
2. Subarea 5 is 27.73+/- acres in size.

B. Permitted Uses:

1. Those uses listed in Chapter 1111.02 "Schedule of Uses" as permitted or conditional uses for B-3 Institutions and Offices and B-4 I-270 Corridor District, including but not limited to:
 2. Office/Commercial and existing Medical Office
 3. Retail and Restaurant uses
 4. Residential: A maximum of 367 multi-family units.
 - a. Three story multi-family dwellings -up to 152 units (144 shown on plans) in four stand-alone buildings with adjacent one-story residential garages.
 - b. Residential: Central multi-family building up to 215 dwelling units (215 shown on plans) attached to a multi-level commercial parking garage [C] and adjacent retail buildings.
5. Hotel.
6. Streets, sidewalks, shared use paths and rights-of-way
7. Commercial Parking Garages - 4 to 6 level garages, and surface parking with shared parking as identified on plan exhibits.
8. Open spaces and outdoor amenities, landscaped and hard-scaped entry features, stormwater management ponds and shared commercial dumpster facilities throughout the site, common mail kiosk, residential trash enclosure and other site uses allowed under the code that are incidental to and consistent with the B-3 Institutions, Commercial Offices, B-4 I-270 Corridor District Uses and multi-family residential uses as described herein and on plan sheet exhibits.
9. Notes: Final unit counts, building stories, heights and details are included in this final development plan application. Final development plans for this submittal shall include: all multi-family uses (Buildings A & B), attached ground floor retail (Building D), south parking garage (Building C), north parking garage (Building M) and adjacent Office (Building K/L). Final development plans for office buildings and/or office uses shall be reviewed and approved administratively by the City of Hilliard.

C. Max lot coverage: Up to 80% impervious surfaces allowed, 67% impervious surfaces depicted (Final Development Plan title sheet 1/13) .

D. Height Standards Per Building Uses:

Generally, height shall be graduated from the highest buildings along I-270, to medium with greater setbacks and lower heights along the north and south end of Trueman Boulevard. Larger setbacks, landscape treatments and parking areas help buffer building heights closer to Trueman Boulevard. Final heights are included with this final development plan submittal. All Future Buildings and proposed uses noted below will be included in a future final development plan submittal and included for reference only.

1. **Building 'A':** Multi-family building at up to 5 stories connected to South Parking Garage C and adjacent to ground level retail buildings D will maximum allowances for up to 75 feet, per PDP submittal. Actual building height varies from 44 feet at four stories to 55 feet high at five story with 215 units.
2. **Buildings 'B':** Four separate, 3 story multi-family residential buildings, up to 38 units with maximum allowance of up to 152 units and 45 feet. Actual building height is approximately 44 feet high at three stories with 36 units per building or 144 total units.
3. **South Parking Garage 'C/02':** up to 5 levels, 480 spaces, connected to Multi-family Building B and Retail Building D, up to 60 feet. Actual building height varies from 59 to 72 feet high at six levels with approximately 617 parking spaces.
4. **Building 'D':** ground level retail spaces at 8,600 SF, 1 story, 18 feet high.
5. **Future Building 'E':** proposed retail or restaurant uses at approximately 7,200 SF, only 1 story, up to 35 feet high (max).
6. **Future Building 'F':** proposed retail or restaurant uses at approximately 9,000 SF, up to 2 stories, 45 feet high (max).
7. **Future Building 'G':** proposed retail or restaurant uses at approximately 12,200 SF, up to 2 stories, 45 feet high (max).
8. **Future Hotel Building 'H':** proposed 4-story hotel use at approximately 108 guest rooms, up to 60 feet high (max).

9. **Office Building 'I'**: existing Battelle for Kids medical office building, 19,500 SF, 1 story, approximately 35 feet high as approved with existing conditions and standards.
10. **Future Building 'J'**: proposed retail or restaurant uses at approximately 7,400 SF, 1 story, up to 35 feet high (max).
11. **Building 'K'**: proposed co-work/flex office use at approximately 8,200 SF to 8,500 SF per floor at 16,700 SF total within 2-stories, at 34 feet high.
12. **Building 'L'**: proposed office building at approximately 31,400 SF to 32,800 SF per floor at 97,000 SF total within 3-stories at 55 feet high (max).
13. **North Parking Garage 'M/01'**: up to 6 levels, 711 spaces along I-270, up to 70 feet high. Actual building is 6 levels at 62 feet high with approximately 747 parking spaces.
14. **Future Building 'N'**: Office building up to 6 stories (up to 200,000 sf) along I-270, up to 110 feet.

Proposed medical office Building N1(North) approximately 11,800 SF per floor or 35,400 SF total at 3-stories or 50 feet high (max).

Proposed medical office Building N2(South) approximately 25,000 SF per floor or 100,000 SF total at 4-stories or 62 feet high (max).
15. **Building "P"**: free-standing residential garage with 20 total spaces serving the multi-family buildings.

E. Setbacks:

1. Building setbacks from overall subarea boundaries shall be as follows:
 - a. North (side) 0 feet required minimum, 6 feet provided.
 - b. South (side) 5 feet required minimum, 19 feet provided.
 - c. East (front) 40 feet required minimum, 79 feet provided.
 - d. West (rear) 50 feet required minimum, 63 feet provided.
2. Minimum vehicular area setbacks from property lines shall be as follows:
 - a. North (side) 20 feet required minimum, 0 feet provided.
 - b. South (side) 20 feet required minimum, 94 feet provided.
 - c. East (front) 25 feet required minimum, 25 feet provided.
 - d. West (rear) 60 feet required minimum, 64 feet provided.

3. Setbacks and measurements between buildings, parking areas and yard areas are to be provided as approved on final development plans.
4. North (side) building setback of 0 feet does not include proposed 20 feet No-Build Easement located on adjacent parcel to the north as shown on final development plans exhibits.
5. All perimeter setbacks must be landscaped to meet the standards of this PUD text and shall be depicted on final landscaping and development plans.

F. Landscaping:

1. All landscaping shall be in accordance with the requirements of Hilliard City Code Section 1125 unless otherwise provided herein.
2. Landscaping along Trueman Boulevard is shown in the existing and planted condition which shall remain as shown on landscape plans, L-3 and L-4.
3. Landscaping along western property line facing I-270 shall be as shown on the landscape plans and shall include proposed trees planted between site parking and building uses and the existing gas line easement, subject to gas company review of easement standards.
4. Any portion of a lot upon which a building or a parking area are not constructed shall be landscaped with lawn as a minimum. General depictions of landscape screening for building and parking garage foundations are depicted on landscape plan exhibits. Landscaping for headlight screening is depicted on plans for access to residential areas.
5. 1125.04 (g) - All interior streets are private and mostly function as drive aisles and access to parking, and do not meet public street tree requirements. Street trees on each side of the main arterial entry drive shall be located as depicted on landscape plans, subject to adjustment based on final development plan approval. Site open spaces and ponds are generally ringed with perimeter trees.
6. 1125.04 (i.) - Tree Replacement Standards
 - a. Tree replacement within subarea 5 is impacted by existing utility easements along Trueman Boulevard on the east and a gas line easement along I-270 on the west. Replacement tree standards are established based on new trees maturing with spacing allowance for healthy growth and the context of an urban, mixed-use development setting.
 - b. Existing trees to be removed = 90 trees @ 1,394 caliper inches
 - c. 697 replacement caliper inches are provided on site (349 replacement trees at 2 inches caliper)

- d. With a total of 90 trees to be removed that are to be replaced with 349 trees, the replacement ratio is greater than 3.9:1, which is in addition to other required plantings.
7. 1125.05 - Vehicular Use Areas
- a. 1125.05 (b) Perimeter Landscaping of Vehicular Use Areas - Existing sanitary and utility easements limit planting trees on the east and west property perimeters. To meet the intent of the code for perimeter screening of vehicular use areas from public streets, the existing mounding of 4+/- feet in height, along with changes in site elevation from east to west provide the screening of the vehicular use areas from Trueman Boulevard. Perimeter buffers trees are to be planted along the western property line subject to existing gas line easement limitations and path placement. Tree plantings are also to be provided along the border of northern site entrance leading into the site from east to west. Final perimeter plantings are to be located on the final development plans.
- b. 1125.05 (c) (1) and (2) Interior Landscaping in Vehicular Use Areas - Interior landscaping and tree placement in vehicular use areas shall meet code requirements to provide parking lot and interior plantings as depicted on final development plans. A central boulevard access is lined with trees in curbed planters at the main site entrance. Parking islands are used to define aisles and break rows of parking, while providing shared parking between land uses and will average one interior island per one hundred feet in length. In areas without plantings, parking lot islands shall be planted with turf or will be mulched at minimum. Low and durable accent landscaping such as shrubs, ornamental grasses and perennials will be provided along with entry signage features and along the central and northern entry streets from Trueman Boulevard. Entry feature designs are to be finalized at the time of final development plan.
8. 1125.06 Buffering and Screening Existing screening is to remain in place and will be supplemented by the addition of 8 trees to meet code and to buffer and screen between the southern-most residential building B and the existing neighboring assisted living facility to the south.

G. Lighting:

1. Light designs and character are to be depicted on the Site Photometric Plans, drawing E0.03-E0.05 and associated light fixtures specifications and cut sheets included in the final development plan. Lighting designs shall meet Hilliard code requirements unless otherwise modified at final development plan approval.
2. The general design intent for lighting is to be similar to the developments to the north, south and along Trueman Boulevard. The mounting heights for the parking lots and the main arterial entry street is 25 feet in height. The main arterial entry street and park areas will have post type light fixtures.

Building mounted fixtures will contribute to the site lighting. The style of this building lighting is to be incorporated into architectural designs.

3. External lighting within all subareas shall be cut-off type fixtures.
4. All types of parking, pedestrian and other lighting shall be on poles or wall mounted cut-off fixture and shall be similar in type and style, as depicted on lighting exhibits at the time of final development plan approval.
5. All light poles and standards shall be dark in color and shall either be constructed of black or dark bronze metal.
6. Parking lot lighting shall be high-pressure sodium or LED. Building and landscaping lighting may be incandescent or metal halide.
7. Landscape and building up lighting from a concealed source shall be permitted.
8. All lights shall be arranged to reflect light away from any street or adjacent property.
9. All building illuminations shall be from concealed sources.
10. No colored lights shall be used to light the exterior of buildings.

H. Parking and Loading.

1. Total proposed parking available for the entire Subarea 5 shall be 2,340 spaces, which includes 820 on-site surface parking spaces, 60 off-sites surface parking spaces, 1,180 commercial parking garage spaces and 340 shared parking spaces as approved in the Preliminary Site Development Plans.

The total actual parking available for the entire Subarea 5 shall be 2,629 spaces, which includes 822 on-site surface parking spaces, 86 off-sites surface parking spaces, 1,324 commercial parking garage spaces and 398 shared parking spaces as included in the Final Site Development Plans.

- a. Total minimum parking available is based on the following ratios: for Multi-family (1.75 per unit), for Retail (1.0 per 250 sf), for Restaurant (1.0 per 50 sf), for Hotel (1.0 per room), for Office (1.0 per 300 sf).
- b. Shared parking will include a combination of on-site shared surface parking (153 spaces), off-site shared parking (86 spaces) and parking garage spaces (245 spaces) for a total of 398 shared spaces that may be occupied up to 50% of the day.
- c. Total shared parking spaces will not exceed 30% of total required spaces.

I. Access and Curb Cuts.

1. Access to Subarea 4 shall be from the three existing access points on Trueman Boulevard. A central boulevard access is supplemented by two other accesses shared with existing developed properties, on the north and to the south of the site.
2. Cross access easements shall be declared for the site and the adjacent property to the north, subject to the approval of the Law Director.

J. Waste and Refuse.

1. Where not contained within parking garage buildings, all waste and refuse shall be containerized and screened from view by a solid wood framed wall (not concrete block) compatible with building materials on three sides, and a wood fence/gate on the fourth side. Additional de-centralized refuse collection facilities are located throughout the site to service all proposed uses.

K. Storage, Equipment, Service Areas and Mail Kiosks

1. No materials, supplies, equipment or products shall be stored or permitted to remain on any portion of the parcel outside the permitted structures. Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building and/or landscaping treatment.
2. No noises, smoke, odors, vibration or other nuisances shall be permitted.
3. No area of the site will be used for outdoor storage.
4. Service courts and loading docks shall be screened from all streets or adjacent buildings by landscaping, mounding or walls and/or other acceptable techniques.
5. All mechanical equipment and related structures shall be screened effectively from grade level view by a fence, vegetation, wall or harmonious architectural material and character.
6. Mechanical equipment or other utility hardware on roof or buildings shall be screened from outside views with materials harmonious with the building.
7. Mail kiosks are to be incorporated into site designs at the time of final development plan with appropriate architectural, lighting, landscaping treatment and accessibility standards, subject to USPS requirements.

L. Outdoor and Public Spaces:

1. The Truepointe Master Plan development will provide a vibrant, walkable mixed-use district for the City of Hilliard, where residents can live, work, and play. To elevate this experience, the project's open spaces emphasize a quality public realm with pedestrian connections to attractive green space amenities, active public plazas, and parks with outdoor event space. The development framework provides an efficient, thoughtful use of pedestrian space between a mix of uses, including multi-family, retail, restaurant, office, and hotel-hospitality.

A signature, mixed use Main Street with a centrally located round-about is main entrance from Trueman Boulevard, which leads to central civic green, destination shopping, outdoor gathering, dining, fitness, and special events. The main street entry includes wide sidewalks with space for shade trees and retail/restaurant outdoor seating. The central civic green could host outdoor events such as concerts or movies and provides outdoor gathering and dining space for destination restaurants or taverns with rooftop dining.

Within the northern office-commercial a series of public parks and plazas, connected by a pedestrian-oriented streetscape network provide outdoor amenities. Both proposed office buildings and hotel include special paved vehicular arrival courts and pedestrian plazas with shade trees and seating. The northwest office area (Office Buildings 'K/L') includes co-working office space and serves as a green campus, including a sustainable park, a vehicular arrival court plaza, and shared North Parking Garage 01 (Building 'M'). This office building engages strong views of the existing lake to the north and will be connected to the adjacent office park with improved surface parking.

Within the southern portion of the site (multifamily residential) are attractive amenities, such as a dog park, an outdoor shade pavilion with grilling stations, picnic space, sand volleyball, a centralized mail kiosk, connected trails with benches, passive/active courtyards with swimming pool, cabanas, lounge space, fire pits, outdoor dining, cornhole or bocce, shaded seating, and a hammock grove.

This Truepointe multi-modal development seeks to balance vehicular circulation needs and parking demands with strong pedestrian connectivity, biking, and overall public realm experience.

2. Open Space Commitments, Parkland Dedication (1187.06) and Outdoor Amenities will meet code requirements will be further defined in the final development plans.

M. Architectural Commitments:

1. Commercial Design: building materials and design shall be consistent and compatible with buildings along the I-270 outer belt between Cemetery Road and Sawmill Road. While this district represents a broad range of building materials and architectural styles, these structures are generally a minimum of two stories in height, and constructed of glass, metal, pre-cast concrete.

a. Color Palette: Buildings may be constructed with a variety of colors to support creative urban designs and a vibrant mixed-use environment. Accent colors in brighter hues are permitted for building accent features.

b. Materials: Brick, brick veneer, stone, stone veneer, stucco stone, pre-cast concrete, fiber cement, metal, glass, natural wood, wood composite, stucco, high quality vinyl siding with nominal thickness of .044" and wood grain finish and fiberglass are all permitted building materials.

c. Roof: Flat roofs are permitted, provided all roof top mechanical units are fully screened from view.

d. Articulation and Fenestration: Buildings shall have a consistent finish on all four sides. Fenestration shall be proportional with building size and massing.

e. Refer to Conceptual Site Renderings, dated 5/17/22 for proposed retail design that meets the design intent defined above.

f. Final hotel and retail elevations and building designs shall be provided at the time of final development plan approval and as building users are identified.

2. Residential Design: Final renderings of residential structures are provided to show proposed exterior building materials, quality and designs planned for Buildings A & B.

a. Approved materials for residential buildings include but are not limited to the following:

i. Brick, brick veneer, brick soldier course headers

ii. Aluminum guardrails; balcony railing, other metal coping material and metal canopies.

iii. Fiberglass doors, vinyl windows and siding panels.

iv. Cast stone/Ground face block.

v. Fiber cement panels with reveals and fiber cement siding.

vi. Architectural metal panels.

- b. Building A height shall not exceed 75 feet, including 5 floors and roof architectural features.
- c. Buildings B height shall not exceed 45 feet, including 3 floors and roof architectural features.
- d. Color palette: Residential colors are more diverse than traditional suburban options to reflect the mixed-use environment and more urban-style architecture with colors that reflect a modern-traditional context with industrial influences.
- e. Refer to Final Residential Building 'A' & 'B' Floor Plans and Elevations, dated 10/5/22, for proposed residential design that meets the design intent defined above.
- f. Refer to Final Office Building 'K/L' Floor Plan and Elevations, dated 10/5/22, and additional color renderings for proposed office building design that meets the design intent defined above.
- g. Refer to Parking Garage 01 & 02 Floor Plan and Elevations, dated 10/5/22, for proposed office building design that meets the design intent defined above.

Articulation and Fenestration: Buildings shall have a consistent finish on all four sides. Fenestration shall be proportional with building size and massing.

- g. Roof: Flat roofs are permitted, provided all roof-top mechanical units are fully screened from outside view.

N. Utilities and Grading:

1. All new utility lines including water service, electricity, telephone and gas, and their connections or feeder lines should be placed underground. Provided, however, the existing overhead transmission lines shall remain above ground. Meters, transformers, etc. may be placed above ground, but should be screened from view. To the extent possible, utility line placement will be sensitive to existing vegetation.
2. All utility connections should be out of view or screened.

O. Traffic Commitments:

Refer to the Traffic Impact Study, dated 6/3/22, revised 8/2/22 and approved by Hilliard on 8/2/22 for Technical Analysis, Traffic Signal Warrant Analysis, Conclusions and Recommendations and all supporting documents.

P. Signage:

Refer to the Truepointe Sign Criteria Package, dated 10/5/22 that is intended to be a comprehensive sign criteria that will govern all proposed site monument signage, directional, wayfinding, multi-family, commercial office, retail and parking garage wall signs. This criteria is intended to supplement Hilliard Code requirements.

Q. General PUD Notes:

1. The building locations, footprints, square footage, heights, planting installations, designs and architecture and the exhibits attached to this PUD Modification text depicting the same are conceptual in nature and illustrative of what could be built on the site under the text and plan standards. The final designs, uses and configuration of uses are subject to change and alteration at the final development plan stage and subject to final engineering based on the needs of end users and the separate ownership division of buildings or areas as well as other necessities driven by engineering, topography, structural changes, cross-access easements, utility placement and related final engineering and final site design determinations.

2. All or portion(s) of the Truepointe PUD may be submitted to the provisions of Chapter 5311 of the Revised Code of Ohio (Ohio's "Condominium Act"). If submitted to the provisions of the Condominium Act, a forced and funded condominium association will be formed by the applicant to maintain, repair, and replace the common elements in the condominium. The condominium association, if created, will have the right, power, and authority to charge assessments to unit owners in the condominium in an amount that is adequate to provide for the maintenance, repair, and replacement of private streets, associated parking spaces, open spaces, sidewalks, and other elements of the community that are of common interest to unit owners.

Refer to Condo Unit Site plan, sheet 7 of 13, for proposed condominium units that will be platted and recorded along with all applicable utility and cross-access easements required.



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TRUEPOINTE DEVELOPMENT

CONCEPTUAL RENDERING

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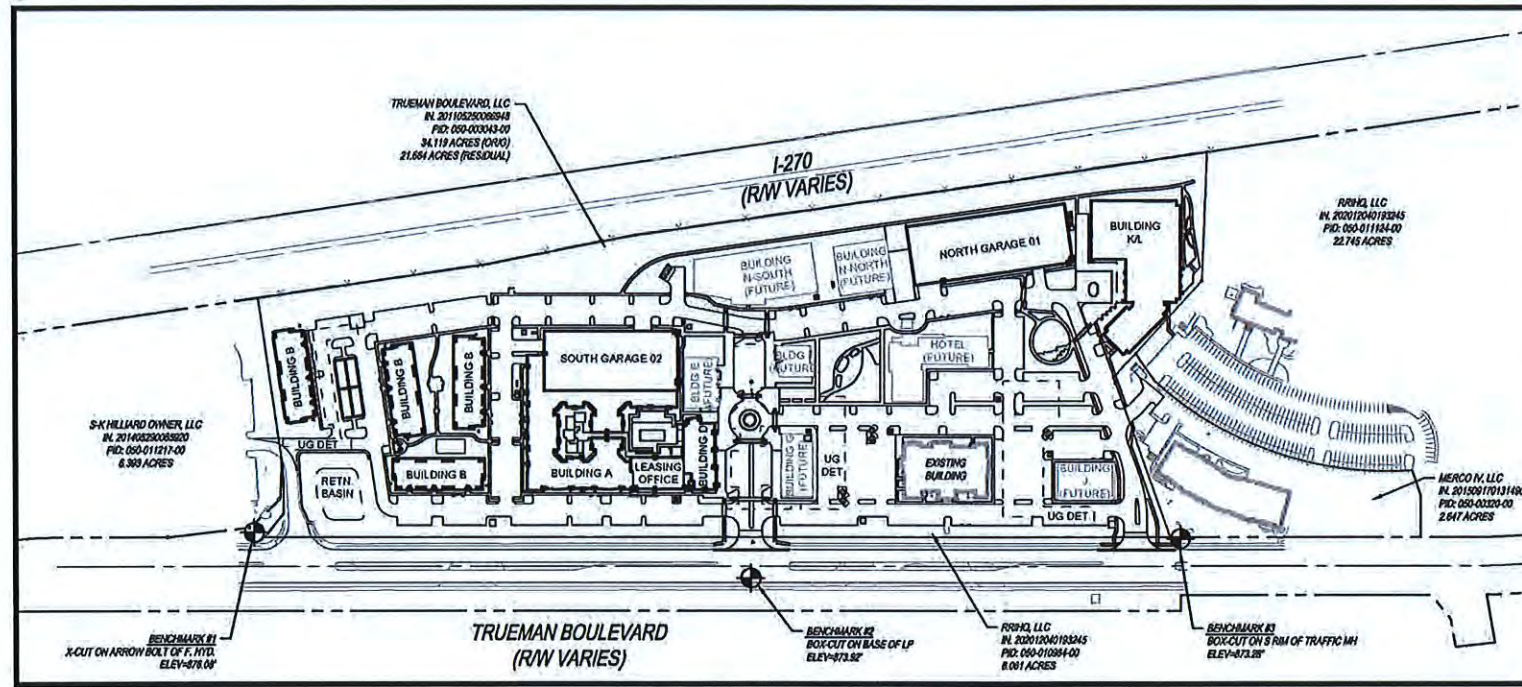
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FINAL DEVELOPMENT PLAN FOR TRUEPOINTE MIXED USE DEVELOPMENT 4457 TRUEMAN BLVD HILLIARD, OH 43026



INDEX MAP
1"=200'



LOCATION MAP
1"=1000'

LEGEND

	CITY OF HILLIARD CORPORATION LIMITS		CITY OF COLUMBUS CORPORATION LIMITS
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APPROVALS

SIGNATURES ON THIS PLAN SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLAN.

REVIEWED BY:

_____ DIRECTOR OF PUBLIC SERVICE, CITY OF HILLIARD CITY ENGINEERING, CITY OF HILLIARD	DATE
_____ ZONING INSPECTOR, CITY OF HILLIARD	DATE
_____ CHAIRPERSON OF THE PLANNING & ZONING COMMISSION CITY OF HILLIARD	DATE

FINAL DEVELOPMENT PLAN NOTE:
THIS PLAN SET IS TO BE USED FOR ZONING APPROVAL PURPOSES ONLY.

DESCRIPTION
THIS PROJECT IS TO INCLUDE MULTIPLE RESIDENTIAL, OFFICE, AND RETAIL BUILDINGS, AS WELL AS TWO PARKING GARAGES. SITE IMPROVEMENTS WILL INCLUDE PARKING LOTS FOR THESE BUILDINGS, SITE UTILITIES, DEDICATED OPEN SPACES, AND DETENTION/RETENTION AREAS FOR STORMWATER MANAGEMENT.

DEVELOPMENT STANDARDS			
STANDARD	EXISTING*	REQUIRED (1)	PROPOSED
FRONT BUILDING SETBACK (E)	79'	40' MIN	79'
SIDE BUILDING SETBACK (S)	310'	5' MIN	19'
SIDE BUILDING SETBACK (N)	123'	0' **	6'
REAR BUILDING SETBACK (W)	305'	50' MIN	63'
IMPERVIOUS AREA	52%	80% MAX	67%
DEDICATED OPEN SPACE	N/A	2% MIN	4.30%
FRONT PARKING SETBACK (E)	26'	25' MIN	25'
SIDE PARKING SETBACK (S)	108'	20' MIN	94'
SIDE PARKING SETBACK (N)	205'	20' MIN	0' ***
REAR PARKING SETBACK (W)	10'	60' MIN	64'

* EXISTING CONDITIONS ARE RELATIVE TO EXISTING PARCEL 050-010984-00 ONLY
** SUBJECT TO 20' NO-BUILD EASEMENT ON ADJACENT PARCEL
(1) REFERENCED FROM DEVELOPMENT TEXT APPROVED AS PART OF THE PRELIMINARY DEVELOPMENT PLAN APPLICATION ON 08/04/2022
*** DEVIATION FROM APPROVED DEVELOPMENT TEXT REQUIRED

SITE DATA				
PARCEL ID	050-003043-00 & 050-010984-00			
TOTAL SITE AREA	27.73 ACRES			
EXISTING ZONING DISTRICT	EXISTING PUD			
PROPOSED ZONING DISTRICT	PUD (PLANNED UNIT DEVELOPMENT)			
EXISTING USE	050-003043-00; UNDEVELOPED; 050-010984-00; MEDICAL OFFICE BUILDING			
PROPOSED USE	MIXED USE			
OFF-STREET PARKING (1)				
CODE SECTION	STANDARD	REQUIREMENT	EXISTING	PROPOSED
1127.02	DISTANCE BETWEEN DRIVES	150' MINIMUM (35 MPH SPEED LIMIT)	N/A	803'
1127.02	DRIVE DISTANCE FROM STREET INTERSECTION	250' MINIMUM (ALONG ARTERIAL, INTERSECTING ARTERIAL STREET)	N/A	1514'
STD. DWG. 00-1	DRIVEWAY WIDTH	22' MIN - 36' MAX	43'	48' (D/W)
1127.04	PARKING SPACE DIMENSIONS (PERPENDICULAR)	9 FT X 18 FT	9 FT X 18 FT	9 FT X 18 FT
1127.04	PARKING SPACE DIMENSIONS (54-74 DEGREES)	9 FT X 20 FT	N/A	9 FT X 20 FT
1127.04	AISE WIDTH (PERPENDICULAR PARKING)	24 FT MINIMUM (2-WAY TRAFFIC)	N/A	24-26 FT (2-WAY TRAFFIC)
1127.04	AISE WIDTH (ANGLE)	18 FT MINIMUM (1-WAY TRAFFIC)	N/A	18 FT (1-WAY TRAFFIC)

N/S - NO STANDARD
D/W - DESIGN WAIVER NEEDED FOR DEVIATION FROM STANDARD DRAWING
(1) - REFERENCE PARKING ANALYSIS TABLE (SHEET 6)

THE KLEINGERS GROUP

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NO.	DATE	DESCRIPTION
1	10/28/22	PER CITY PLANNING REVIEW

**FINAL DEVELOPMENT PLAN FOR
TRUEPOINTE MIXED USE DEVELOPMENT**
4457 TRUEMAN BLVD
HILLIARD, OH 43026

PROJECT NO: 200123.004
DATE: 09/28/2022
SCALE:

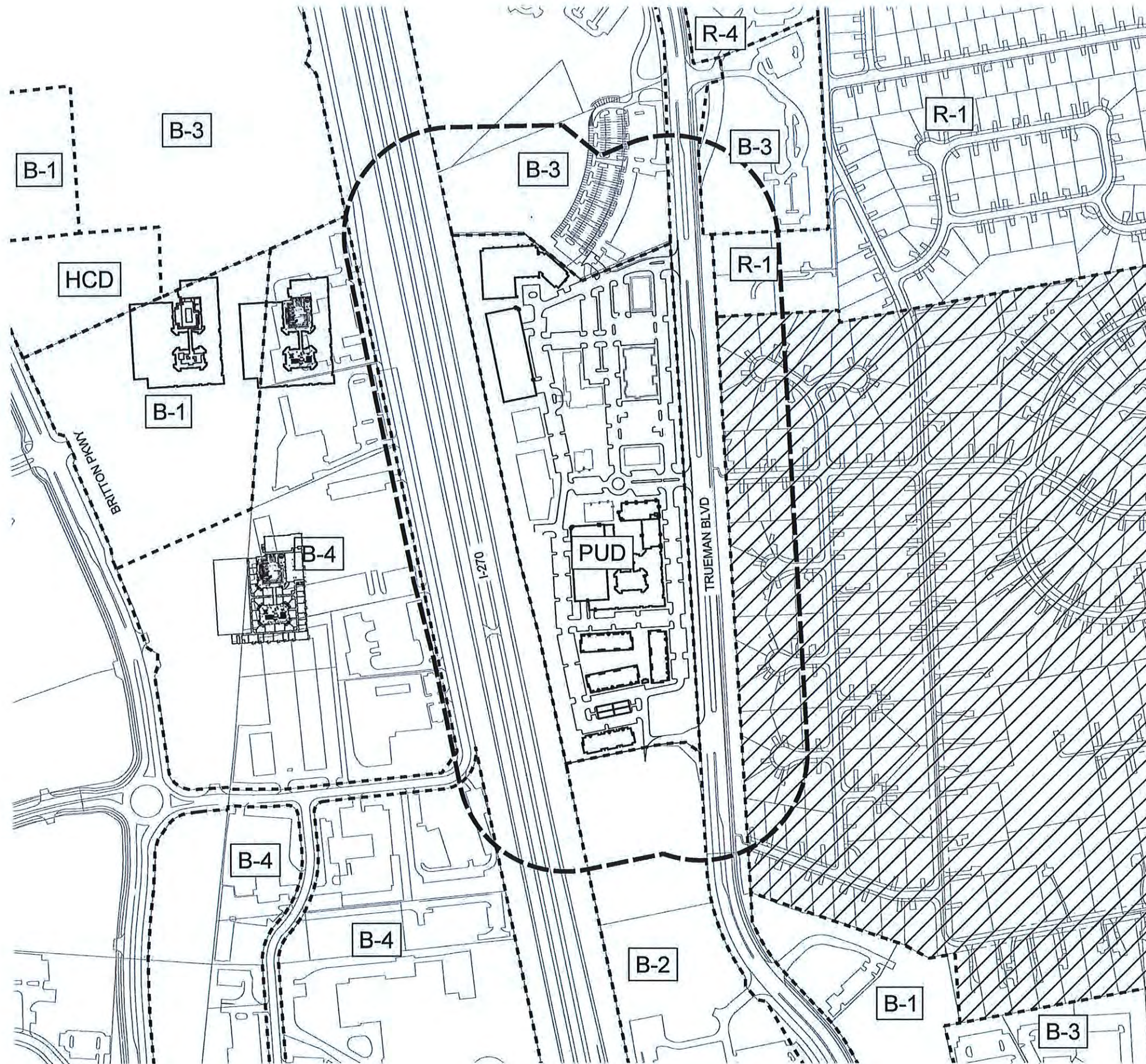
AS SHOWN

SHEET NAME:





TITLE SHEET

SHEET NO.
1/13





ZONING LEGEND

-  CITY OF COLUMBUS
-  CITY OF HILLIARD
-  400' PROPERTY LIMIT BOUNDARY
-  ZONE DISTRICT BOUNDARY
- R-1 LOW DENSITY RESIDENTIAL DISTRICT
- R-4 HIGH DENSITY RESIDENTIAL DISTRICT
- B-1 NEIGHBORHOOD BUSINESS DISTRICT
- B-2 COMMUNITY BUSINESS DISTRICT
- B-3 OFFICE/INSTITUTIONAL DISTRICT
- B-4 I-270 CORRIDOR DISTRICT
- HCD HILLIARD CONSERVATION DISTRICT
- PUD PLANNED UNIT DEVELOPMENT DISTRICT



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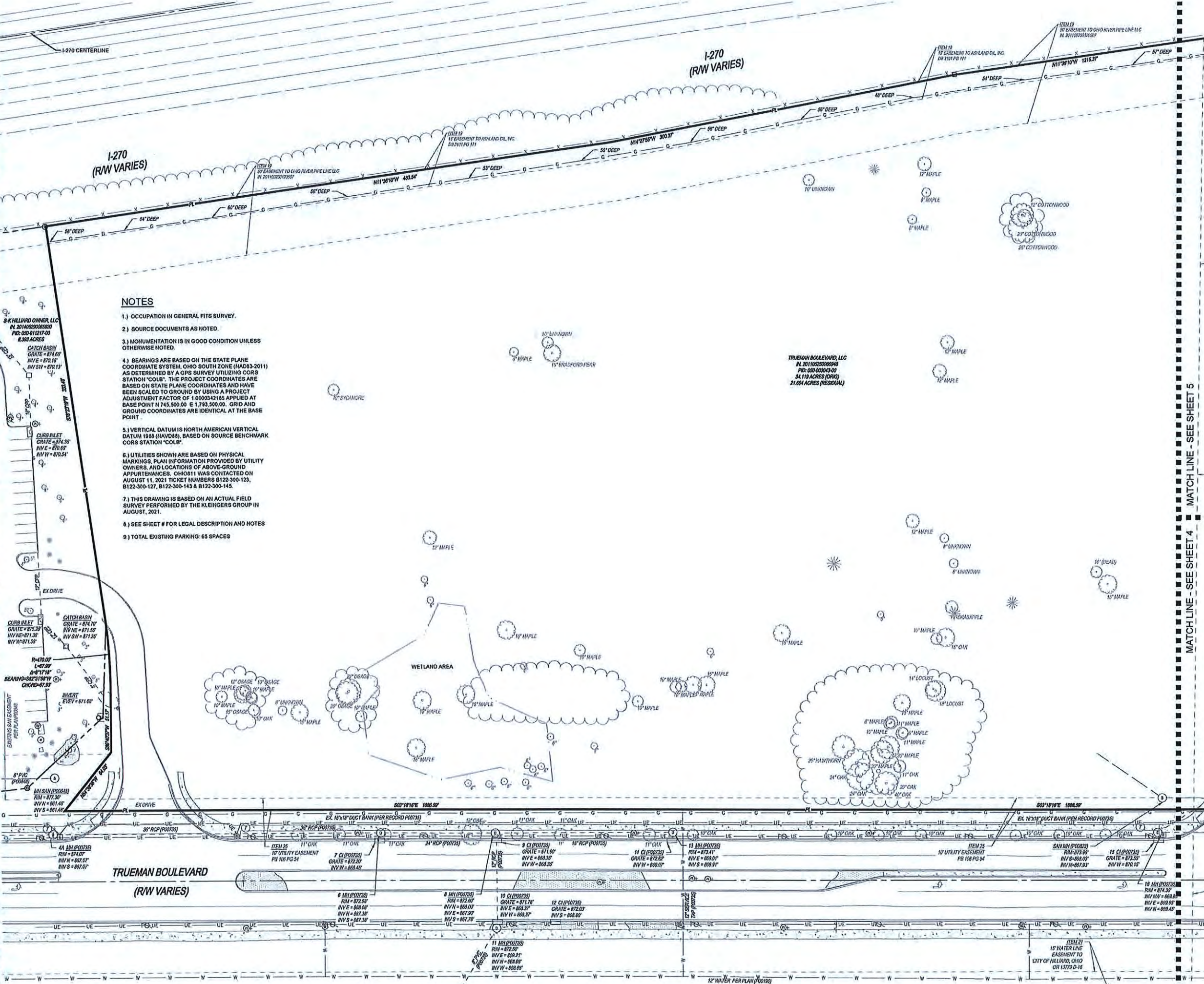
SHEET NAME:

LAND EXHIBIT

SHEET NO.

2/13





NOTES

- 1.) OCCUPATION IN GENERAL FITS SURVEY.
- 2.) SOURCE DOCUMENTS AS NOTED.
- 3.) MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
- 4.) BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE (NAD83-2011) AS DETERMINED BY A GPS SURVEY UTILIZING CORS STATION "COLB". THE PROJECT COORDINATES ARE BASED ON STATE PLANE COORDINATES AND HAVE BEEN SCALED TO GROUND BY USING A PROJECT ADJUSTMENT FACTOR OF 1.0000342185 APPLIED AT BASE POINT N 745,500.00 E 1,793,500.00. GRID AND GROUND COORDINATES ARE IDENTICAL AT THE BASE POINT.
- 5.) VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD83), BASED ON SOURCE BENCHMARK CORS STATION "COLB".
- 6.) UTILITIES SHOWN ARE BASED ON PHYSICAL MARKINGS, PLAN INFORMATION PROVIDED BY UTILITY OWNERS, AND LOCATIONS OF ABOVE-GROUND APPURTENANCES. OHIO811 WAS CONTACTED ON AUGUST 11, 2021 TICKET NUMBERS B122-300-123, B122-300-127, B122-300-143 & B122-300-145.
- 7.) THIS DRAWING IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THE KLEINGERS GROUP IN AUGUST, 2021.
- 8.) SEE SHEET # FOR LEGAL DESCRIPTION AND NOTES
- 9.) TOTAL EXISTING PARKING - 65 SPACES

LEGEND

- 5/8" CAPPED IRON PIN SET
- 6/8" IRON PIN FOUND
- ▲ 1" IRON PIPE FOUND
- △ NAIL SET
- ▲ NAIL FOUND
- ▲ RR SPIKE SET
- ▲ BENCHMARK
- UTILITY POLE
- GUY WIRE
- UE UNDERGROUND ELECTRIC
- E OVERHEAD ELECTRIC
- HVAC UNIT
- TRANSFORMER
- GROUND LIGHT
- ELECTRIC BOX
- LIGHT POLE
- UT UNDERGROUND TELEPHONE
- T OVERHEAD TELEPHONE
- T TELEPHONE MANHOLE
- T TELEPHONE PEDESTAL
- G GAS MAIN
- G GAS VALVE
- UCATV UNDERGROUND CABLE TV
- ETC OVERHEAD ELECTRIC/TELEPHONE/CABLE
- ET OVERHEAD ELECTRIC/TELEPHONE
- W WATER MAIN
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- IRRIGATION CONTROL VALVE
- WATER MANHOLE
- SANITARY MANHOLE
- CLEAN OUT
- SANITARY SEWER
- STORM MANHOLE
- STORM SEWER
- CATCH BASIN
- INLET
- YARD DRAIN
- DOWN SPOUT
- TRAFFIC MANHOLE
- TRAFFIC CONTROL CABINET
- TRAFFIC SIGNAL POLE
- SIGN
- GUARD POST (PIPE BOLLARD)
- FLAG POLE
- FENCE
- TREE
- TREELINE
- B01 CONTOUR LINES
- B05 CONTOUR LINES
- CONCRETE
- GRAVEL
- LANDSCAPE AREA
- BRICK/PAVER
- DECK/PORCH

MATCH LINE - SEE SHEET 4 MATCH LINE - SEE SHEET 5

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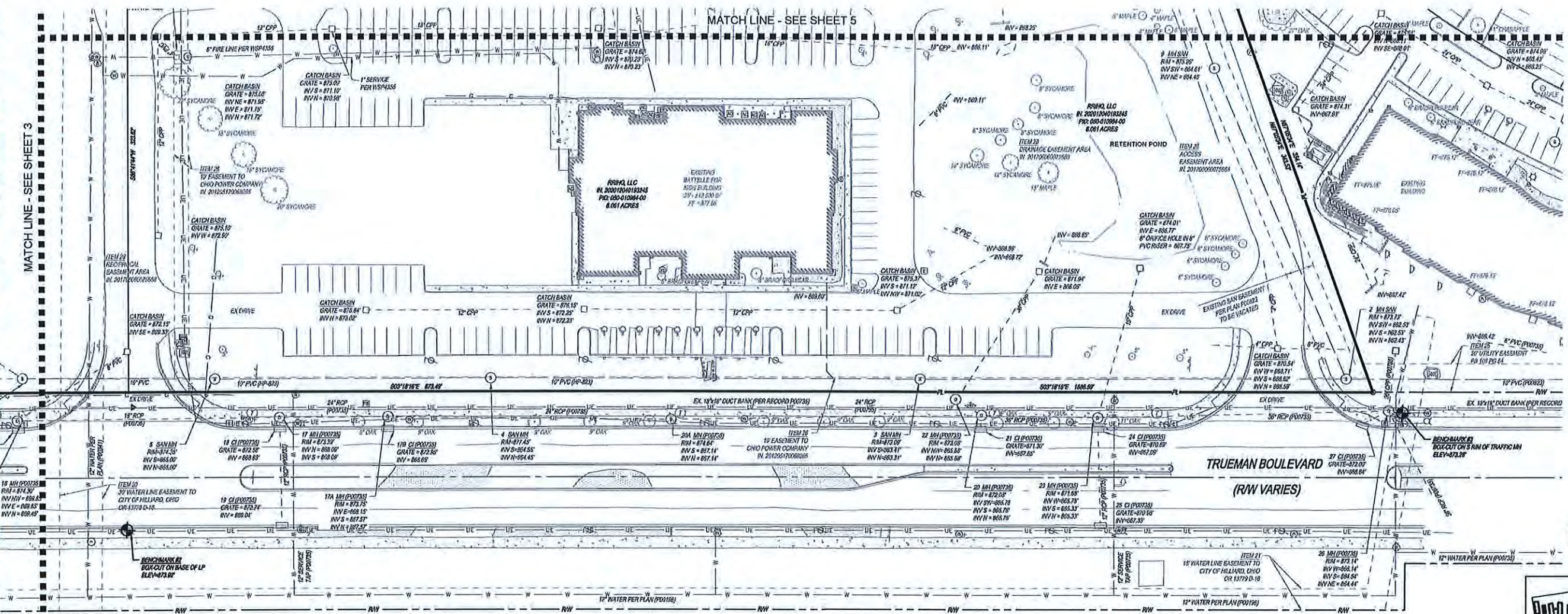
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 4457 TRUEMAN BLVD
 HILLIARD, OH 43026

PROJECT NO:	200123.004
DATE:	09/29/2022
SCALE:	

EXISTING CONDITIONS PLAN





LEGEND

Table with 4 columns listing symbols for various features: 5/8\"/>

LEGAL DESCRIPTION

TRACT ONE (FEE SIMPLE) SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF HILLIARD, IN VIRGINIA MILITARY SURVEY NO. 3000 AND BEING A PORTION OF AN ORIGINAL 103.533 ACRE TRACT OF LAND CONVEYED TO SOMA CO., BY DEED OF RECORD IN OFFICIAL RECORD 3894, PAGE F 14, ALL RECORDS REFERENCED TO THE RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, AND BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE EAST LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 270 (VARIABLE WIDTH), 165 FEET RIGHT OF CENTERLINE STATION 463+08.24, REFERENCED TO SHEET 15 OF 30 OF OHIO DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY PLANS FOR FRA-270-3.47 N, IN AN EAST LINE OF A 19.79 ACRE TRACT OF LAND CONVEYED, FOR INTERSTATE 270 RIGHT-OF-WAY PURPOSES AS PARCEL 2018-WL, TO STATE OF OHIO, BY DEED OF RECORD IN DEED BOOK 2691, PAGE 398, AND AT THE NORTHWEST CORNER OF LOT NO. 4, AS SHOWN UPON THE PLAT OF CENTRAL PARK, OF RECORD IN PLAT BOOK 102, PAGES 65-67, SAID POINT BEING REFERENCED BY AN IRON PIPE WCAP FOUND S 28° 33' 58\"/>

LESS AND EXCEPT:

DESCRIPTION OF A 0.061 ACRE TRACT ALONG TRUEMAN BOULEVARD, SOUTH OF DAVIDSON ROAD, CITY OF HILLIARD, FRANKLIN CO., OHIO SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF HILLIARD, IN VIRGINIA MILITARY SURVEY NO. 3000 AND BEING A PORTION OF A 34.119 ACRE TRACT OF LAND CONVEYED TO MADISON TRI-STATE, LLC, BY DEED OF RECORD IN INSTRUMENT 20110525006948, ALL RECORDS REFERENCED TO THE RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, AND BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING, FOR REFERENCE, AT A POINT IN THE EAST LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 270 (VARIABLE WIDTH), 165 FEET RIGHT OF CENTERLINE STATION 463+08.24, REFERENCED TO SHEET 15 OF 30 OF OHIO DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY PLANS FOR FRA-270-3.47 N, IN AN EAST LINE OF A 19.79 ACRE TRACT OF LAND CONVEYED, FOR INTERSTATE 270 RIGHT-OF-WAY PURPOSES AS PARCEL 2018-WL, TO STATE OF OHIO, BY DEED OF RECORD IN DEED BOOK 2691, PAGE 398, AT THE NORTHWEST CORNER OF LOT NO. 4, AS SHOWN UPON THE PLAT OF CENTRAL PARK, OF RECORD IN PLAT BOOK 102, PAGES 65-67, AND AT THE SOUTHWEST CORNER OF SAID 34.119 ACRE TRACT, SAID POINT BEING REFERENCED BY AN IRON PIPE WCAP FOUND S 28° 33' 58\"/>

AND LESS AND EXCEPT:

PARCEL DESCRIPTION - 0.39 ACRES SOUTH OF DAVIDSON ROAD WEST SIDE OF TRUEMAN BOULEVARD SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF HILLIARD, SURVEY NO. 3000 OF THE VIRGINIA MILITARY DISTRICT AND BEING PART OF THE RESIDUUM OF THAT 34.119 ACRE TRACT CONVEYED TO MADISON TRI-STATE PROPERTIES LLC OF RECORD IN INSTRUMENT NUMBER 20110525006948 AND DESCRIBED AS FOLLOWS: BEGINNING AT A 3/4\"/>

- NOTES
1.) OCCUPANCE IN GENERAL FITS SURVEY
2.) SOURCE DOCUMENTS AS NOTED.
3.) MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
4.) BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE (NAD83-2011) AS DETERMINED BY A GPS SURVEY UTILIZING CORRS STATION "COLB". THE PROJECT COORDINATES ARE BASED ON STATE PLANE COORDINATES AND HAVE BEEN SCALED TO GROUND BY USING A PROJECT ADJUSTMENT FACTOR OF 1.000342185 APPLIED AT BASE POINT N 745.500 0 E 1.793,500 00. GRID AND GROUND COORDINATES ARE IDENTICAL AT THE BASE POINT.
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8.) TOTAL EXISTING PARKING: 65 SPACES

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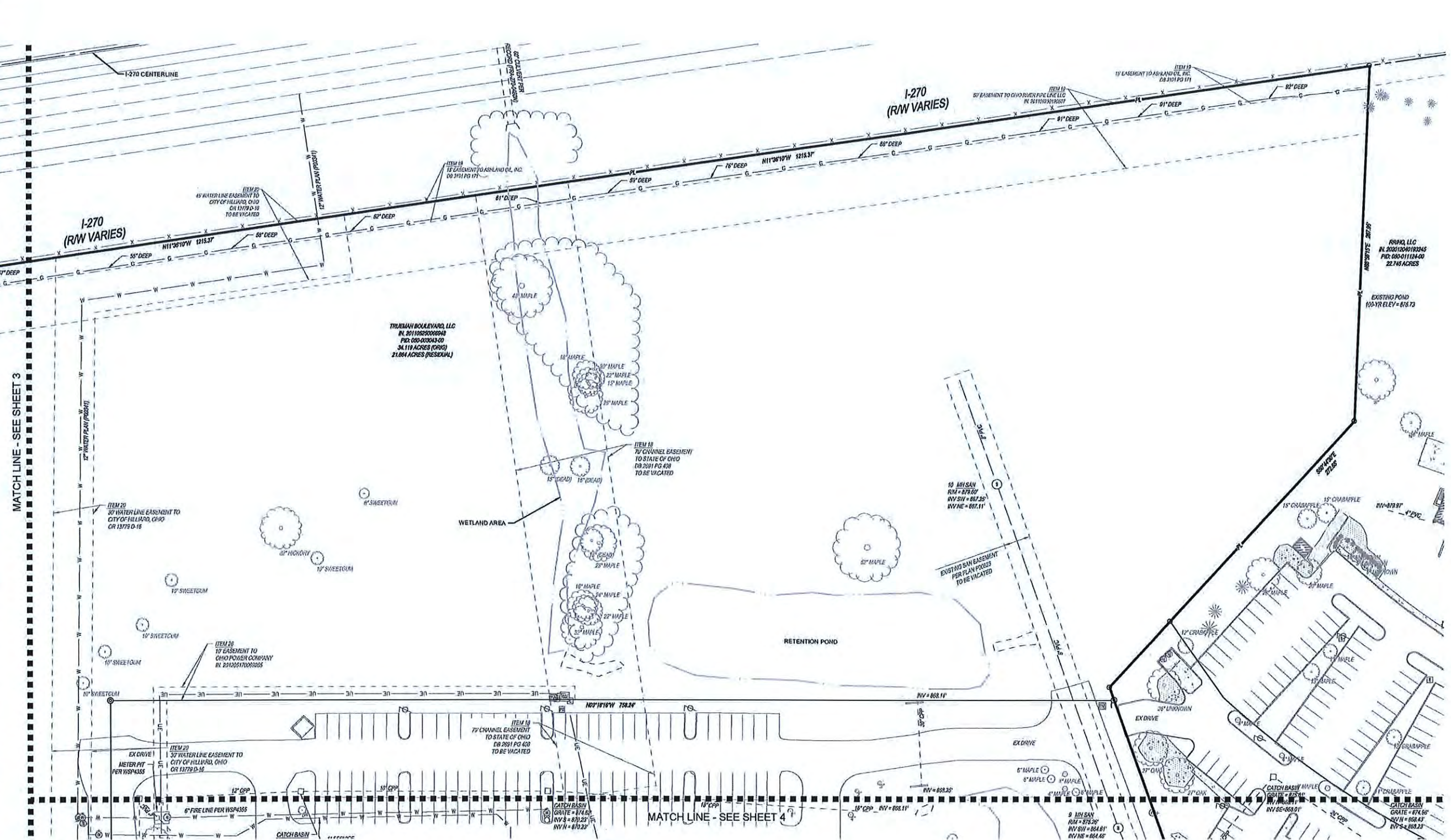
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FINAL DEVELOPMENT PLAN FOR TRUEPOINT MIXED USE DEVELOPMENT
4457 TRUEMAN BLVD
HILLIARD, OH 43026

PROJECT NO: 200123.004
DATE: 09/29/2022
SCALE: 0 20 40 80

EXISTING CONDITIONS PLAN
SHEET NO. 4/13





LEGEND

● 5/8" CAPPED IRON PIN SET	— UCATV UNDERGROUND CABLE TV	⊕ TRAFFIC SIGNAL POLE
○ 5/8" IRON PIN FOUND	— ETC OVERHEAD ELECTRIC/TELEPHONE/CABLE	— SIGN
○ 1" IRON PIPE FOUND	— EIT OVERHEAD ELECTRIC/TELEPHONE	— GUARD POST (PIPE BOLLARD)
▲ NAIL SET	— W WATER MAIN	— FLAG POLE
▲ NAIL FOUND	— F FIRE HYDRANT	— FENCE
▲ RR SPIKE SET	— V WATER VALVE	☀ TREE
⊕ BENCHMARK	— WM WATER METER	— TREELINE
⊕ UTILITY POLE	— I IRRIGATION CONTROL VALVE	— R01 CONTOUR LINES
— GUY WIRE	— W WATER MANHOLE	— R05 CONTOUR LINES
— UE UNDERGROUND ELECTRIC	— C CLEAN OUT	— CONCRETE
— OE OVERHEAD ELECTRIC	— S SANITARY MANHOLE	— GRAVEL
— HVAC UNIT	— STORM MANHOLE	— LANDSCAPE AREA
— TRANSFORMER	— STORM SEWER	— BRICK / PAVER
— GROUND LIGHT	— CATCH BASIN	— DECK / PORCH
— ELECTRIC BOX	— INLET	
— LIGHT POLE	— YD YARD DRAIN	
— UT UNDERGROUND TELEPHONE	— DS DOWN SPOUT	
— OT OVERHEAD TELEPHONE	— TM TRAFFIC MANHOLE	
— TM TELEPHONE MANHOLE	— TC TRAFFIC CONTROL CABINET	
— TP TELEPHONE PEDESTAL		
— G GAS MAIN		

- NOTES**
- 1.) OCCUPATION IN GENERAL FITS SURVEY.
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 - 7.) THIS DRAWING IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THE KLEINGERS GROUP IN AUGUST, 2021.
 - 8.) SEE SHEET # FOR LEGAL DESCRIPTION AND NOTES.
 - 9.) TOTAL EXISTING PARKING: 85 SPACES

THE KLEINGERS GROUP

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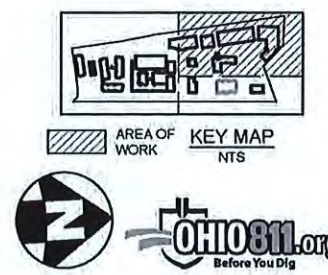
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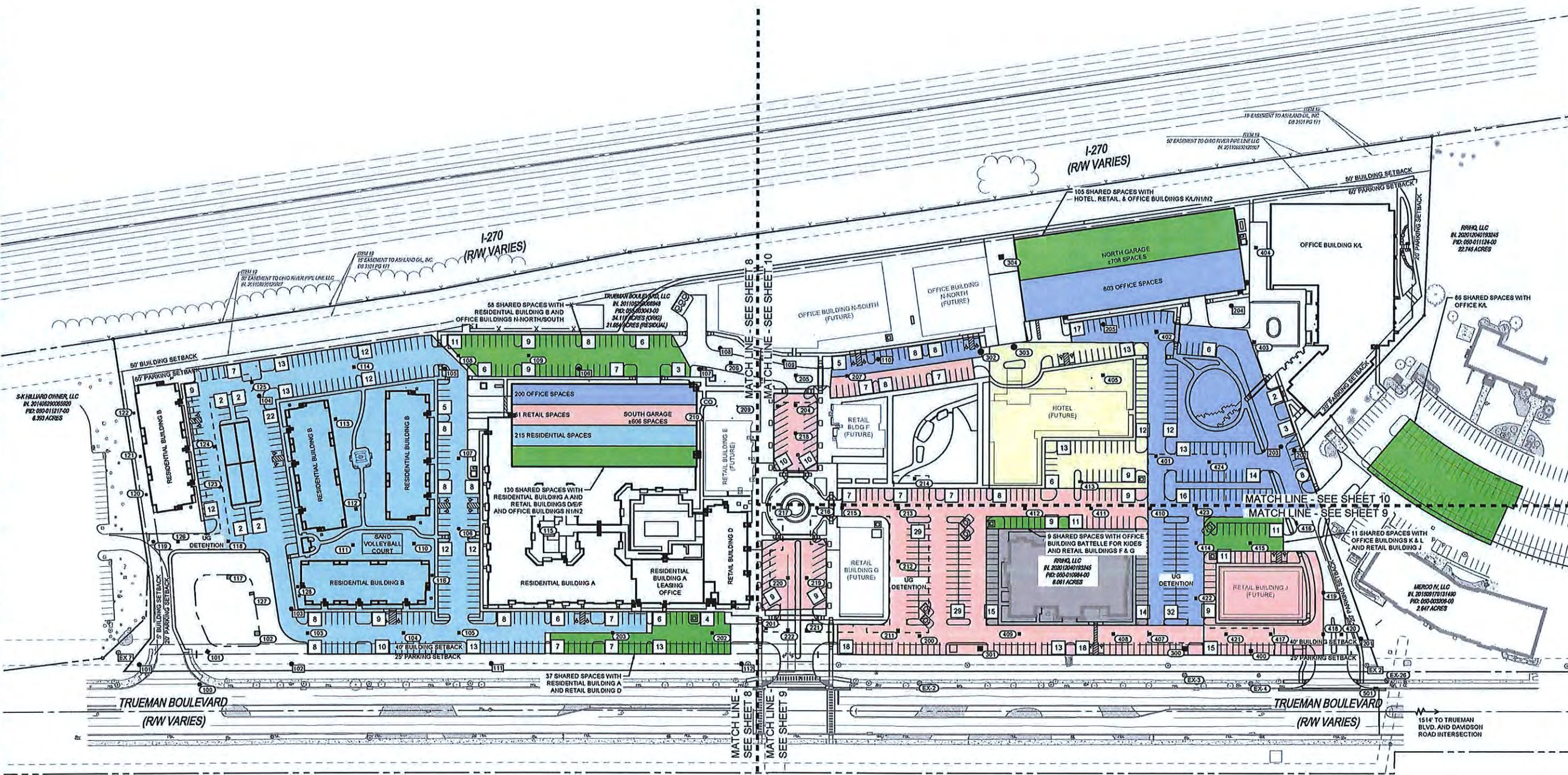
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EXISTING CONDITIONS PLAN

SHEET NO.
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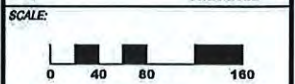
- PROPOSED LEGEND**
- 102 CATCH BASIN
 - 100 CURB INLET
 - 112 HEADWALL
 - 3 STORM MANHOLE
 - 107 SANITARY MANHOLE
 - UNDERGROUND DETENTION BOUNDARY
 - RETENTION POND WATER SURFACE
 - 10 PARKING ROW STALL COUNT (823 PROPOSED SURFACE SPACES)
 - 8 PARKING ROW STALL COUNT (REQUIRING DEVIATION FROM APPROVED TEXT)

- PARKING LEGEND**
- DEDICATED RESIDENTIAL SPACES
 - SHARED SPACES - SEE PLAN FOR DETAILS
 - DEDICATED RETAIL SPACES
 - EXISTING BATTELLE FOR KIDS SPACES
 - DEDICATED HOTEL SPACES
 - DEDICATED OFFICE SPACES

USE	BUILDING	ZONING USE	REQUIRED PARKING RATIO	PROPOSED PARKING RATIO	S.F. OR UNITS	REQUIRED PARKING	TOTAL REQUIRED PARKING	TOTAL PROVIDED PARKING	SHARED PARKING
RESIDENTIAL	B	Multi-Family	2.0	1.75	36	63	252	252	25%
	B	Multi-Family	2.0	1.75	36	63			
	B	Multi-Family	2.0	1.75	36	63			
	B	Multi-Family	2.0	1.75	36	63			
	B	Multi-Family	2.0	1.75	36	63			
RESIDENTIAL SUBTOTAL						359	628	628	36%
RETAIL	D	Retail	250	250	7,100	28	455	455	39%
	D	Restaurant	50	50	1,500	30			
	E	Retail	250	250	5,700	23			
	E	Restaurant	50	50	1,500	30			
	F	Retail	250	250	0	0			
	F	Restaurant	50	50	9,000	180			
	G	Retail	250	250	8,000	20			
	G	Restaurant	50	50	7,200	144			
	J	Retail	250	250	2,350	9			
	J	Restaurant	50	50	5,000	33			
RETAIL SUBTOTAL						44,350	496	800	38%
H	Hotel	Hotel	1	1	108	108	108	108	51%
OFFICE	K1	Office Tenant	300	300	7,500	25	1324	1324	28%
	K2	Office Tenant	300	300	8,000	27			
	L	Office HQ	300	167	109,500	656			
	N	Office O1	300	300	35,025	117			
	N	Office O2	300	200	100,000	500			
OFFICE SUBTOTAL						210,025	1324	1324	28%
EXISTING						300	65	68	14%
TOTAL SURFACE PARKING (includes 68 off-site shared parking spaces)								803	
TOTAL GARAGE PARKING O1 & O2								1314	
TOTAL SHARED PARKING								318	
TOTAL PARKING						2623	2823	2629	30%

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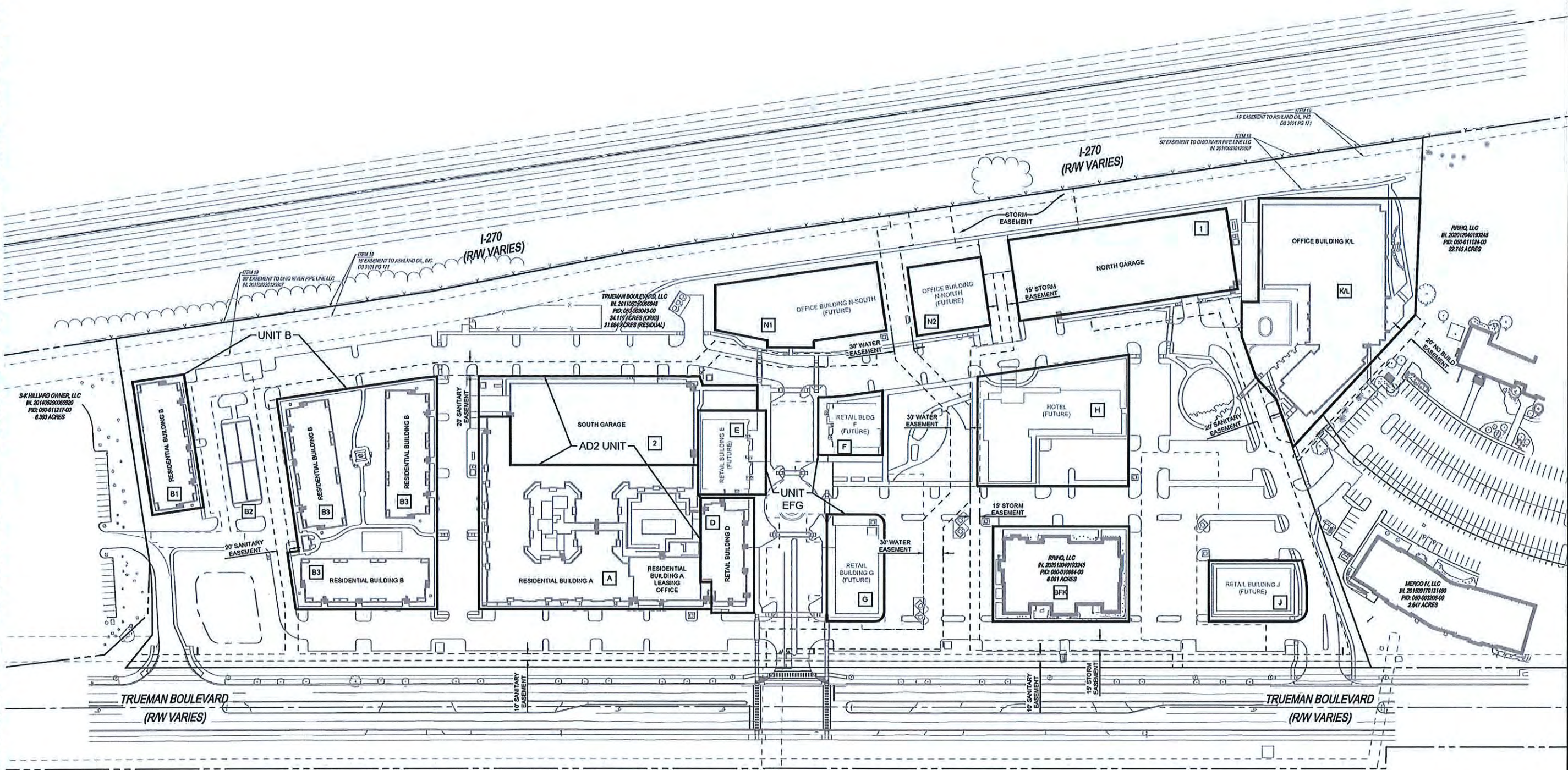
PROJECT NO: 200123.004
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SHEET NAME:
OVERALL PLAN

SHEET NO.
6/13





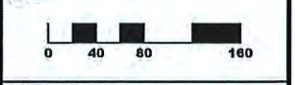
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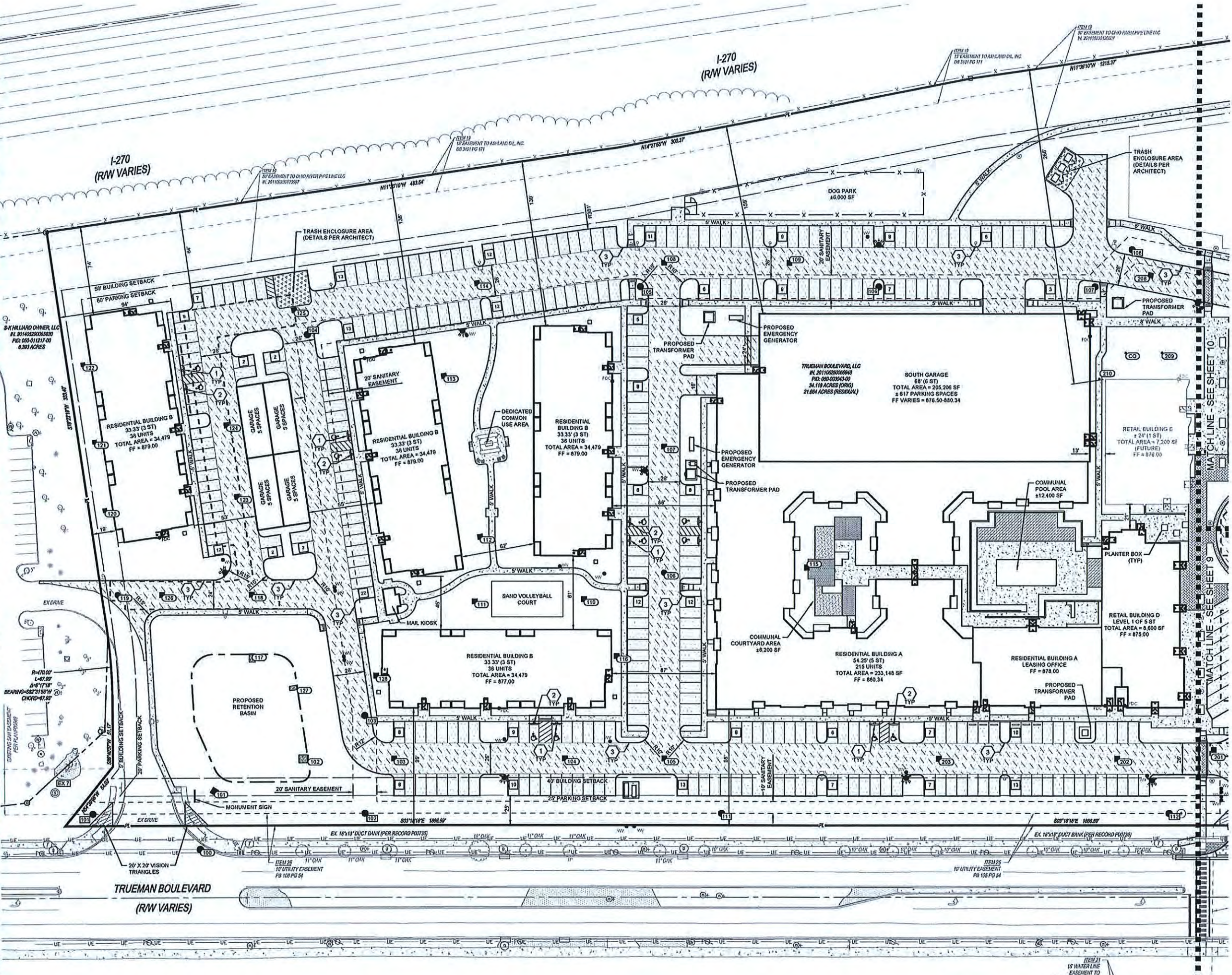
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SHEET NAME: **CONDO UNIT PLAN**

SHEET NO: **7/13**

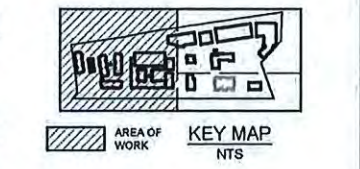




- ### PROPOSED LEGEND
- 102 CATCH BASIN
 - 100 CURB INLET
 - 112 HEADWALL
 - 3 STORM MANHOLE
 - 107 SANITARY MANHOLE
 - 60 SANITARY CLEANOUT
 - FW FIRE HYDRANT
 - WV WATER VALVE
 - DC FIRE DEPARTMENT CONNECTION
 - PROPOSED LIGHTING. SEE LIGHTING PLAN FOR DETAIL AND PHOTOMETRICS
 - STANDARD DUTY ASPHALT PAVEMENT
 - HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE WALK
 - HEAVY DUTY SIDEWALK PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - UNDERGROUND DETENTION BOUNDARY
 - 10 PARKING ROW COUNT
 - X FENCE (PER ARCHITECTURAL PLANS)

- ### NOTES
- ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
 - ALL DIMENSION ARE TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
 - PERPENDICULAR PARKING SPACES ARE 5' X 15'.
 - ALL ADA ACCESSIBLE PARKING SPACES ARE 8' X 18' WITH AN 8' BUFFER BETWEEN THE SPACES UNLESS OTHERWISE NOTED.
 - REFER TO LANDSCAPE PLANS FOR MORE DETAIL REGARDING AMENITY AND COMMON USE AREA HARD-SCAPE AND SURFACING.

- ### CODED NOTES
- 1 CONCRETE WHEEL STOP
 - 2 ACCESSIBLE PARKING SIGN
 - 3 BARRIER CURB



THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

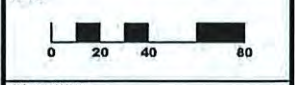
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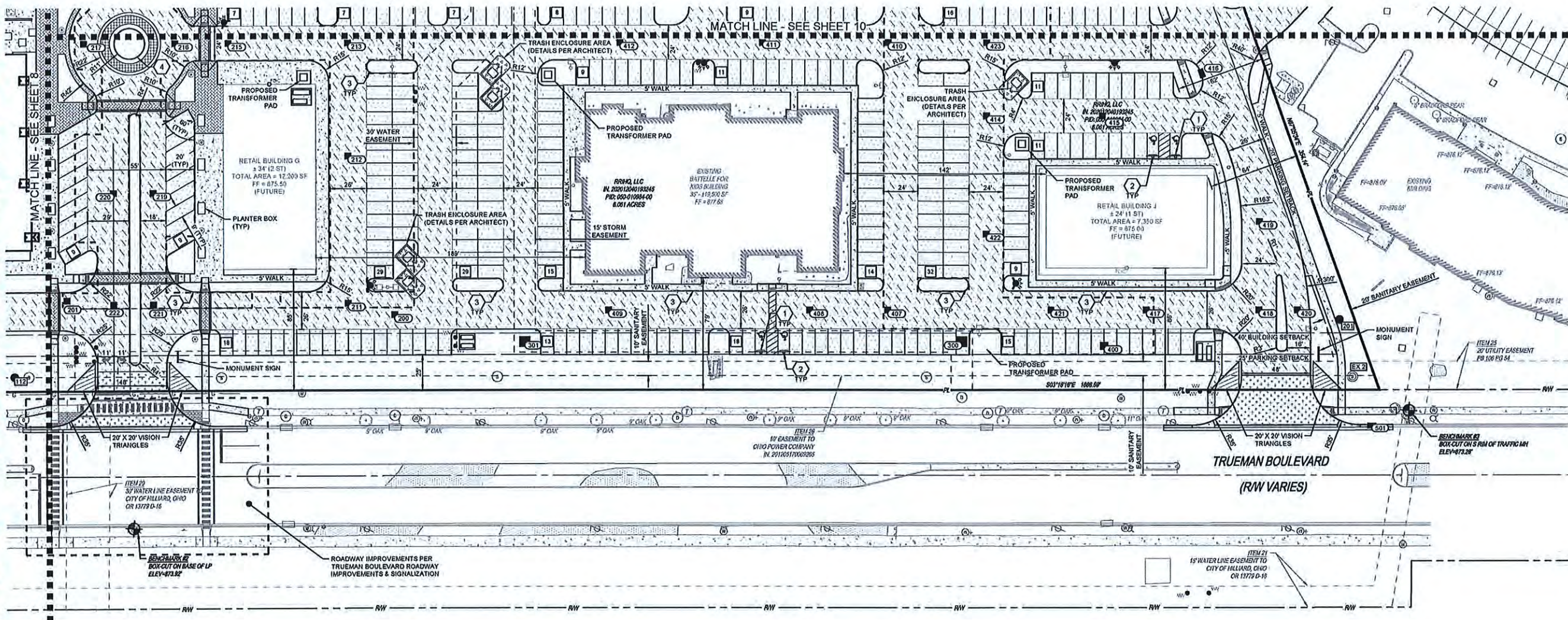
PROJECT NO: 200123.004
DATE: 09/29/2022



SHEET NAME:
LOCATION PLAN

SHEET NO.
8/13





PROPOSED LEGEND

- CATCH BASIN
- CURB INLET
- HEADWALL
- STORM MANHOLE
- SANITARY MANHOLE
- SANITARY CLEANOUT
- FIRE HYDRANT
- WATER VALVE
- FIRE DEPARTMENT CONNECTION
- PROPOSED LIGHTING. SEE LIGHTING PLAN FOR DETAIL AND PHOTOMETRICS
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE WALK
- HEAVY DUTY SIDEWALK PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- DRIVEWAY APPROACH APRON
- CONCRETE PAVER
- CONCRETE PAVER
- CONCRETE PAVER
- UNDERGROUND DETENTION BOUNDARY
- PARKING ROW COUNT

CODED NOTES

- CONCRETE WHEEL STOP
- ACCESSIBLE PARKING SIGN
- BARRIER CURB
- MOUNTABLE CURB

NOTES

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
3. PERPENDICULAR PARKING SPACES ARE 9' X 18'.
4. ALL ADA ACCESSIBLE PARKING SPACES ARE 8' X 18' WITH AN 8' BUFFER BETWEEN THE SPACES UNLESS OTHERWISE NOTED.
5. REFER TO LANDSCAPE PLANS FOR MORE DETAIL REGARDING AMENITY AND COMMON USE AREA HARD-SCAPE AND SURFACING.



CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
 www.kleingers.com
 350 Worthington Rd. 5th B
 Westerville, OH 43082
 614.882.4311

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	10/28/22	PER CITY PLANNING REVIEW

FINAL DEVELOPMENT PLAN FOR TRUEPOINTE MIXED USE DEVELOPMENT
 4457 TRUEMAN BLVD
 HILLIARD, OH 43026

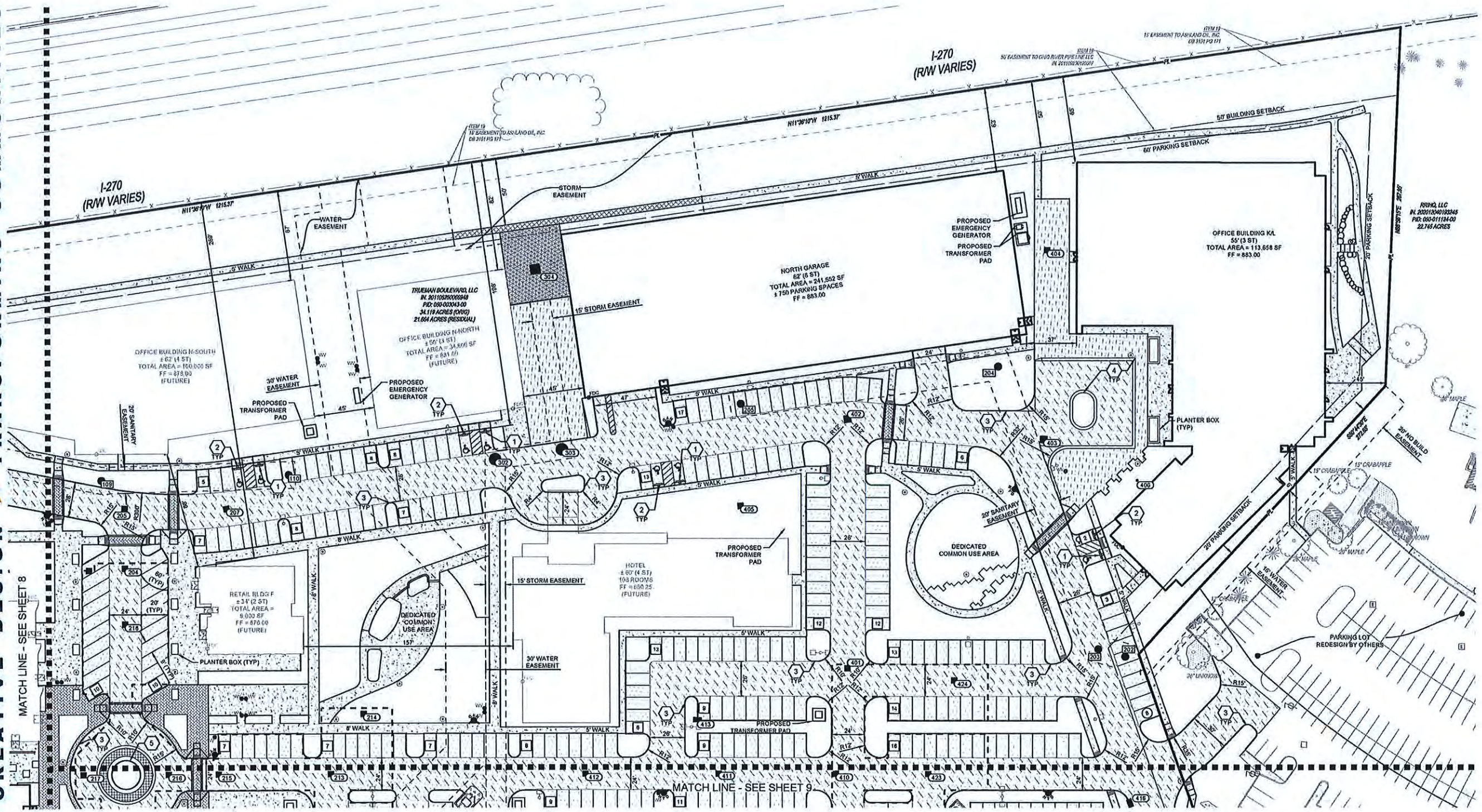
PROJECT NO: 200123.004
 DATE: 09/29/2022
 SCALE:



SHEET NAME:
LOCATION PLAN

SHEET NO.
9/13





PROPOSED LEGEND

	CATCH BASIN		CONCRETE WALK
	CURB W/LET		HEAVY DUTY CONCRETE PAVEMENT
	HEADWALL		CONCRETE PAVER
	STORM MANHOLE		CONCRETE PAVER
	SANITARY MANHOLE		WALK WITH CUTOFF WALL
	SANITARY CLEANOUT		HEAVY DUTY SIDEWALK PAVEMENT
	FIRE HYDRANT		GEOTEXTILE SURFACE REINFORCEMENT
	WATER VALVE		UNDERGROUND DETENTION BOUNDARY
	FIRE DEPARTMENT CONNECTION		PARKING ROW STALL COUNT
	PROPOSED LIGHTING, SEE LIGHTING PLAN FOR DETAIL AND PHOTOMETRICS		PARKING ROW STALL COUNT (REQUIRING DEVIATION FROM APPROVED TEXT)
	STANDARD DUTY ASPHALT PAVEMENT		
	HEAVY DUTY ASPHALT PAVEMENT		

CODED NOTES

	CONCRETE WHEEL STOP
	ACCESSIBLE PARKING SIGN
	BARRIER CURB
	MOUNTABLE CURB

NOTES

- ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
- PERPENDICULAR PARKING SPACES ARE 9' X 18'.
- ALL ADA ACCESSIBLE PARKING SPACES ARE 8' X 18' WITH AN 8' BUFFER BETWEEN THE SPACES UNLESS OTHERWISE NOTED.
- REFER TO LANDSCAPE PLANS FOR MORE DETAIL REGARDING AMENITY AND COMMON USE AREA HARD-SCAPE AND SURFACING.

THE KLEINGERS GROUP
 CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
 www.kleingers.com
 350 Worthington Rd, 5th B
 Westerville, OH 43082
 614.882.4311

SEAL: **NOT FOR CONSTRUCTION**

NO.	DATE	DESCRIPTION
1	10/28/22	PER CITY PLANNING REVIEW

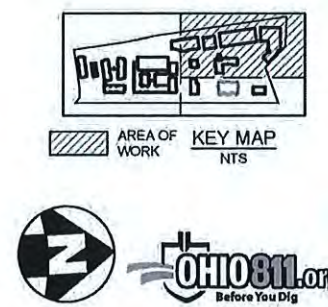
FINAL DEVELOPMENT PLAN FOR TRUEPOINTE MIXED USE DEVELOPMENT
 4457 TRUEMAN BLVD
 HILLIARD, OH 43026

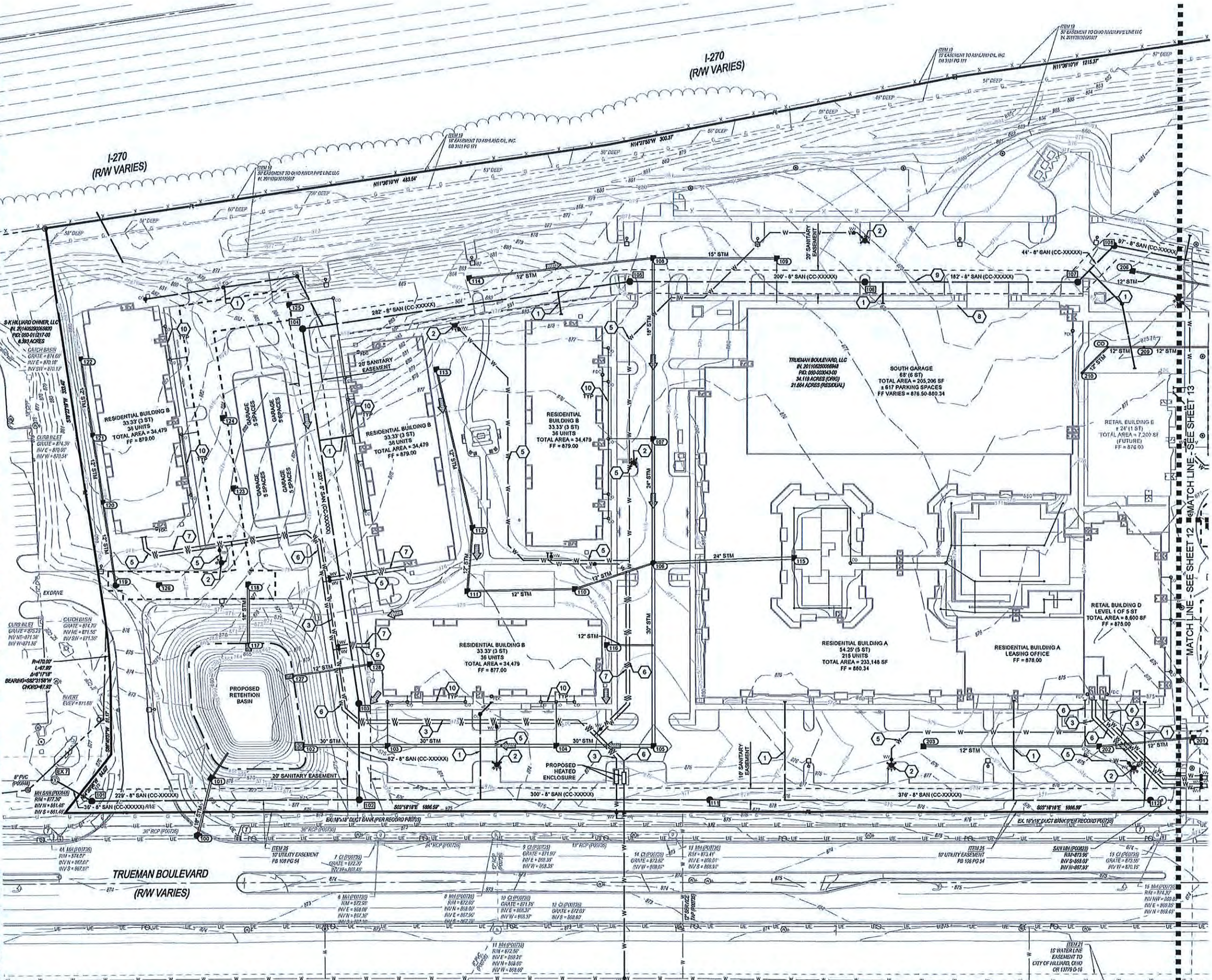
PROJECT NO: 200123.004
 DATE: 09/29/2022
 SCALE:



SHEET NAME: **LOCATION PLAN**

SHEET NO: **10/13**





- PROPOSED LEGEND**
- CATCH BASIN
 - CURB INLET
 - HEADWALL
 - STORM MANHOLE
 - STORM CLEANOUT
 - SANITARY MANHOLE
 - SANITARY CLEANOUT
 - FIRE HYDRANT
 - WATER VALVE
 - FIRE DEPARTMENT CONNECTION
 - STORM SEWER PIPE
 - SANITARY SEWER PIPE
 - WATERLINE PIPE
 - UNDERGROUND DETENTION BOUNDARY
 - RETENTION POND NORMAL WATER SURFACE

- GRADING LEGEND**
- EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - 100-YEAR FLOOD ROUTE

- CODED NOTES**
- 6" SAN SERVICE
 - PROPOSED FIRE HYDRANT
 - 4" DOMESTIC WATER SERVICE
 - 6" DOMESTIC WATER SERVICE
 - 6" FIRE WATER SERVICE
 - 8" FIRE WATER SERVICE
 - 3" DOMESTIC WATER SERVICE
 - 10" ROOF DRAIN
 - 12" STORM
 - 8" STORM

- NOTES:**
- SANITARY SERVICE SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. ALL SANITARY WORK IS TO BE PERFORMED UNDER CC.
 - WATERLINE SHOWN FOR REFERENCE ONLY. ALL WATER LINE WORK IS TO BE PERFORMED UNDER WATER SERVICE PLANS SUBMITTED TO CITY OF COLUMBUS.
 - STORM SEWER SHOWN FOR REFERENCE ONLY. ALL STORM SEWER WORK IS TO BE PERFORMED UNDER CONSTRUCTION DRAWINGS SUBMITTED TO THE CITY OF HILLIARD.

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NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	10/28/22	PER CITY PLANNING REVIEW

FINAL DEVELOPMENT PLAN FOR TRUETIME MIXED USE DEVELOPMENT
4457 TRUAMAN BLVD
HILLIARD, OH 43026

PROJECT NO:	200123.004
DATE:	09/29/2022
SCALE:	

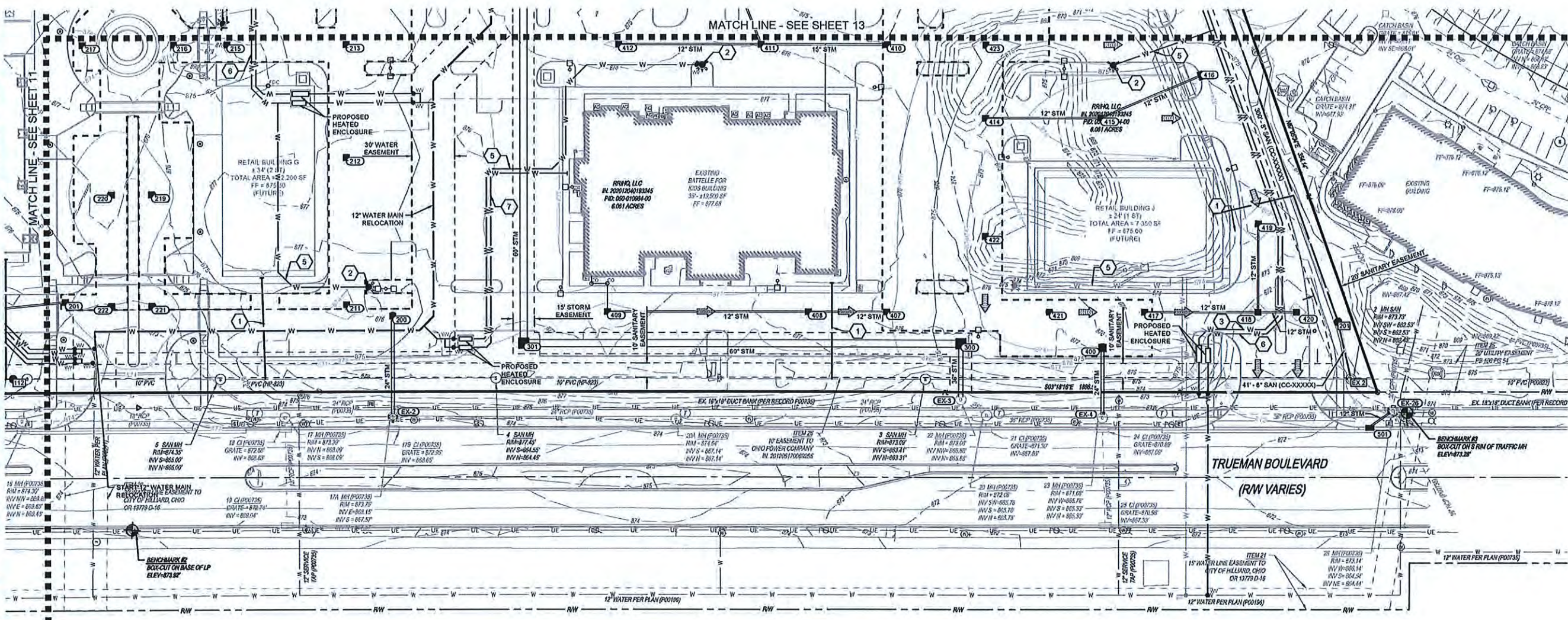
SHEET NAME:

GRADING & UTILITY PLAN

SHEET NO.

11/13





NOTES:

- SANITARY SERVICE SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. ALL SANITARY WORK IS TO BE PERFORMED UNDER CC.
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THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

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Westerville, OH 43082
614.882.4311

SEAL:

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	10/28/22	PER CITY PLANNING REVIEW

FINAL DEVELOPMENT PLAN FOR TRUEPOINTE MIXED USE DEVELOPMENT

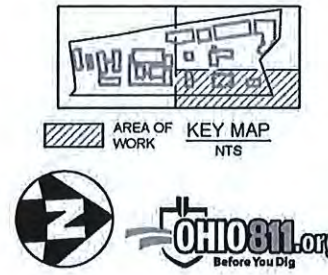
4457 TRUEMAN BLVD
HILLIARD, OH 43026

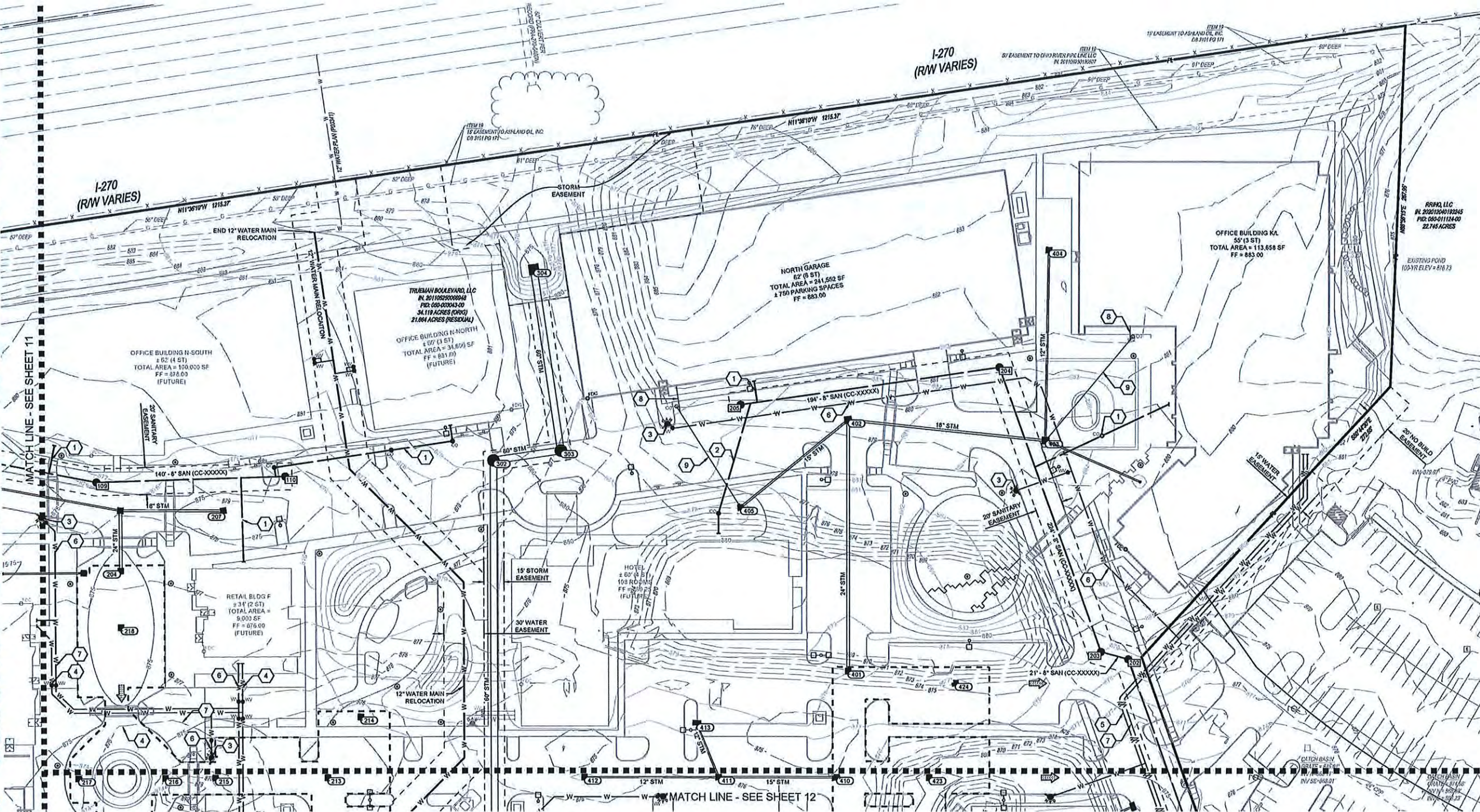
PROJECT NO: 200123.004
DATE: 09/29/2022
SCALE:



SHEET NAME:
GRADING & UTILITY PLAN

SHEET NO.
12/13





PROPOSED LEGEND

- | | | | |
|--|----------------------------|--|-------------------------------------|
| | CATCH BASIN | | FUTURE HYDRANT |
| | CURB INLET | | FUTURE VALVE |
| | HEADWALL | | FUTURE FIRE DEPARTMENT CONNECTION |
| | STORM MANHOLE | | STORM SEWER PIPE |
| | STORM CLEANOUT | | SANITARY SEWER PIPE |
| | SANITARY MANHOLE | | WATERLINE PIPE |
| | SANITARY CLEANOUT | | FUTURE WATERLINE PIPE |
| | FIRE HYDRANT | | WATER MAIN RELOCATION |
| | WATER VALVE | | UNDERGROUND DETENTION BOUNDARY |
| | FIRE DEPARTMENT CONNECTION | | RETENTION POND NORMAL WATER SURFACE |

GRADING LEGEND

- | | |
|--|------------------------|
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | 100-YEAR FLOOD ROUTE |

CODED NOTES

- | | |
|--|---------------------------|
| | 6" SAN SERVICE |
| | 8" SAN SERVICE |
| | PROPOSED FIRE HYDRANT |
| | 2" DOMESTIC WATER SERVICE |
| | 4" DOMESTIC WATER SERVICE |
| | 6" FIRE WATER SERVICE |
| | 8" FIRE WATER SERVICE |
| | 12" ROOF DRAIN |
| | 12" STORM |

NOTES:

- SANITARY SERVICE SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. ALL SANITARY WORK IS TO BE PERFORMED UNDER CC.
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THE KLEINGERS GROUP
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 614.882.4311

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NO.	DATE	DESCRIPTION
1	10/28/22	PER CITY PLANNING REVIEW

FINAL DEVELOPMENT PLAN FOR TRUEPOINT MIXED USE DEVELOPMENT
 4457 TRUMAN BLVD
 HILLIARD, OH 43026

PROJECT NO:	200123.004
DATE:	09/29/2022
SCALE:	

SHEET NAME:
GRADING & UTILITY PLAN

SHEET NO.
13/13



client / owner
TRUEMAN BOULEVARD, LLC

project name
TRUEPOINTE MIXED USE DEVELOPMENT

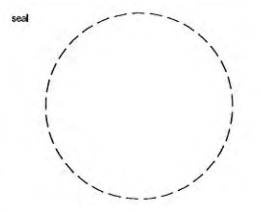
project address
4457 Trueman Boulevard
Hilliard, Ohio
43026

consultant 1
M+A Architects
775 Yard Street
Suite 325
Columbus, OH 43212
p 614 764.0407

consultant 2
The Kleingers Group
350 Worthington Road
Suite B
Westerville, OH 43082
p 614 882.4479

**Final Development Plan
Not For Construction**

revision	date	issued
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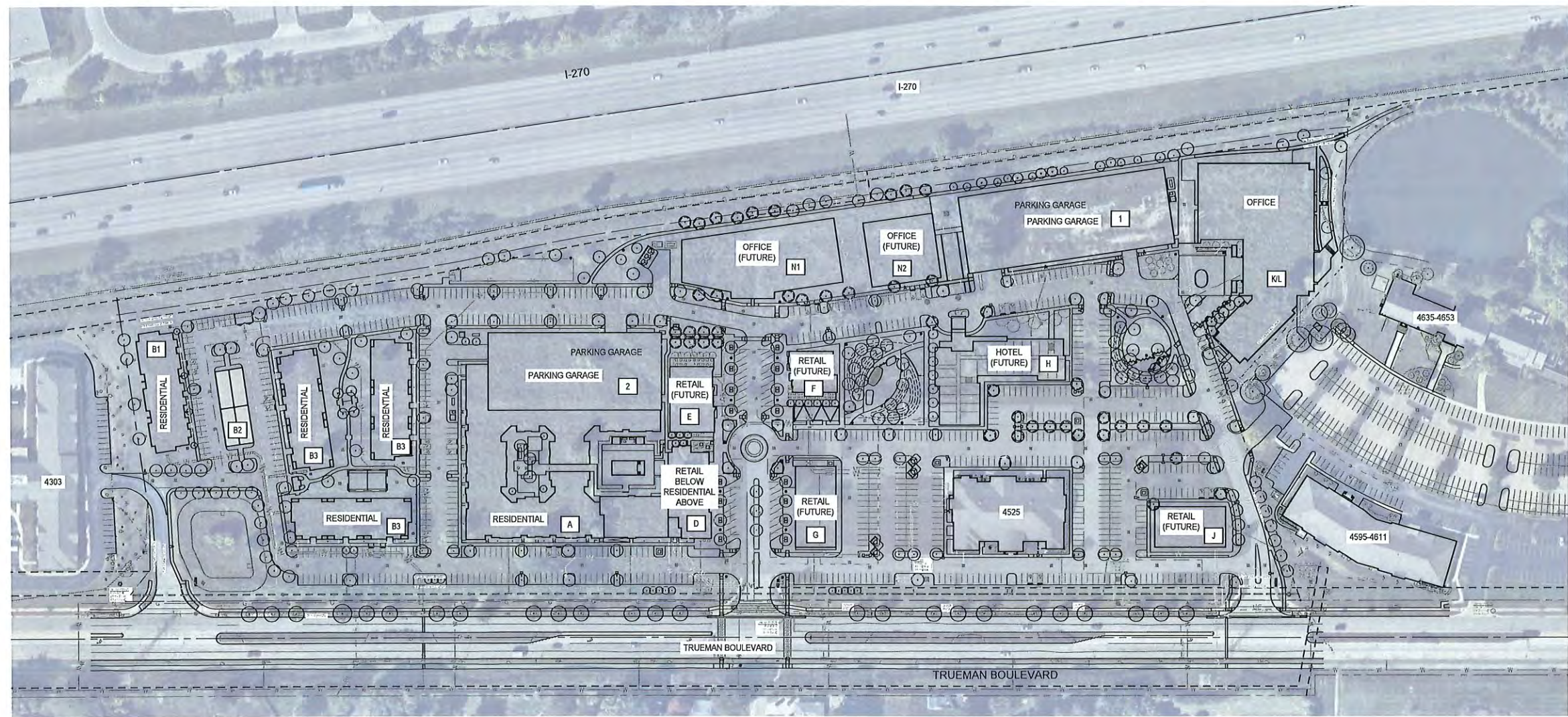


issue date
October 5, 2022

project number
c21543.1

sheet name
OVERALL PLAN

sheet number
L-1



OVERALL SITE PLAN



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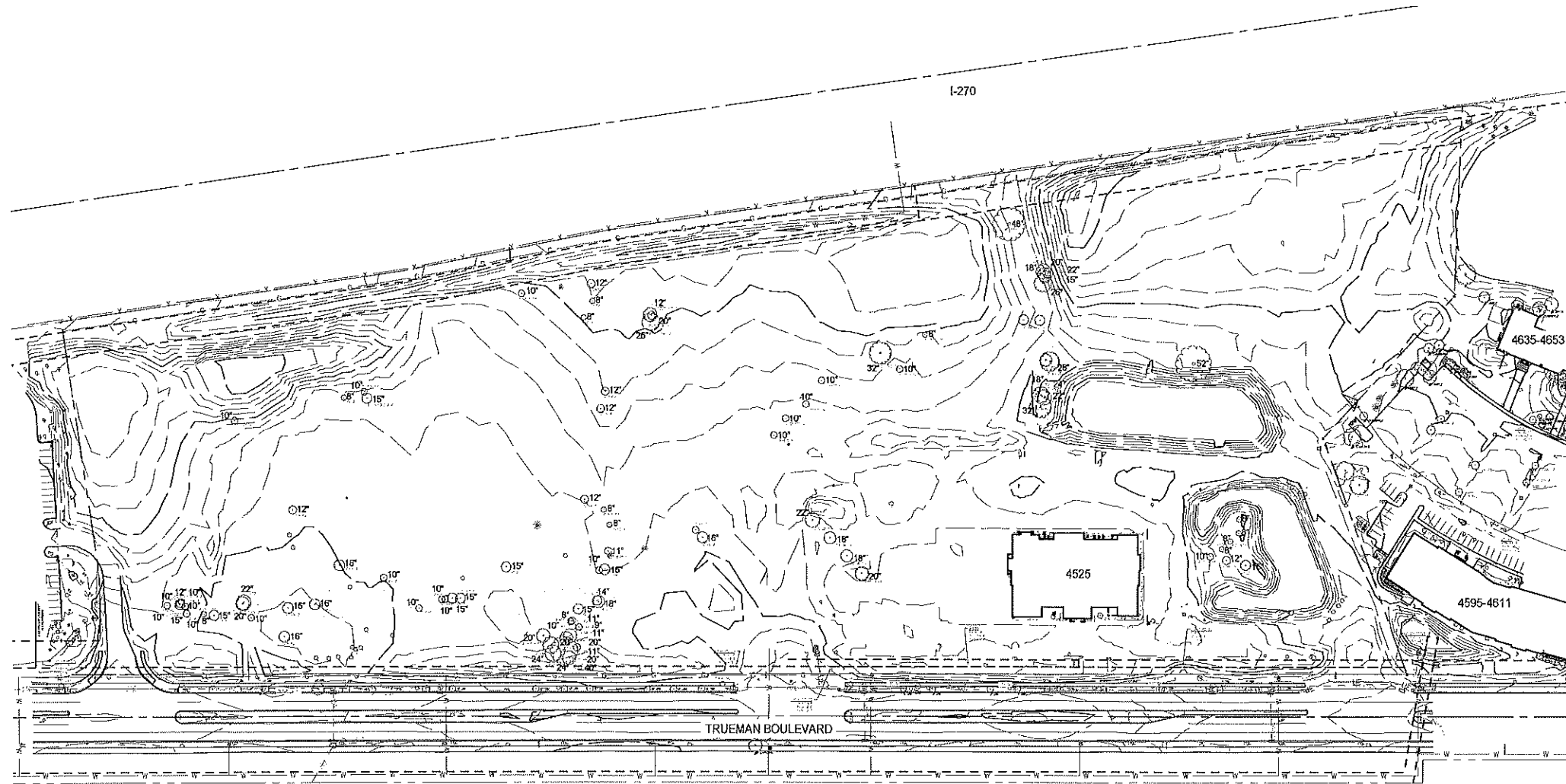
client / owner
TRUEMAN BOULEVARD, LLC

project name
**TRUEPOINTE MIXED
USE DEVELOPMENT**

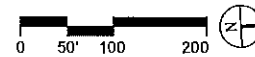
project address
4457 Trueman Boulevard
Hilliard, Ohio
43026

consultant 1
M+A Architects
775 Yead Street
Suite 325
Columbus, OH 43212
p 614 764 0407

consultant 2
The Kleingers Group
350 Worthington Road
Suite B
Westerville, OH 43082
p 614 882 4479




EXISTING TREES SITE PLAN



TREES OVER 6" DIAMETER TO BE REMOVED

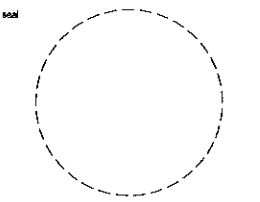
SIZE/DBH	QUANTITY	REPLACEMENT FACTOR	REPLACEMENT DIAMETER
8"	12	X 1	96
9"	1	X 1	9
10"	21	X 1	210
11"	4	X 1	44
12"	8	X 1	96
14"	1	X 1	14
15"	9	X 1	135
16"	6	X 1	96
18"	5	X 1	90
20"	8	X 1	160
22"	4	X 1	88
24"	3	X 2	144
26"	2	X 2	104
28"	1	X 2	56
32"	2	X 2	128
40"	1	X 2	80
48"	1	X 2	96
52"	1	X 2	104
TOTAL	90		1750

TREES CALIPER INCHES

KEY
 TREE TO BE REMOVED
 18" DBH (DIAMETER AT BREAST HEIGHT)

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issue date
October 5, 2022

project number
c21543.1

sheet name
EXISTING TREES

sheet number
L-2

client/owner
TRUEMAN BOULEVARD, LLC

project name
TRUEPOINTE MIXED USE DEVELOPMENT

project address
4457 Trueman Boulevard
Hilliard, Ohio
43026

consultant 1

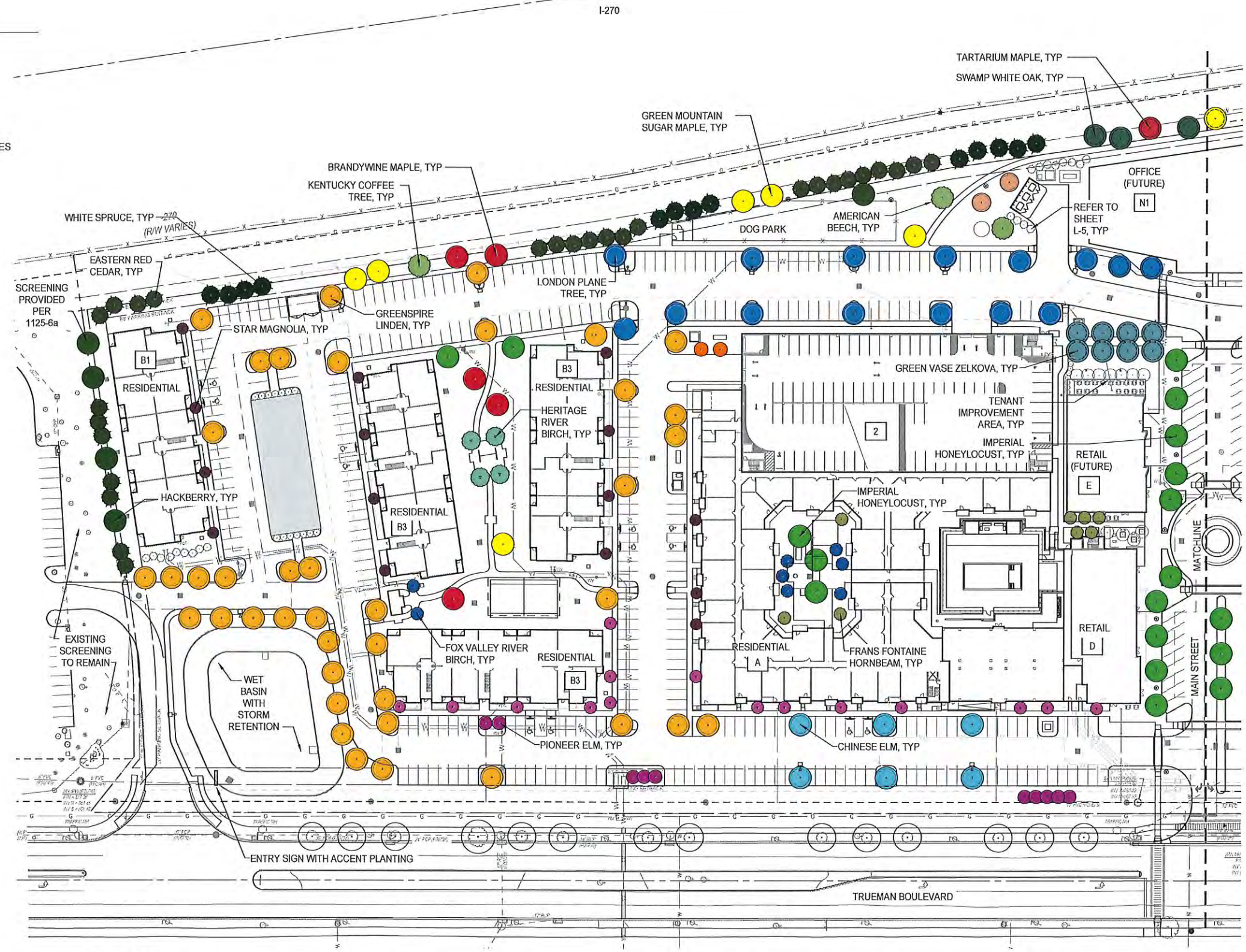
M+A Architects
775 Yard Street
Suite 325
Columbus, OH 43212
p 614 764 0407

consultant 2

The Kleingers Group
350 Worthington Road
Suite B
Westerville, OH 43082
p 614 882.4479

- KEY**
- 1125.04 (b) - 243,660 SQ FT OF STRUCTURE
244 CALIPER INCHES REQUIRED
244 CALIPER INCHES PROVIDED BY 122 2" TREES
 - 1125.04 (b) - FUTURE 82,910 SQ FT OF STRUCTURE
83 CALIPER INCHES REQUIRED
83 CALIPER INCHES PROVIDED BY 42 2" TREES
 - 1125.04 (i) - 1,750 CALIPER INCHES REMOVED/90 TREES
875 CALIPER INCHES REQUIRED (50% REDUCTION)
406 CALIPER INCHES PROVIDED BY 203 2" TREES
32 CALIPER INCHES PROVIDED BY 32 1" TREES
TOTAL CALIPER INCHES = 438 (875/2 = 438)

REFER SHEET L-5 AND L-6 FOR
PARKING LOT ISLAND PLANTINGS

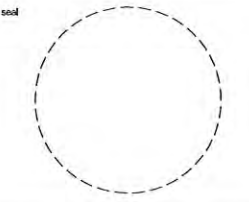


SOUTH LANDSCAPE PLAN



Final Development Plan
Not For Construction

revision	date	issued
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issue date
October 5, 2022

project number
c21543.1

sheet name
LANDSCAPE PLAN

sheet number
L-3

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client / owner

TRUEMAN BOULEVARD, LLC

project name

**TRUEPOINTE MIXED
USE DEVELOPMENT**

project address

4457 Trueman Boulevard
Hilliard, Ohio
43026

consultant 1

M+A Architects

775 Yard Street

Suite 325

Columbus, OH 43212

p 614 764.0407

consultant 2

The Kleingers Group

350 Worthington Road

Suite B

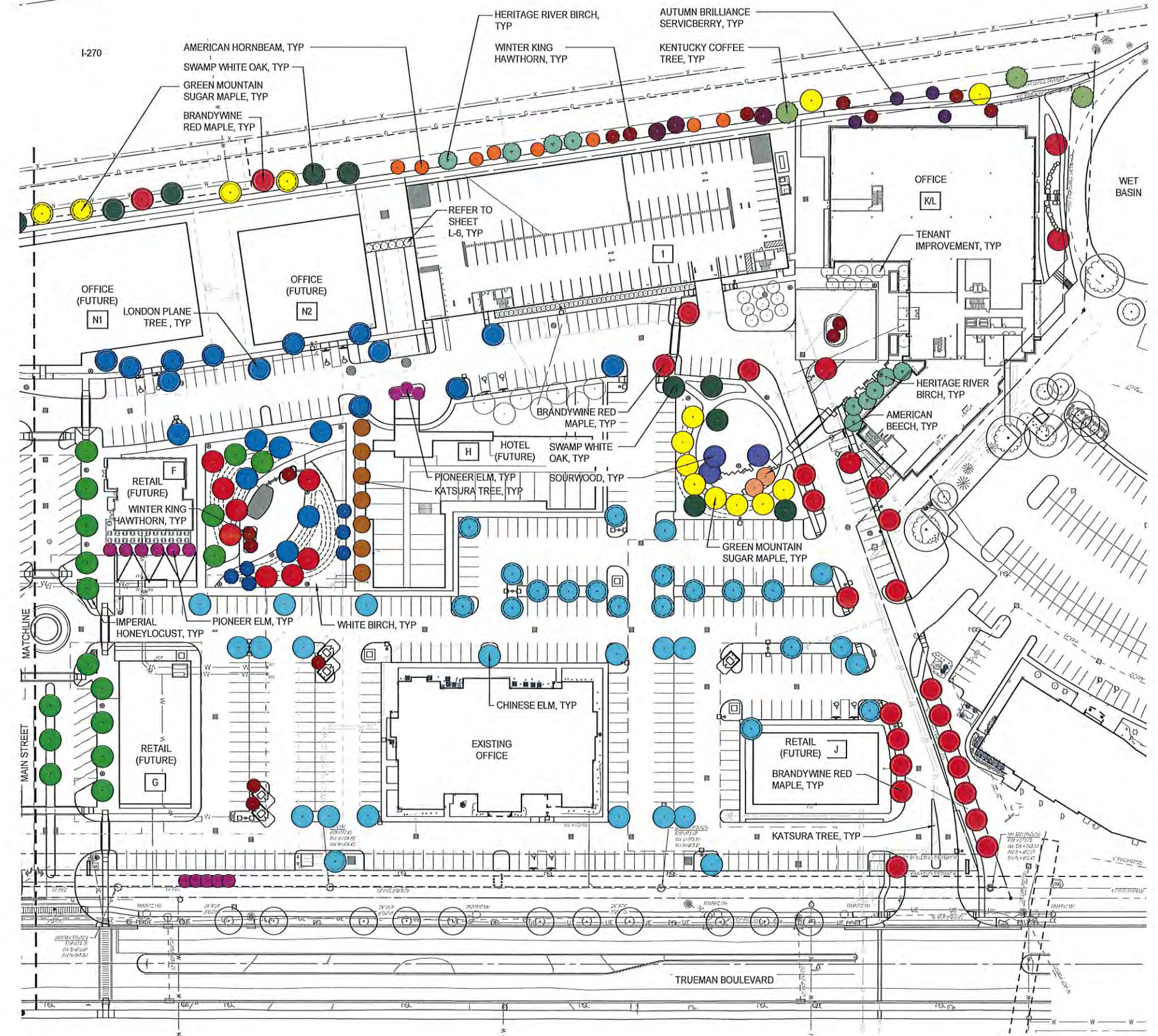
Westerville, OH 43082

p 614 882.4479

KEY

- 1125.04 (b) - 243,660 SQ FT OF STRUCTURE
244 CALIPER INCHES REQUIRED
244 CALIPER INCHES PROVIDED BY 122 2" TREES
- 1125.04 (b) - FUTURE 82,910 SQ FT OF STRUCTURE
83 CALIPER INCHES REQUIRED
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- 1125.04 (i) - 1,750 CALIPER INCHES REMOVED/90 TREES
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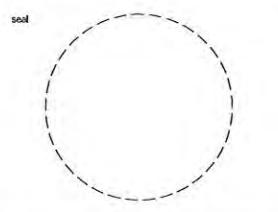
REFER SHEET L-5 AND L-6 FOR
PARKING LOT ISLAND PLANTINGS



NORTH LANDSCAPE PLAN

**Final Development Plan
Not For Construction**

revision	date	issued
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issue date
October 5, 2022

project number
c21543.1

sheet name
LANDSCAPE PLAN

sheet number
L-4

client / owner
TRUEMAN BOULEVARD, LLC

project name
**TRUEPOINTE MIXED
USE DEVELOPMENT**

project address
4457 Trueman Boulevard
Hilliard, Ohio
43026

consultant 1

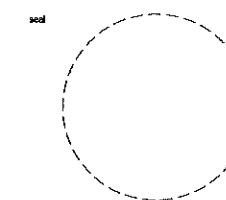
M+A Architects
775 Yard Street
Suite 325
Columbus, OH 43212
p 614 764-0407

consultant 2

The Kleingers Group
350 Worthington Road
Suite B
Westerville, OH 43082
p 614 882-4179

Final Development Plan
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issue date
October 5, 2022

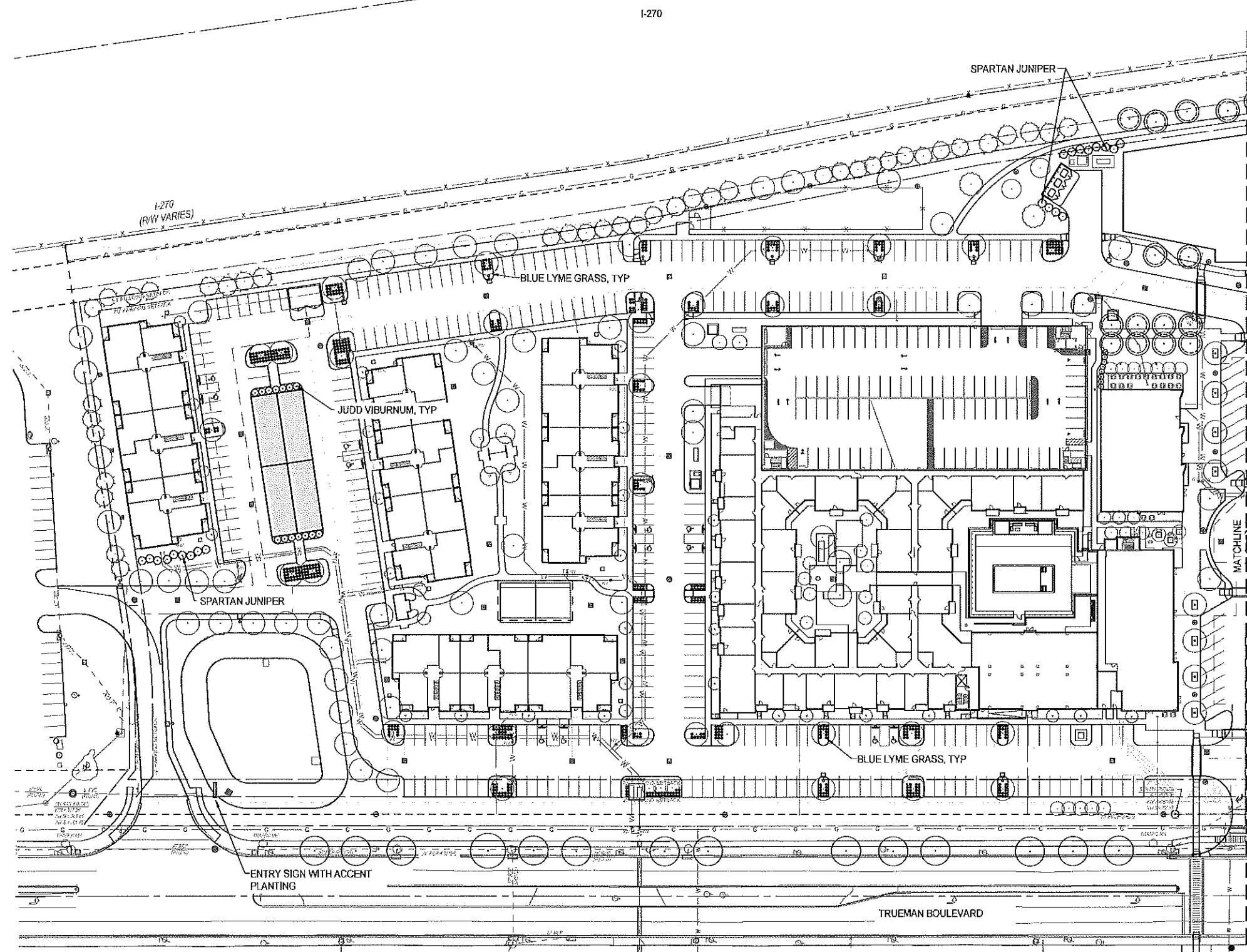
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c21543.1

sheet name
LANDSCAPE PLAN

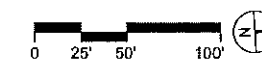
sheet number
L-5

KEY

 1125 (c)(2) - ORNAMENTAL GRASSES AND
MULCH AT PARKING LOT ISLAND



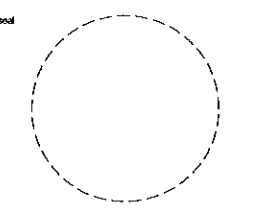
SOUTH LANDSCAPE PLAN- PARKING LOT



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Final Development Plan
Not For Construction

revision	date	issued
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issue date
October 5, 2022

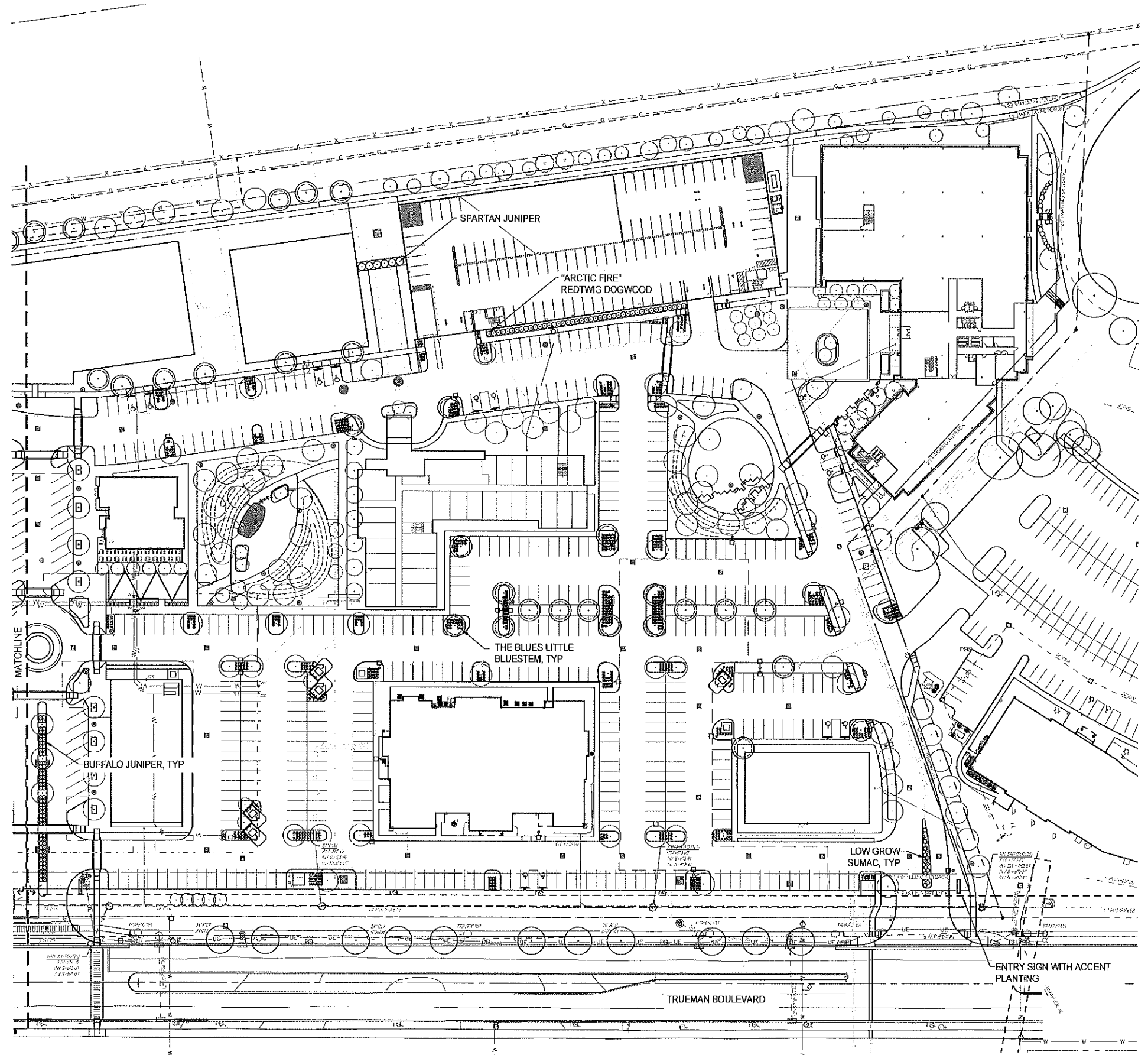
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sheet name
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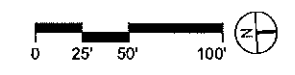
sheet number
L-6

KEY

1125 (c)(2) - ORNAMENTAL GRASSES AND
MULCH AT PARKING LOT ISLAND



NORTH LANDSCAPE PLAN- PARKING LOT



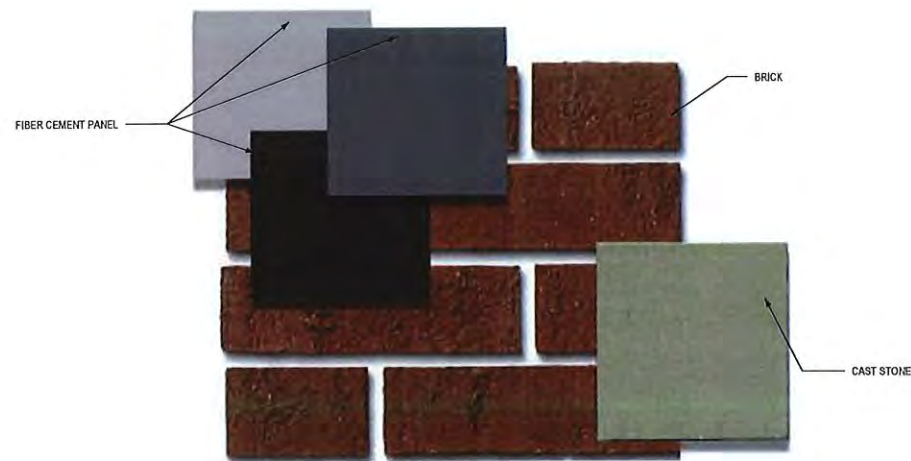
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3 east elevation
1/16" = 1'-0"



2 south elevation
1/16" = 1'-0"



PROPOSED MATERIALS



1 north elevation
1/16" = 1'-0"



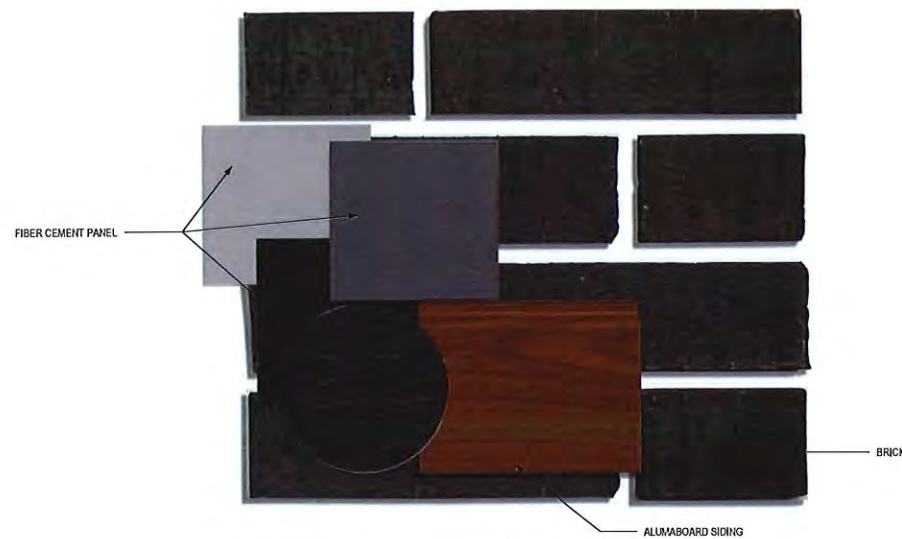

bldg A first floor
 1/16" = 1'-0"



3 rear elevation
3/32" = 1'-0"



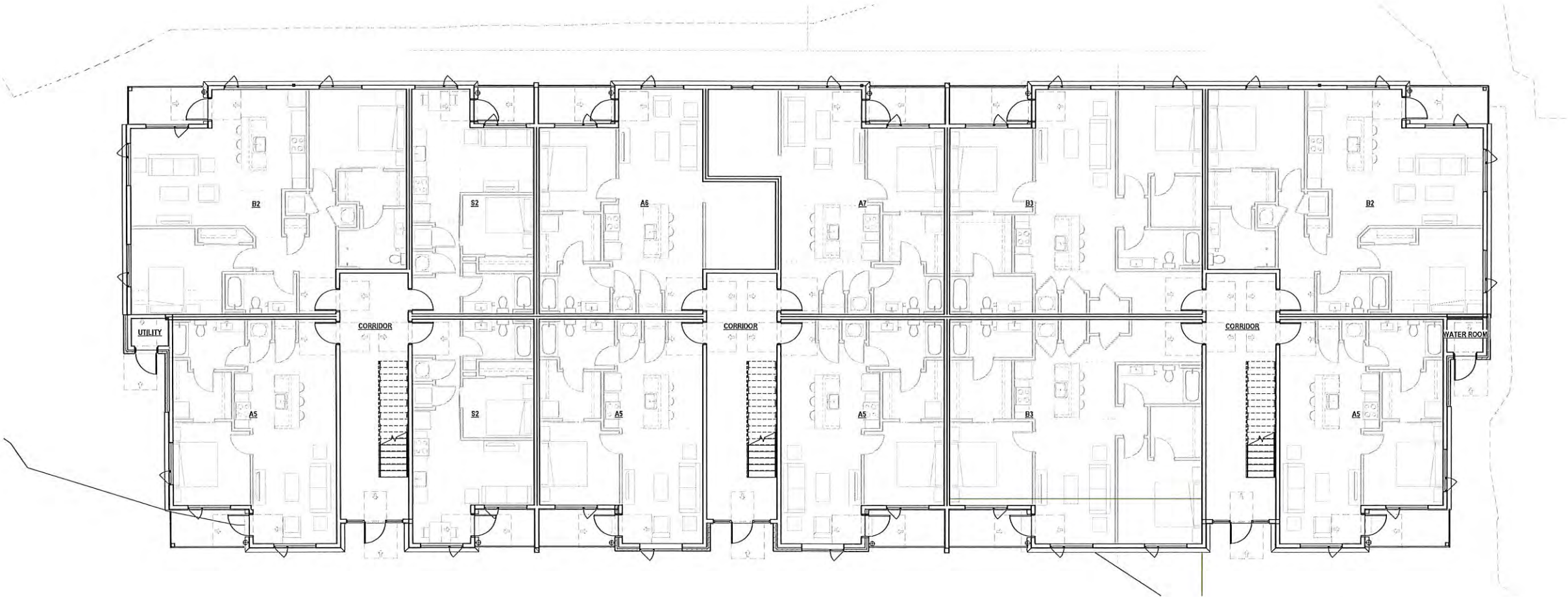
2 front elevation
3/32" = 1'-0"




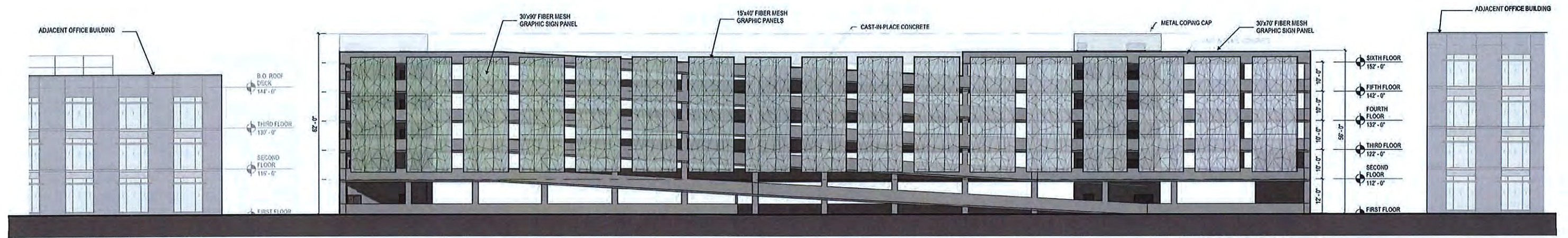
PROPOSED MATERIALS



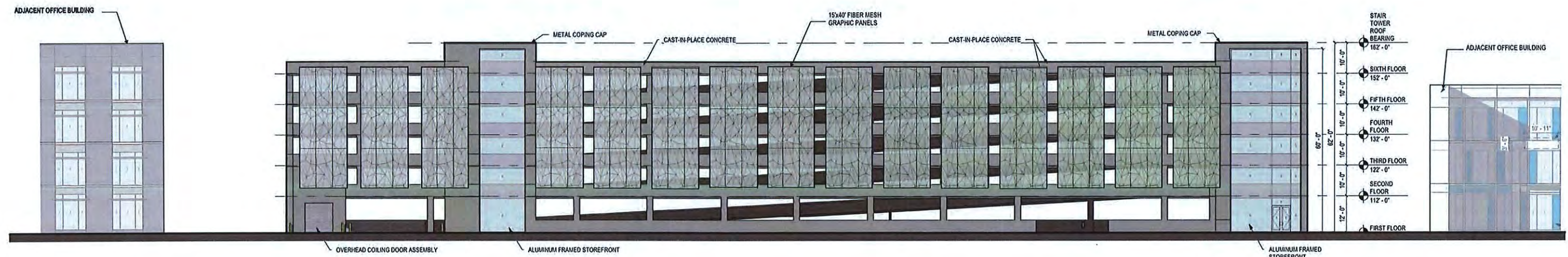
1 side elevation
3/32" = 1'-0"



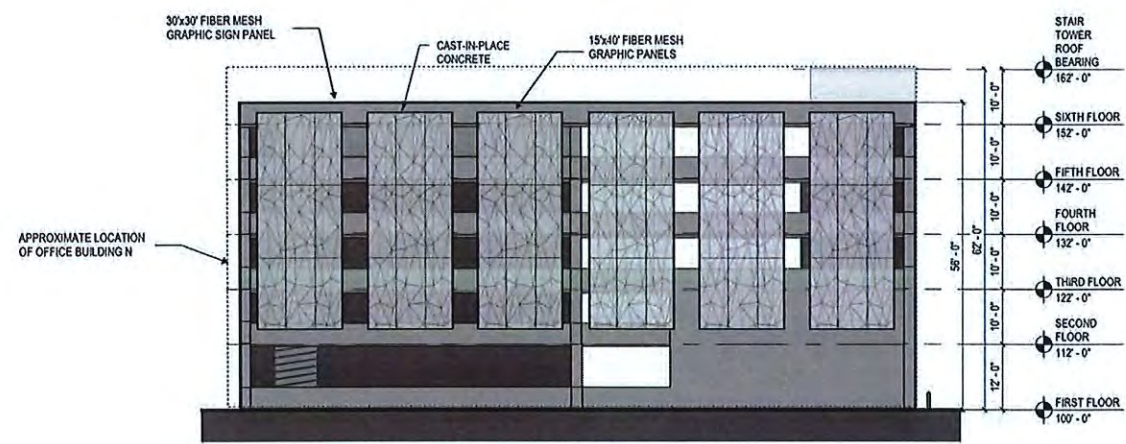

 bldg B first floor
 1/8" = 1'-0"



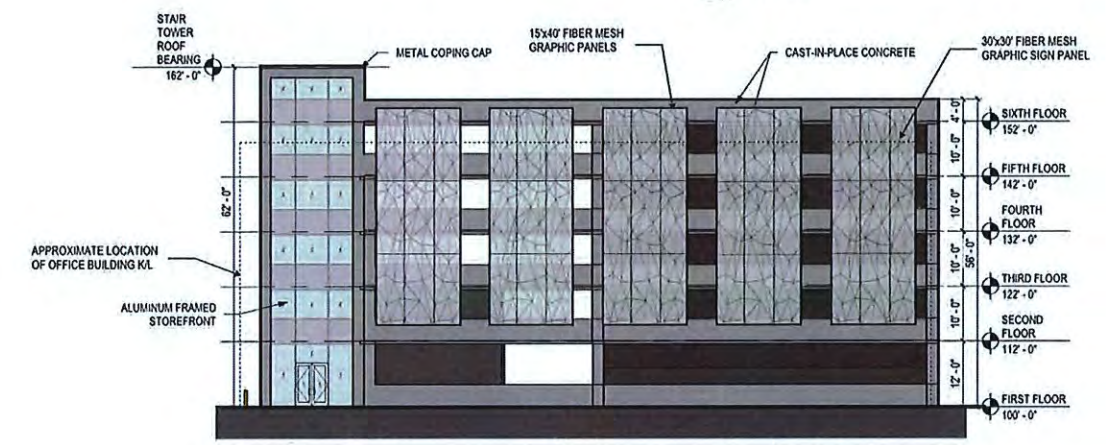
4 west elevation
1/16" = 1'-0"



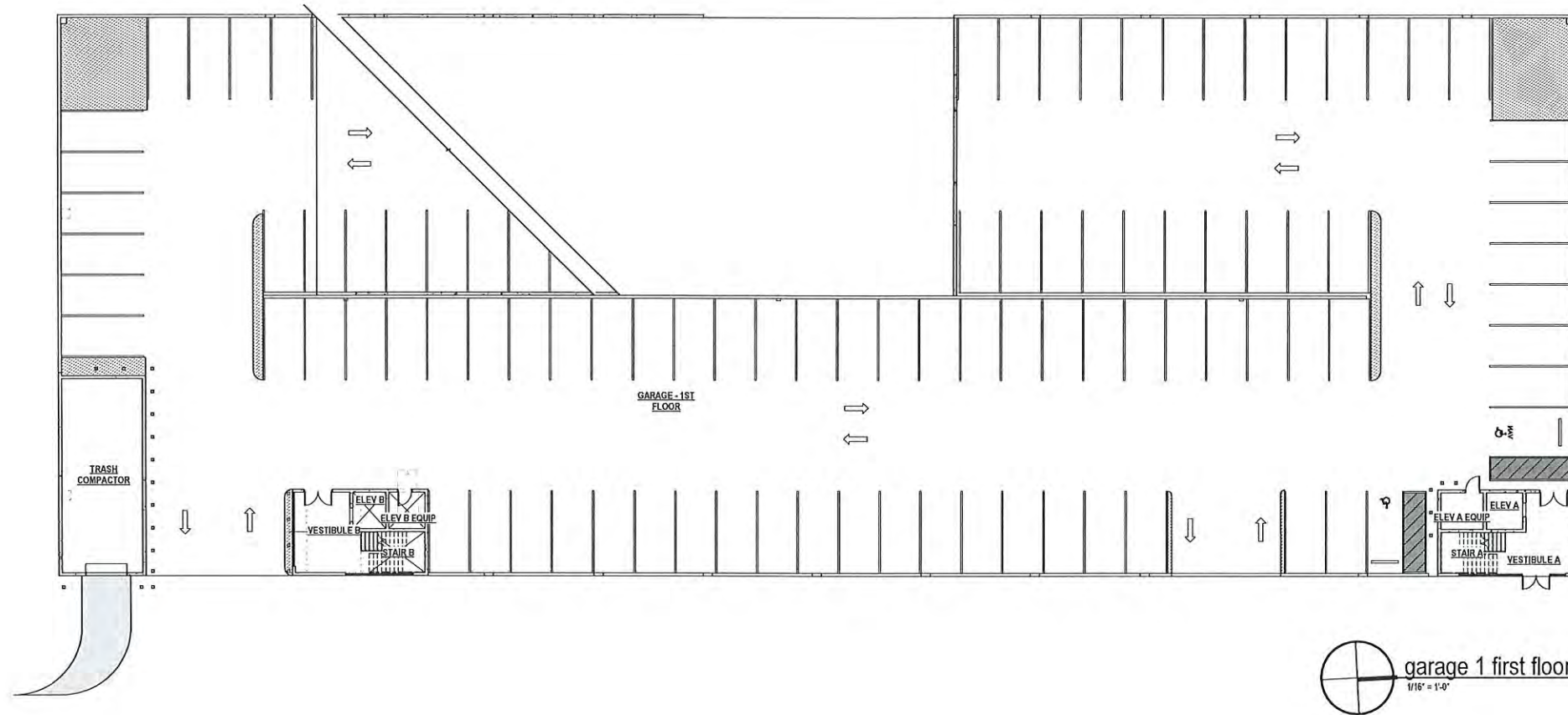
3 east elevation
1/16" = 1'-0"

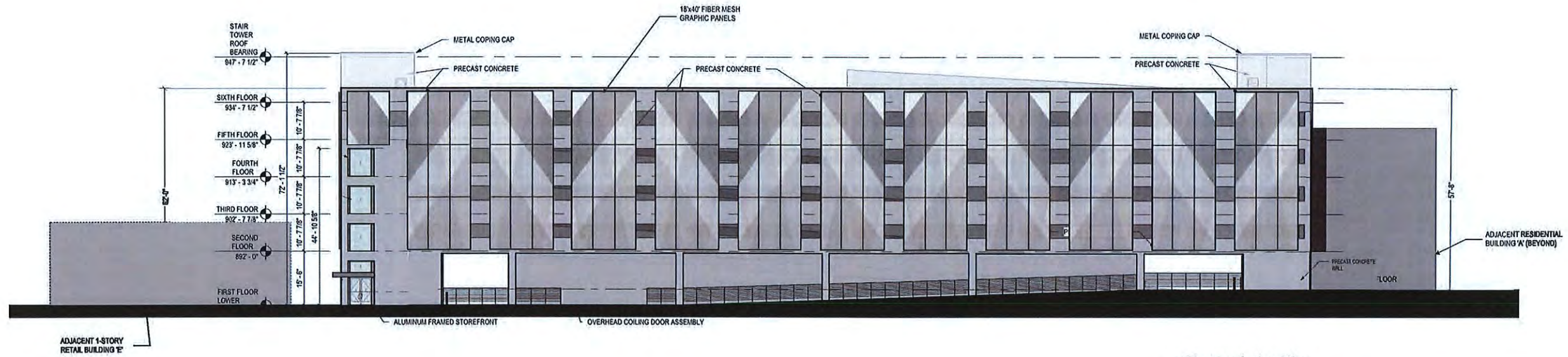


2 south elevation
1/16" = 1'-0"

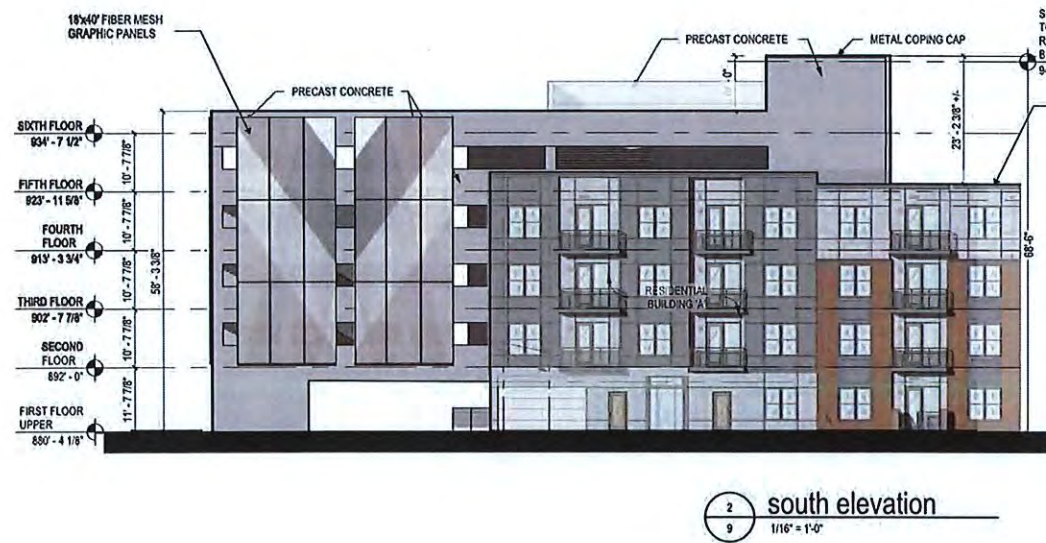


1 north elevation
1/16" = 1'-0"

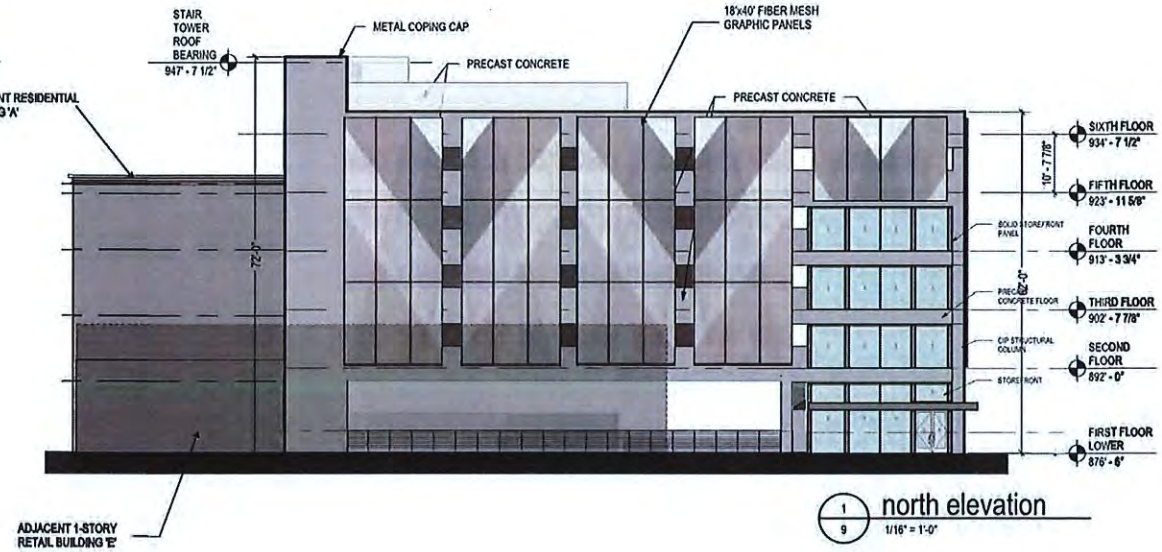




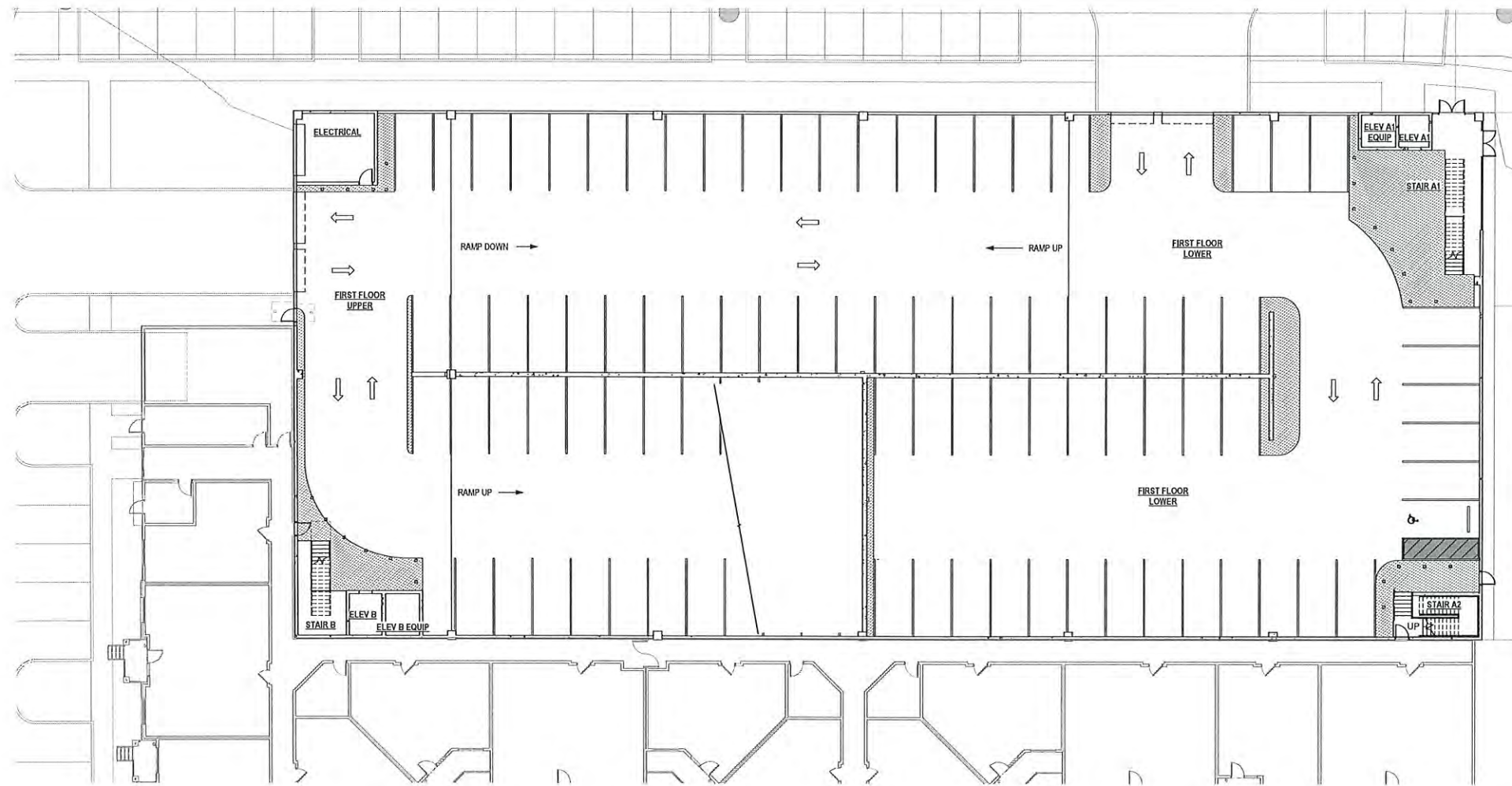
3 west elevation
1/16" = 1'-0"



2 south elevation
1/16" = 1'-0"



1 north elevation
1/16" = 1'-0"



garage 2 first floor
1/16" = 1'-0"

Truepointe

SIGNAGE CRITERIA

10.27.22

TRUEPOINTE

The following pages describe the design intent for the signage package at the Truepointe development, in Hilliard, as wayfinding and site identification.

Within the development, we have identified specific locations for identification and wayfinding directional signage. This document has been developed with close attention to the City of Hilliard signage ordinance.

In many instances the final design of signage is to be determined. In these cases, we have noted the design parameters included in the City of Hilliard's sign ordinance.

If required we will work with the City of Hilliard to refine the proposed intent to meet the City's expectations.

Sign Types

SITE SIGNAGE



ID-01
Primary Site ID

ID-02
Primary Site ID

ID-03
Primary Site ID



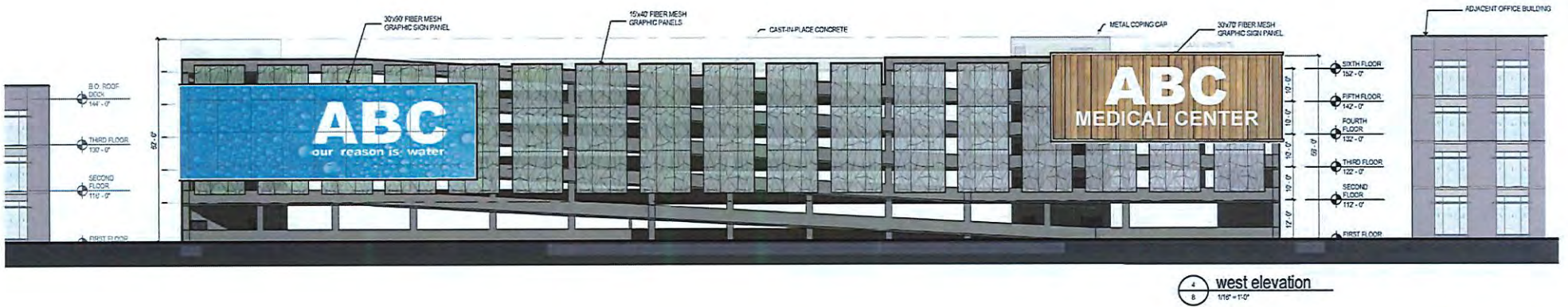
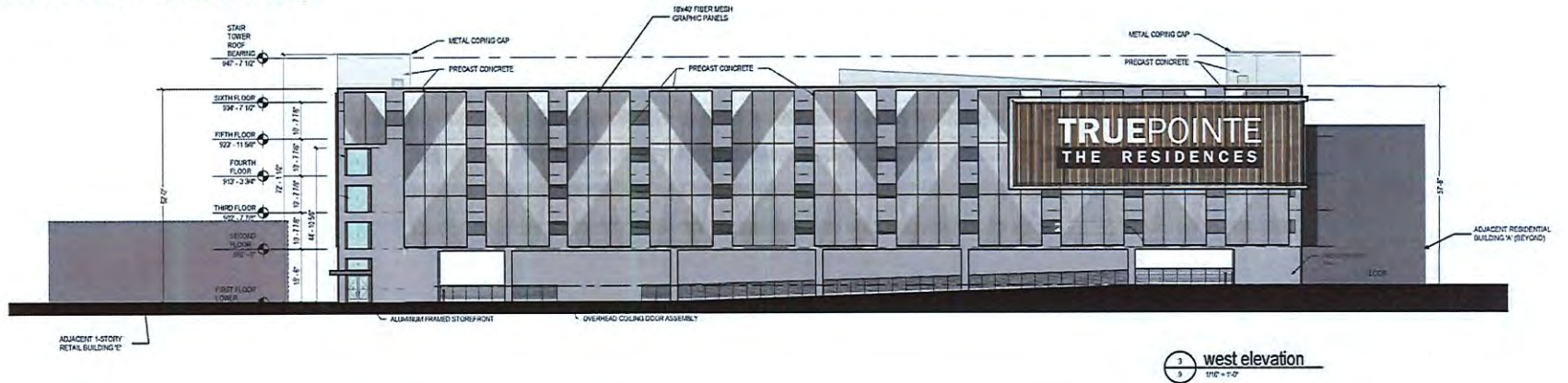
DR-01
Primary Directional

DR-02
Secondary Directional

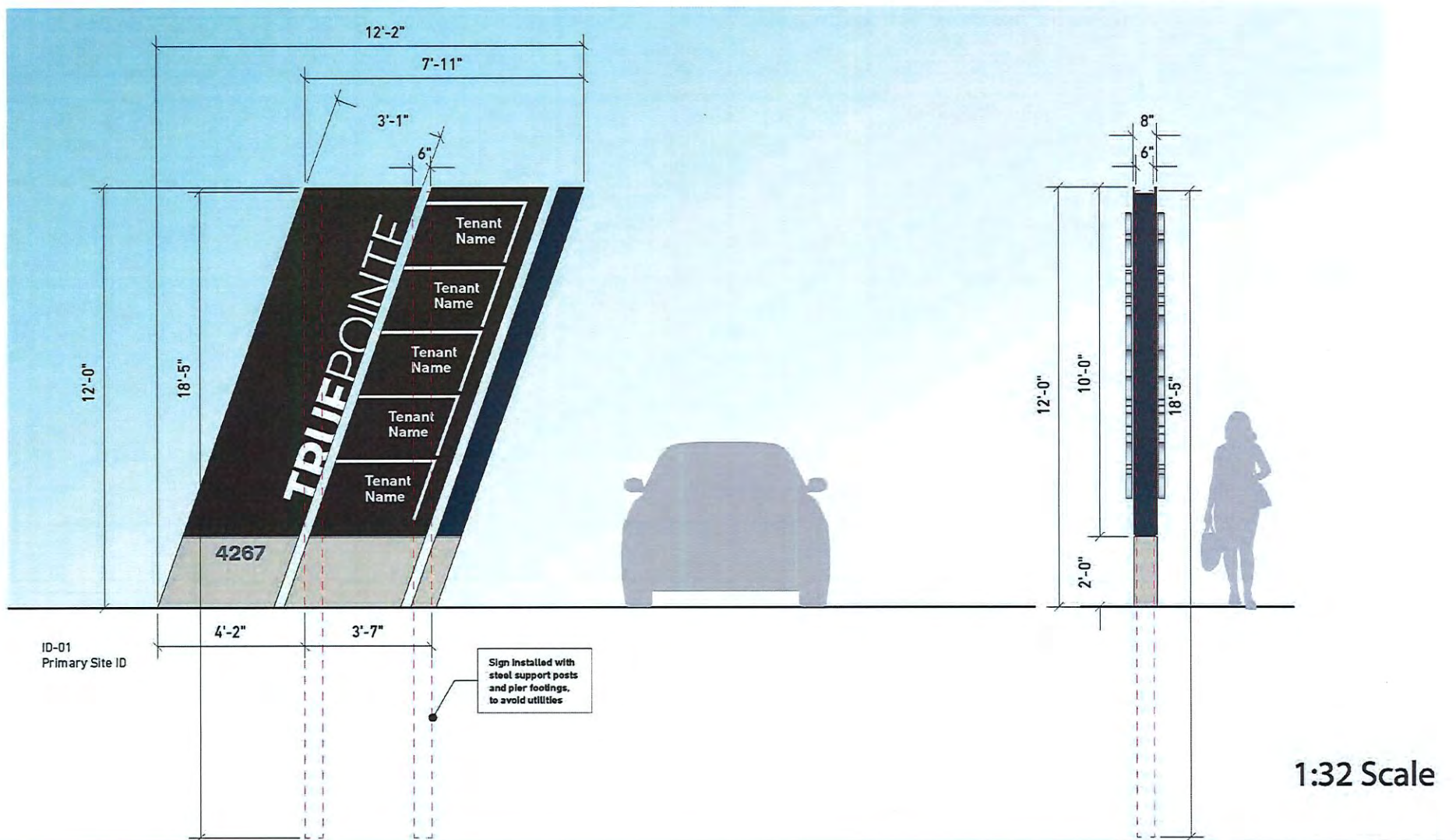
DR-03
You Are Here Map

DR-04
Street Sign

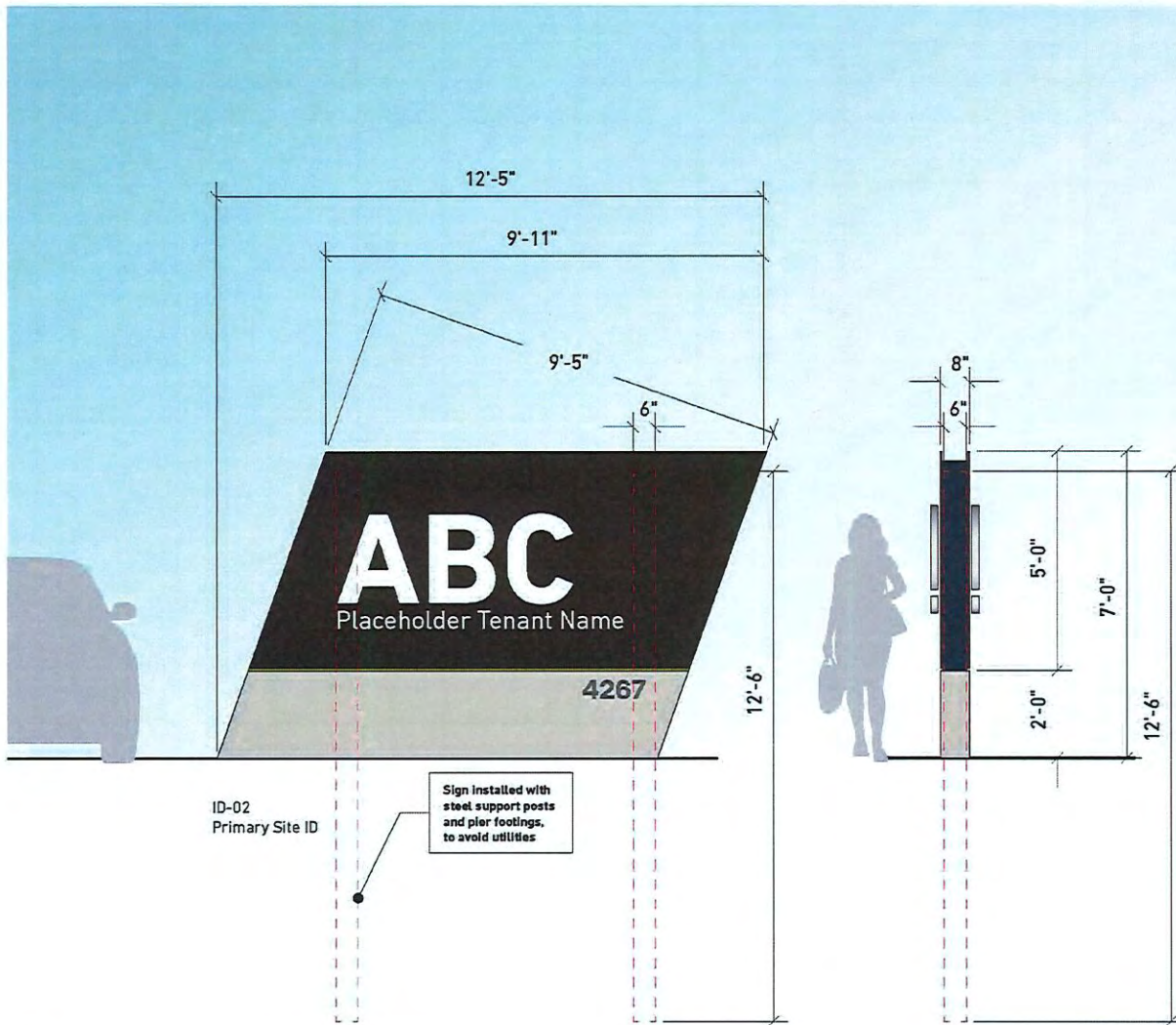
PARKING GARAGE SIGNAGE



PRIMARY MONUMENT SIGNAGE

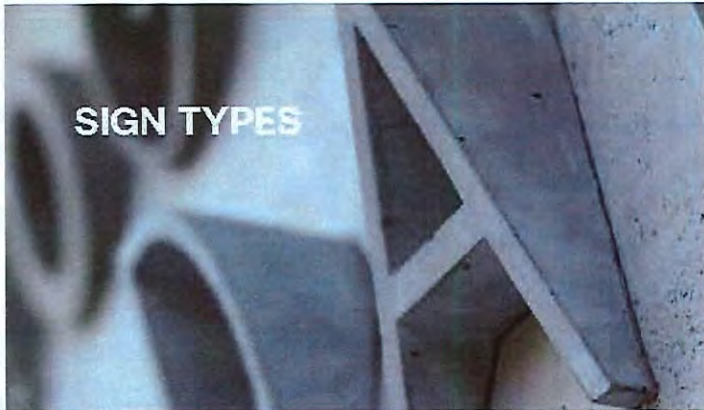


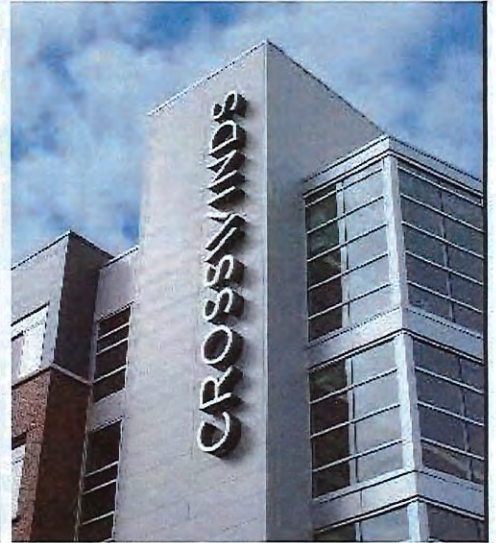
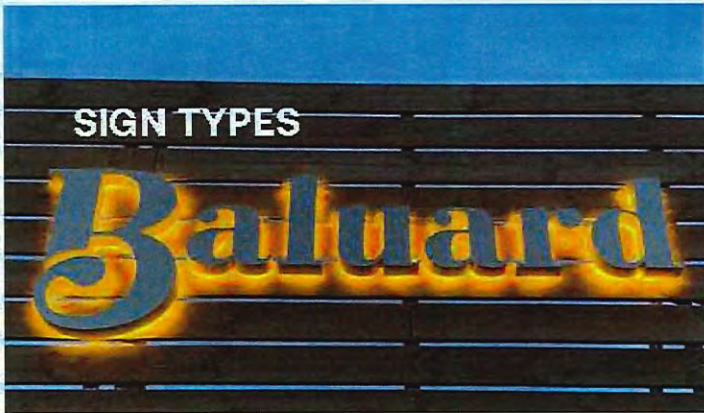
TENANT MONUMENT SIGNAGE



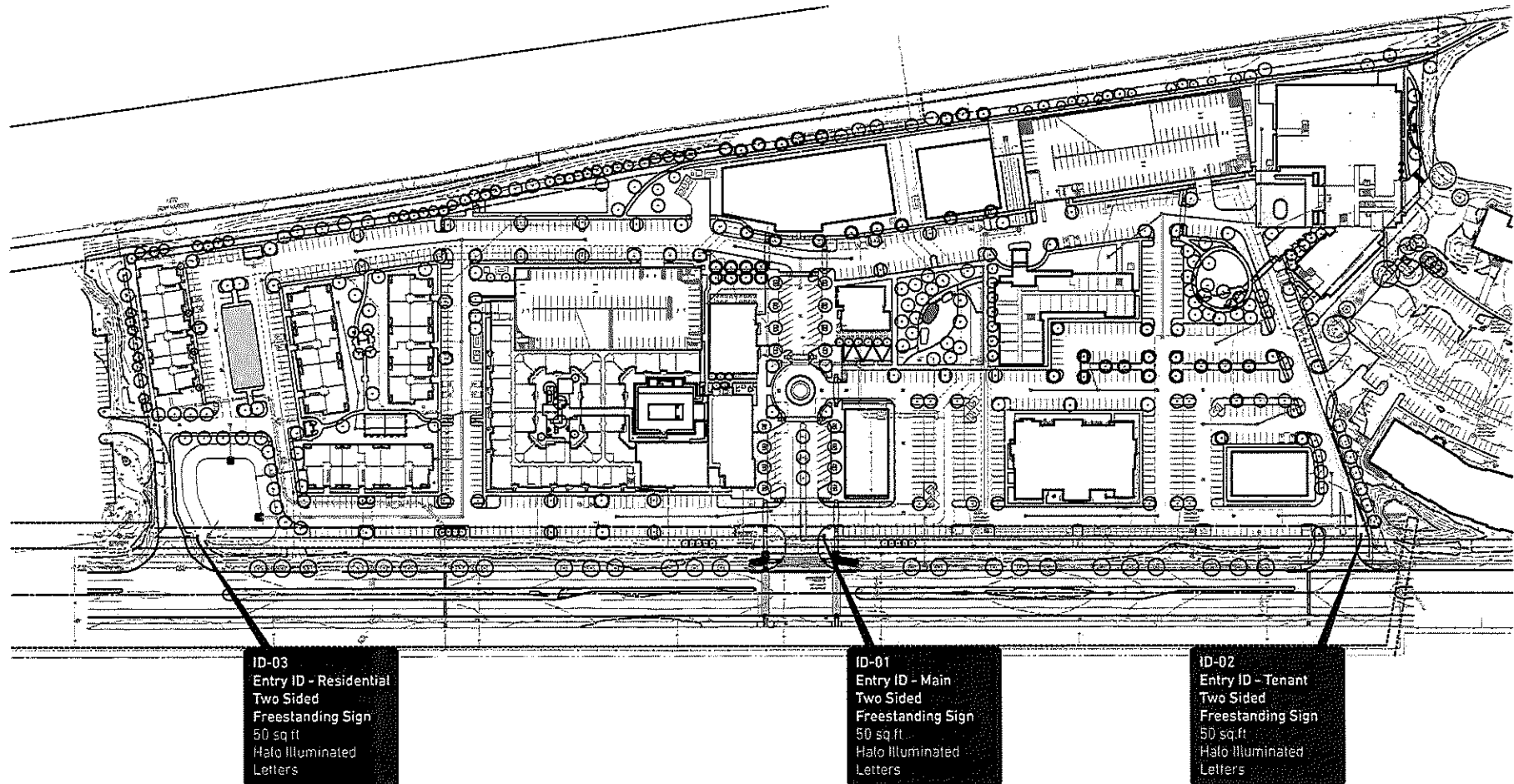
1:32 Scale

Typical Sign Examples & Locations

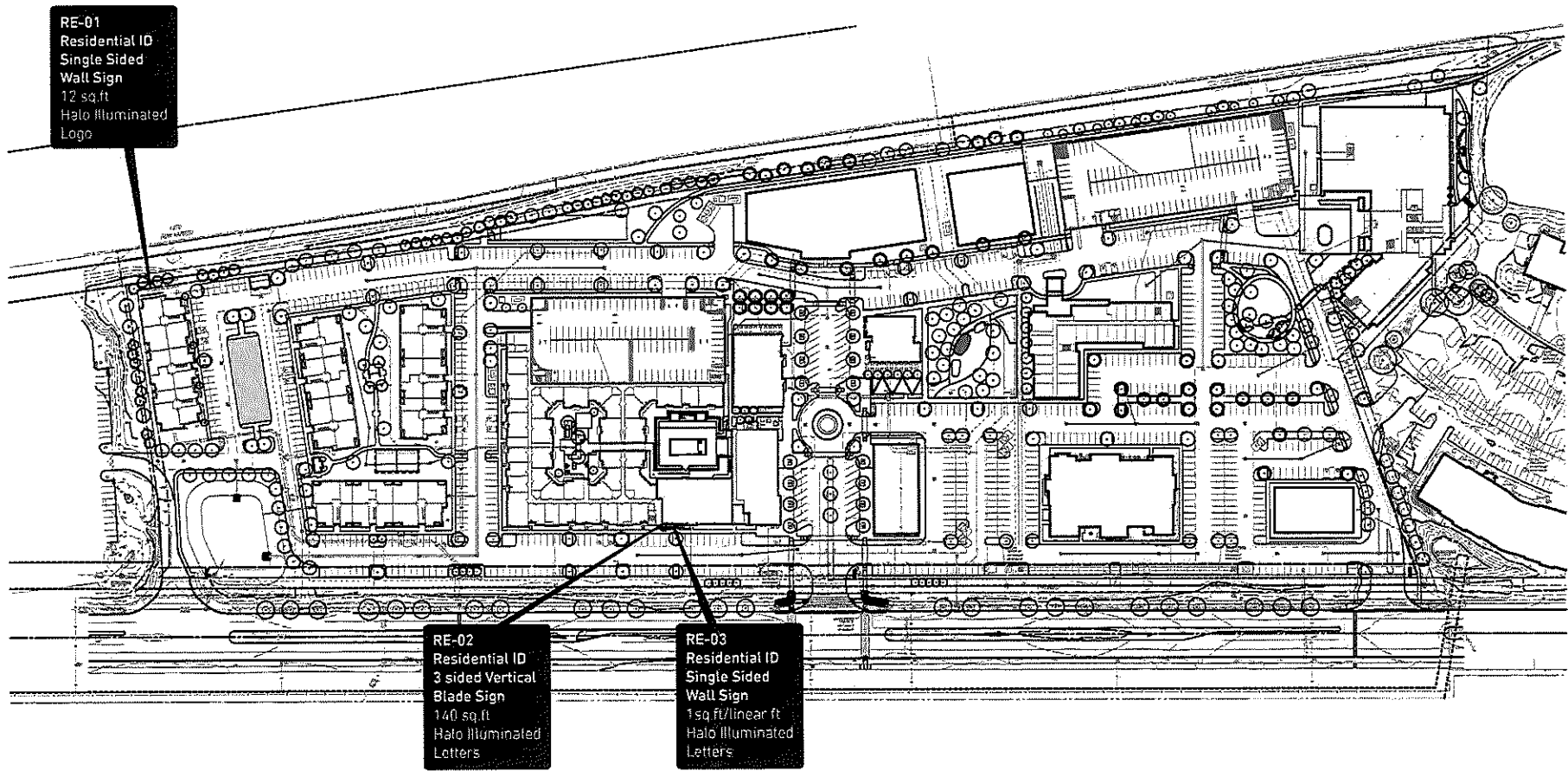




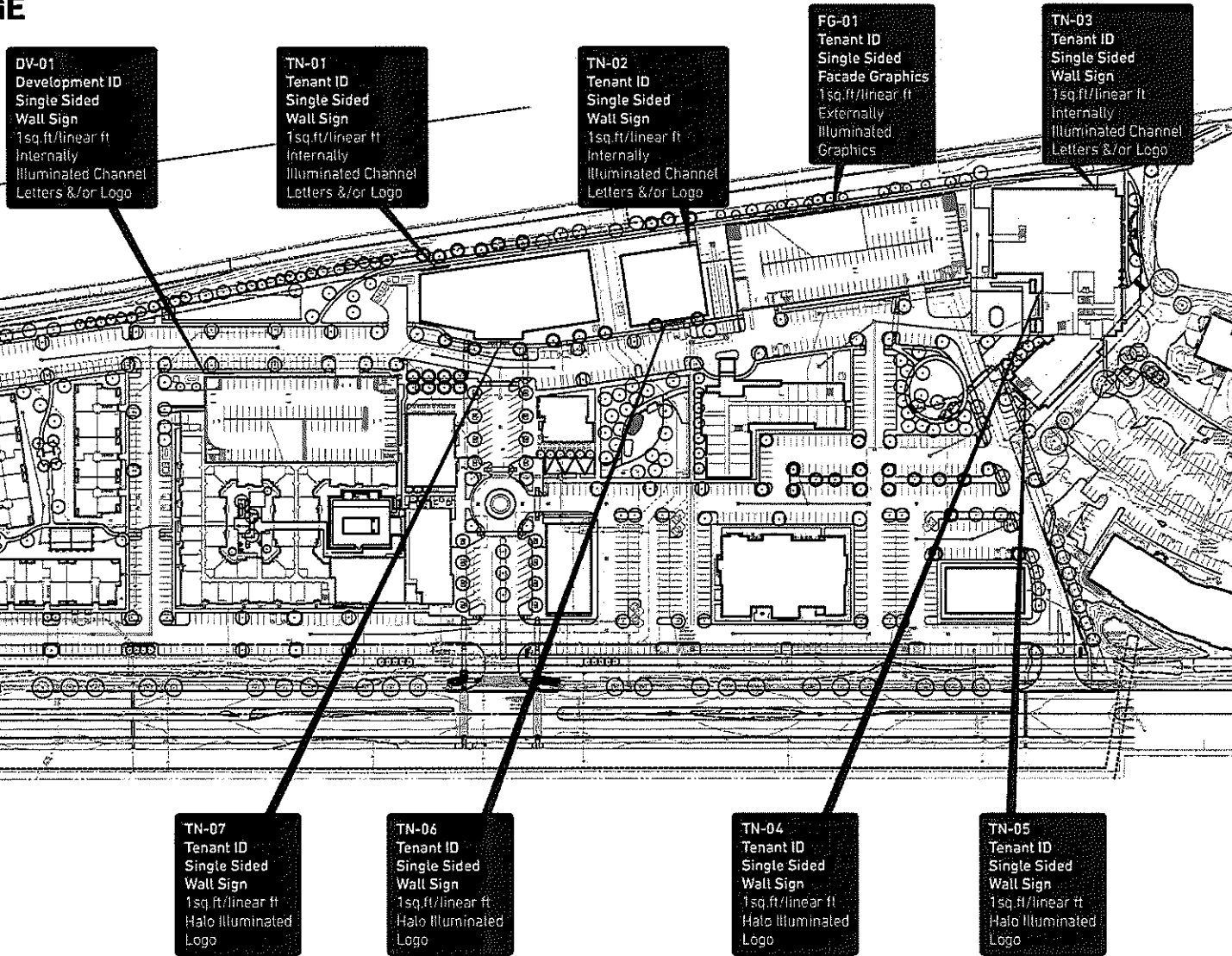
IDENTIFICATION SIGNAGE



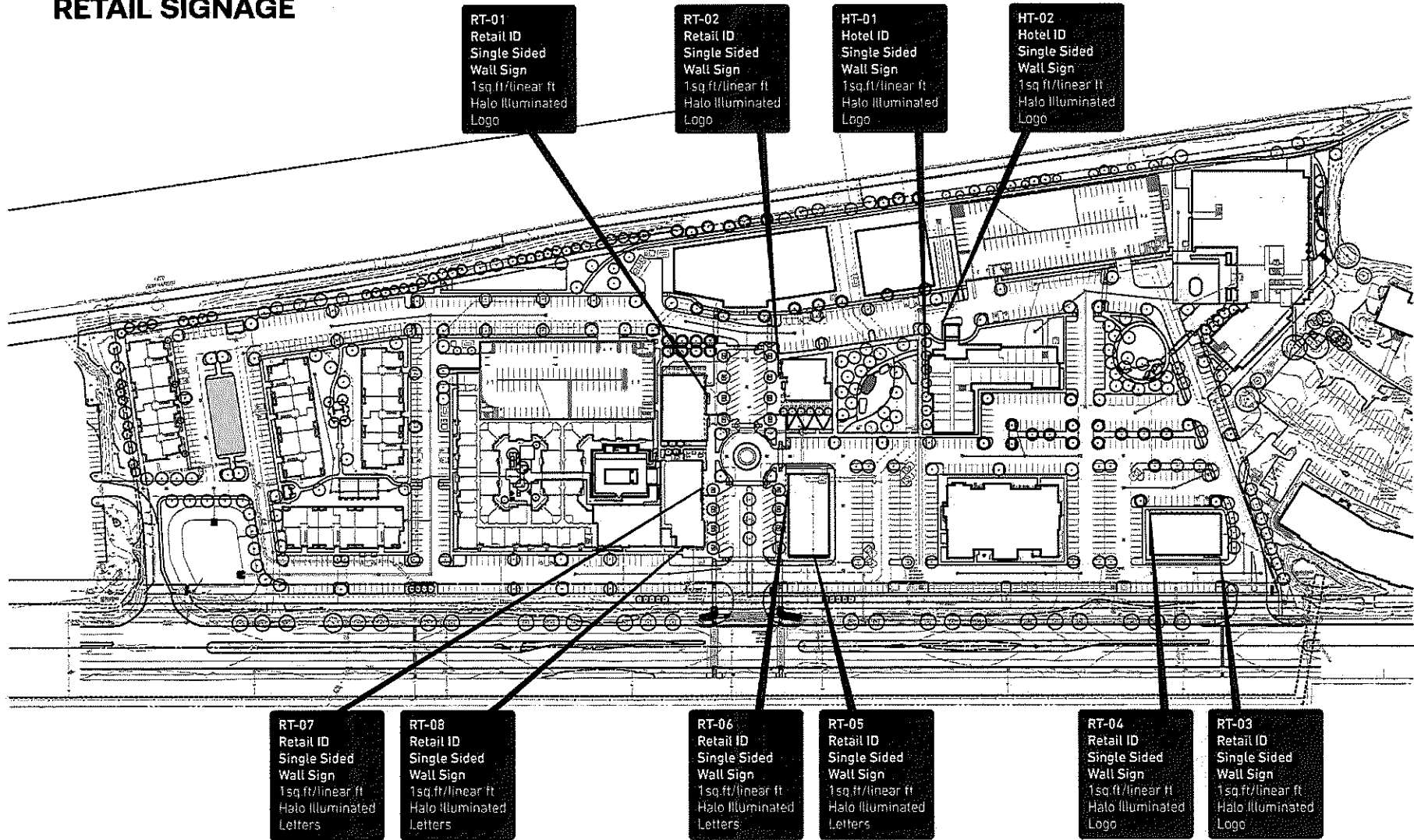
RESIDENTIAL IDENTIFICATION



TENANT SIGNAGE



RETAIL SIGNAGE



RT-01
Retail ID
Single Sided
Wall Sign
1sq.ft./linear ft
Halo Illuminated
Logo

RT-02
Retail ID
Single Sided
Wall Sign
1sq.ft./linear ft
Halo Illuminated
Logo

HT-01
Hotel ID
Single Sided
Wall Sign
1sq.ft./linear ft
Halo Illuminated
Logo

HT-02
Hotel ID
Single Sided
Wall Sign
1sq.ft./linear ft
Halo Illuminated
Logo

RT-07
Retail ID
Single Sided
Wall Sign
1sq.ft./linear ft
Halo Illuminated
Letters

RT-08
Retail ID
Single Sided
Wall Sign
1sq.ft./linear ft
Halo Illuminated
Letters

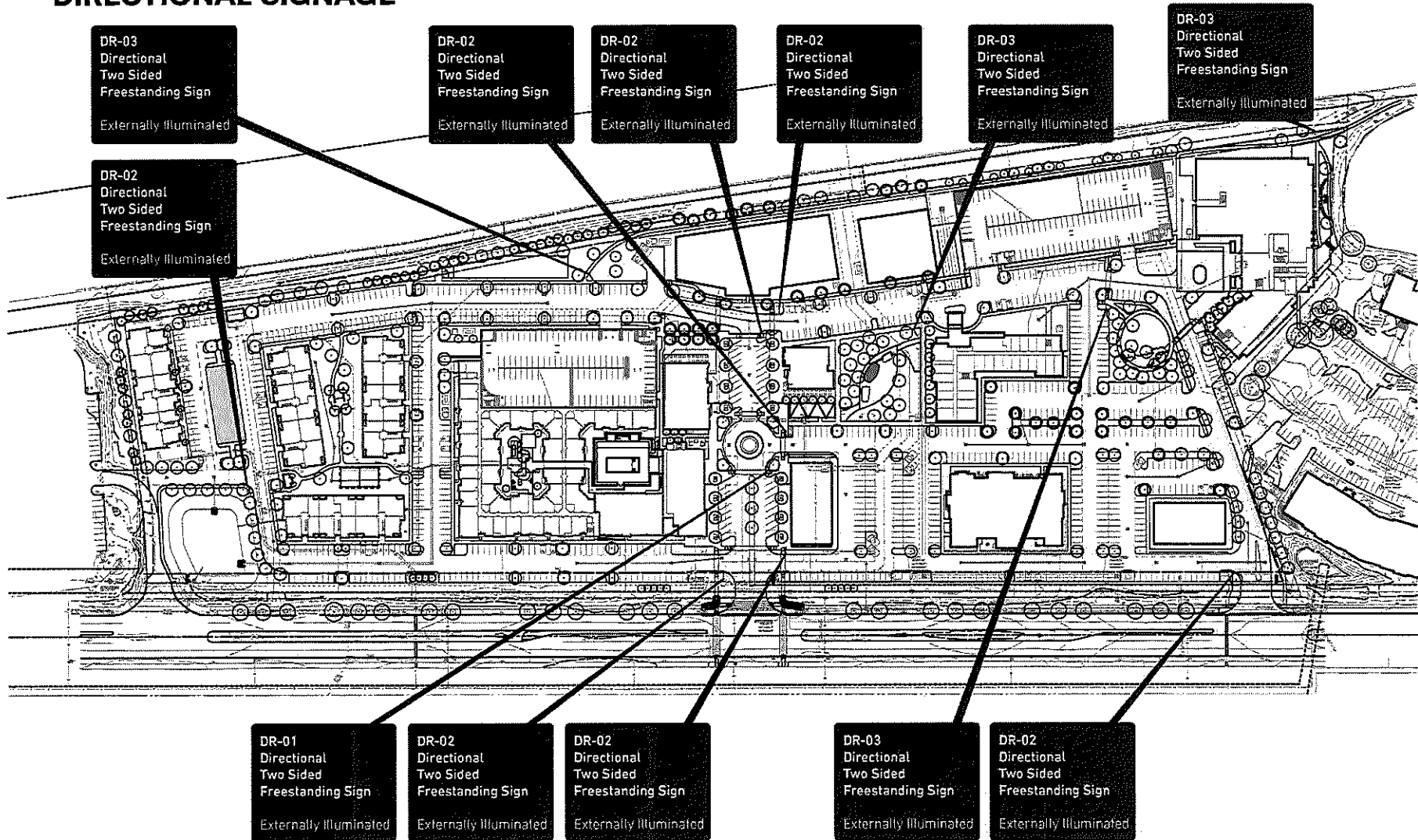
RT-06
Retail ID
Single Sided
Wall Sign
1sq.ft./linear ft
Halo Illuminated
Letters

RT-05
Retail ID
Single Sided
Wall Sign
1sq.ft./linear ft
Halo Illuminated
Letters

RT-04
Retail ID
Single Sided
Wall Sign
1sq.ft./linear ft
Halo Illuminated
Logo

RT-03
Retail ID
Single Sided
Wall Sign
1sq.ft./linear ft
Halo Illuminated
Logo

DIRECTIONAL SIGNAGE



Design Parameters

MASTER BRAND

The Truepointe logo is a simple word-mark that is immersed in an invisible horizon line.

Truepointe is a development focused on community and connection with a sustainable message, inspired by our most essential resource, water.

The brand for Truepointe reflects these two key themes.

TRUEPOINTE

LEGIBILITY - TYPEFACE

The Truepointe Brand utilizes the Aeonik Font Family as it's primary typeface.

The font family consists of a variety of type weights that provide legible, clear communication for our wayfinding and development signage needs.

ID Signs

Aeonik Bold

Minimum Size: 4" Cap Height

Min-Max Legibility: 40'-100'

SUBHEADERS

Aeonik Light

ALL CAPS

Minimum Size: 1" Cap Height

Min-Max Legibility: 12'-25'

Destinations

Aeonik Medium

Minimum Size: 0.75" Cap Height

Min-Max Legibility: 9'-19'