

MEETING AGENDA



Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube

Thursday, December 8, 2022 | 7:00 pm

1. Call to Order
2. Pledge of Allegiance to the Flag
3. Roll Call
4. Approval of the Meeting Minutes – November 10, 2022
5. Oath to Tell the Truth
6. Changes to the Agenda (requests for postponements, withdrawals, or change in order of cases)
7. Postponed Cases:

CASE 1: PZ-22-62 – MILLER PIPELINE – 4990-5320 SCIOTO DARBY ROAD

PARCEL NUMBERS: 050-002800, 050-003002 & 050-002343

APPLICANT: D&D Property Management LLC, 8850 Crawfordsville Road, Indianapolis, IN 46234; Don & Dale Miller, 4990 Scioto Darby Road, Hilliard, OH 43026; c/o Chad Lowe, Miller Pipeline, 5000 Scioto Darby Road, Hilliard, OH 43026.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to reduce the minimum setback for three 18-square-foot ground signs and two flag poles from 15 feet to 0 feet.

8. New Cases:

CASE 2: PZ-22-43 – COLORADO MOUNTAIN SPORTS – 4445 CEMETERY ROAD

PARCEL NUMBER: 050-002824

APPLICANT: Cemetery Rd Holdings LLC, c/o Eric Bahgat, 4445 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of a PUD Final Development Plan modification under the provisions of the Cemetery Road Properties Located Between Leap & Lacon Roads PUD Concept Plan and Text for a two-story, 3,240-square-foot building addition on 0.44-acre.

CASE 3: PZ-22-66 – SHOPPES BY WESTWOOD – 4055 MAIN STREET

PARCEL NUMBERS: 050-000188 & 050-000084

APPLICANT: Old Hilliard Ltd., c/o Andy Warnock, P.O. Box 1471, Hilliard, OH 43026.

REQUEST: Review & approval of a comprehensive signage plan consisting of wall signs, projecting signs, and A-frame signs for each tenant space.

CASE 4: PZ-22-68 – KIMES RESIDENCE – 5190 NORWICH STREET

PARCEL NUMBERS: 050-000321 & 050-000293

APPLICANT: Hayden & Chelsea Kimes, 5190 Norwich Street, Hilliard, OH 43026.

REQUEST: Review & approval of an Old Hilliard District Plan under the provisions of Hilliard Code Chapter 1115 to permit a 3,970-square-foot building addition.

- 9. Discussion Items**
- 10. Chairman’s Communication**
- 11. Committee Communications**
- 12. Adjournment**

[END OF AGENDA | DECEMBER 8, 2022]

MEETING MINUTES

Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube



Thursday, November 10, 2022 | 7:00 pm

CALL TO ORDER

Chairman Jay Muether called the Regular Meeting of Planning and Zoning Commission to order at 7:00 PM.

PLEDGE OF ALLEGIANCE TO THE FLAG

Chairman Jay Muether led the Commission and attendees in the Pledge of Allegiance.

ROLL CALL

Attendee Name:	Title:	Status:
Chairman Jay Muether	Chair	Present
Vice Chair Bevan Schneck	Vice Chair	Present
Eric Gutknecht	Member	Present
Chris Lewie	Member	Present
Tracey Nixon	Member	Excused
Tom Pannett	Member	Present
Bill Uttley	Member	Present

Staff Members Present: Planning Director John Talentino, City Engineer Clark Rausch, Planning Manager Carson Combs, Staff Attorney Kelly Clodfelder, Council Representative Peggy Hale and Administrative Assistant Community Development Nicole Starrett.

Others Present: Bryan Dougherty representing PLAT-22-9; Sydney Berry representing PLAT-22-9; James Voyles representing PZ-22-60; Jim McFarland representing PZ-22-61; Leland Vogel representing PZ-22-63; Ellen Puckett representing PZ-22-64 and Shawn Boysko representing PZ-22-6, and other members of the public in attendance.

APPROVAL OF MEETING MINUTES – October 13, 2022

Chairman Muether asked if there were any changes or corrections to the October 13, Planning and Zoning Commission minutes. Minutes were approved by voice vote.

Status:	Accepted by Voice Vote (6-0)
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Chris Lewie, Tom Pannett, Eric Gutknecht, William Uttley.

OATH TO TELL THE TRUTH

Staff Attorney Kelly Clodfelder administered the Oath to Tell the Truth.

CHANGES TO THE AGENDA

Planning Manager Carson Combs noted that a request to postpone Case PZ-22-62 to the December meeting has been made by the applicant due to a health issue. Mr. Uttley, seconded by Mr. Lewie, made a motion to postpone Case PZ-22-62 – Miller Pipeline – 4990-5320 Scioto Darby Road to the December 8, 2022, meeting.

Status:	Motion to postpone was approved (6-0).
Mover:	Mr. William Uttley
Seconder:	Mr. Chris Lewie
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Chris Lewie, Tom Pannett, Eric Gutknecht, William Uttley.

CASE 1: PLAT-22-9 – THE COURTYARDS AT CARR FARMS SECTION 4 – EAST SIDE OF LEPPERT ROAD APPROXIMATELY 2,000 FEET NORTH OF DAVIDSON ROAD

PARCEL NUMBER: 050-011719

APPLICANT: Epcon Carr Farms LLC, 500 Stonehenge Parkway, Dublin, OH 43017; c/o Sydney Berry, EMH&T, Inc., 5500 New Albany Road, Columbus, OH 43054.

REQUEST: Review and approval of a Final Plat under the provisions of Hilliard Code Section 1188.05 and the Carr Farms PUD Concept Plan for a development consisting of 38 single-family lots on 13.026 acres.

[Mr. Combs gave the staff report]

BACKGROUND:

The site is 13.026 acres located on the east side of Leppert Road approximately 1,500 feet south of Hayden Run Road. On November 12, 2015, the Planning and Zoning Commission approved the original PUD Concept Plan which consisted of 157 single-family lots on 79.5 acres. On April 12, 2018, The Commission approved a 6-month extension of the original Concept Plan. On September 13, 2018, the Commission approved a modification of the PUD Concept Plan consisting of 59 traditional single-family homes and 179 empty nester homes on 79.45 acres. On April 8, 2021, the Commission approved a Final Plat for The Courtyards at Carr Farms Phase 1 consisting of 47 single-family lots on 24.423 acres, as well as the development’s clubhouse area. Later that year on October 11, City Council adopted a resolution (21-R-62) which modified the PUD Concept Plan to include 16 townhouse dwelling units and 50 empty nester homes on 21.44 acres in Subarea “B” consisting of Subarea “B” at the southern end of the development. Final plats for Sections 2, 3, 5, and 6 were reviewed and approved by the Commission earlier this year.

The applicant is now requesting approval of a Final Plat for the last section of the Courtyards at Carr Farms (Section 4) consisting of 38 single-family lots, private streets and one open space reserve on 13.026 acres. This plat within Subarea “A” encompasses portions of the development along Leppert Road that are located north and west of the stream corridor protection zone.

COMMISSION ROLE:

The Commission is to review the proposed final plat for conformance to the provisions of the Courtyards at Carr Farms PUD Concept Plan and Hilliard Code Section 1188.05. Specifically, the Code provides for the granting of a final plat as specified in Chapter 1188 if the plat design and layout conform to the Hilliard Design Manual and conforms to the approved PUD Concept Plan. Following approval of the final plat, the application will be forwarded to City Council for the acceptance of public improvements. At that time, the applicant may submit plat documents to obtain final signatures for recording.

STAFF RECOMMENDATION:

Staff finds that the proposed final plat is consistent with the provisions of the Courtyards at Carr Farms PUD Concept Plan and Code Section 1188.05 as modified in this report. Based on these findings, staff recommends approval of the proposed final plat with the following three conditions:

- 1) That an easement be added between Lots 165 and 166 to provide pedestrian connectivity as identified in the approved PUD Concept Plan;

- 2) That the building line on Lot 164 be amended to demonstrate the minimum 52-foot lot width required by the PUD text; and
- 3) That the Final Plat meet the requirements of the City Engineer for format and content prior to being scheduled on a City Council agenda.

CONSIDERATIONS:

- *Site Description.* The site consists of the northwestern portion of the Courtyards at Carr Farms PUD within Subarea "A". A maximum of 179 lots are permitted within the subarea, as well as the clubhouse and associated amenities. This section includes 38 single-family lots.
- *Development Standards.* Standards for single-family courtyard homes include a 120-foot minimum lot depth, minimum 20-foot front yard, minimum 15-foot minimum setback to sidewalk for corner lots, minimum 5-foot side yard, minimum 12.5-foot rear yard from internal property lines, minimum 65-foot building setback from the eastern and southern overall property boundaries, and minimum 1,400-square-foot floor area. The plat complies with these standards.
- *Minimum Lot Width.* Minimum lot width as required in the PUD text is 52 feet for the platted lots. Because of road curvature, Lot 164 as shown on the plat does not meet minimum width at the building line. The applicant has submitted a revised exhibit that complies, and the plat will be modified accordingly prior to City Council review.
- *Landscape Buffers.* The PUD Concept Plan includes mounding and landscaping along the Leppert Road right-of-way that will be installed as part of the development in accordance with the rezoning.
- *Reserve P.* The reserve is 5.654 acres that includes stormwater management facilities as well as the Leppert Road frontage treatment. The reserve will be owned and maintained by the HOA.
- *Reserve Q.* Private streets within the subdivision are denoted as Reserve Q and will also be owned and maintained by an association comprised of the property owners.
- *Multi-Use Path.* A 10-foot path will be installed along Leppert Road within the right-of-way. The adopted development plan includes a path connection from the Leppert Road right-of-way to Piedmont Drive between Lots 165 and 166. The applicant has agreed to revise the plat to include the easement prior to City Council review.

[END OF REPORT | PLAT-22-9]

Mr. Lewie inquired whether Lots 165 and 166 were in the 500-year floodplain. The City Engineer verified that the plat indicated that the properties were in Zone X.

Vice Chair Schneck asked if a multi-use path would be located along Leppert and inquired where it would connect; Mr. Combs clarified that the path along the Leppert right-of-way would be extended to the north property line and that the path system through the reserves would be extended to connect into the Hayden Run system.

Bryan Dougherty, representing Epcn Communities, addressed the Commission and verified that the plat indicated a 500-year floodplain.

With no additional questions or public comment, Mr. Pannett (seconded by Mr. Gutknecht) made a motion for the approval of the proposed final plat with the following three conditions:

- 1) That an easement be added between Lots 165 and 166 to provide pedestrian connectivity as identified in the approved PUD Concept Plan;
- 2) That the building line on Lot 164 be amended to demonstrate the minimum 52-foot lot width required by the PUD text; and
- 3) That the Final Plat meet the requirements of the City Engineer for format and content prior to being scheduled on a City Council agenda.

Status:	Approved (6-0) with three conditions.
Mover:	Mr. Tom Pannett
Secunder:	Mr. Eric Gutknecht
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Chris Lewie, Tom Pannett, Eric Gutknecht, William Uttley.

CASE 2: PZ-22-60 – VOYLES FAMILY DENTAL – 3511 MAIN STREET

PARCEL NUMBER: 050-002808

APPLICANT: James Voyles, Voyles Family Dental, 3511 Main Street, Hilliard, OH 43026.

REQUEST: Review and approval of variances under the provisions of Hilliard Code Section 1129.08 to increase the maximum permitted sign height from 7 feet to 9 feet and to reduce the minimum required setback from 7.9 feet to 5 feet for a monument-style ground sign.

[Mr. Combs gave the staff report]

BACKGROUND:

The site is 0.6-acre located on the west side of Main Street approximately 275 feet north of Heritage Club Drive. The property is zoned B-2, Community Business District, which was established with Ordinance 14-29 as part of the full zoning code and map revision in 2014. The site includes a multi-tenant retail building constructed in 1973 that includes the dental practice and the Farmer’s Insurance Group office at 3509 Main Street. The property is owned by the applicant/dental practice.

To the north of the site at 3545 Main Street is AutoZone, which is also zoned B-2. Ten Pin Alley (bowling alley) is located to the rear of the site and is also zoned within the B-2, Commercial Business District. HER Realtors is located at 3499 Main Street to the south of the site and is zoned PUD, Planned Unit Development District as part of the Heritage Lakes PUD commercial area on the west side of Main Street. The Resurrection Evangelical Church is located across Main Street to the east and is zoned B-3, Office/Institutional District.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner’s predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Following approval by the Commission, the applicant is responsible for obtaining a sign permit prior to installation that conforms to the requirements and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the depressed elevation of the site and constraints created by adjacent landscaping and utility structures create limitations to visibility given the traffic speed within the corridor. The proposed sign plan will blend with the general character of the area and will not substantially impact surrounding property owners, and staff finds that the proposed signage will meet the general spirit and intent of the Code. Based on these findings, staff recommends approval with the following condition:

- 1) That a sign permit be obtained prior to installation.

CONSIDERATIONS:

- *Visual Obstructions.* To the north of the site, parking lot landscaping for the AutoZone parking lot extends to the power pole located at the right-of-way. A significant number of utility structures and an additional high-power transmission pole are located at the southern property line enclosed by a solid privacy fence, limiting visibility of the site to the south. The site also includes a depressed elevation with the parking lot to the north (AutoZone) being approximately two feet higher than the proposed sign location. The AutoZone parking lot also includes mature evergreen shrubs that extend to the right-of-way and further accentuate the height difference. Staff has reached out to AutoZone on multiple occasions to inquire about removing some shrubbery to improve visibility but has received no response.
- *Sign Area & Height.* The proposed sign face is a 5' x 7' blue cabinet (35 square feet) that will be non-illuminated. The Zoning Code permits up to 50 square feet in area. The applicant has proposed a smaller sign face but is requesting increased height to compensate for the surrounding sight line issues noted above. The requested two additional feet in height is to accommodate the change in elevation.
- *Sign Setbacks.* Code requires a minimum setback of fifteen feet for signs from the right-of-way. This property was granted a setback variance by the Planning and Zoning Commission (05-0042LC) on September 8, 2005, to reduce that requirement to 7.9 feet. This request would be to further reduce the required setback to five feet. The ground sign would be placed in the center of an existing parking space.
- *Landscaping.* As part of the proposed sign improvements, the applicant will remove the parking space to provide a significant area of lawn around the signage. The proposed site modification will reduce impervious surfaces on the site and enhance stormwater infiltration, which is problematic due to the elevation and grading of the entire site.

[END OF REPORT | PZ-22-60]

Vice Chair Schneck inquired about staff communication with Auto Zone regarding the shrubbery and whether some could be removed. Mr. Combs confirmed that removal was not required by Code, but that an inquiry was being made to see if one or two shrubs could be removed to improve visibility. He noted that following a month of inquiry there had been no answer.

James Voyles was present on behalf of the case. He is the property owner and owns the dental practice. He noted that the site was significantly lower than the surrounding properties and that he feels that the variance request is necessary for the sign to be seen. He noted his agreement with the condition in the report.

Ms. Hale inquired if the sign will be illuminated; Dr. Voyles noted that he is only open during the day and it would not be lit.

Mr. Uttley, seconded by Chairman Muether, made the motion for approval with the following condition:

- 1) That a sign permit be obtained prior to installation.

Status:	Approved (6-0) with one condition.
Mover:	William Uttley
Second:	Chairman Jay Muether
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Chris Lewie, Tom Pannett, Eric Gutknecht, William Uttley.

CASE 3: PZ-22-61 – LACON ROAD MULTI-TENANT SIGN – 3700-3720 LACON ROAD

PARCEL NUMBER: 050-009383 (Easthill Acres Subdivision)

APPLICANT: Leibrand Brown Campbell Ltd., 3706 Lacon Road, Hilliard, OH 43026; c/o Rebecca Green, 84 Skyline Drive, South Bloomington, OH 43103.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to increase the maximum height from 7 feet to 10 feet, to increase the maximum sign area from 50 square feet to 73.33 square feet and to permit off-premises business identification for a multi-tenant, monument-style ground sign.

[Mr. Combs gave the staff report]

BACKGROUND:

The site is 18.7 acres located on the east side of Lacon Road between Edgecomb Avenue (private) and Easthill Drive (private). The property includes a large industrial building approximately 160,000 square feet in area that includes a variety of tenants. The site, as well as properties to the north, south and west are all located within the M-1, Restricted Industrial District. The primary tenant in the building at 3700-3720 Lacon is Dynomite Apparel. The private access drive to the site (Easthill Drive) also provides sole access to the properties at 3690, 3800, 3808 and 3180 Lacon Road on the north side of the private street). This signage request includes tenant spaces for parcel #050-002859 (3690 Lacon Rd.), parcel #050-003001 (3808 Lacon) and parcel #050-004914 (3810 Lacon) to provide identification for safety services.

In April 2003, the Commission granted conditional use approval for an Enterprise Rent-a-Car (03-0014LC). The Commission also granted a plan modification for the rental car business (04-0006LC) and an additional sign variance in June 2006 (06-0032LC). On November 14, 2003, a sign variance was granted by the Commission to allow on-site directional signage for Premium Beverage Supply (13-0092LC). Since that time, two conditional use requests have been approved by the Commission to permit religious uses as tenant spaces within the building. These included the Liberty Baptist Church (19-048LC) on July 11, 2019, and the Grandview Christian Assembly (20-0528LC) on November 12, 2020. Both approvals included conditions of approval that all signage comply with Code.

Based on lengthy discussion between area tenants and with the Norwich Township Fire Department and staff, the applicant is now requesting variances to the required height and area limitations of the Code for a 73.33-square foot, 10-foot-tall monument ground sign that will provide identification for 13 different tenants that obtain access off the Easthill Drive (private drive).

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner's predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Following approval by the Commission, the applicant is responsible for obtaining a sign permit prior to installation for each sign that conforms to the requirements and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed sign package is generally consistent with City Code Section 1129 and resolves identification issues that have been brought forth by the Norwich Township Fire Department. Staff finds that the proposed sign plan while exceeding the size and height limitations of the Code will coordinate many businesses in a manner that will prevent sign clutter and enhance the provision of public safety services. Staff finds that the proposed sign plan, while substantial in the request for off-premises tenant panels, will blend with the general character of the area and will not impact surrounding properties in a negative manner. Staff finds that the proposed sign will meet the spirit and intent of the Code given the unique nature of the properties and their access and based on these findings recommends approval with the following seven conditions:

- 1) That no tenants/parcels on the proposed panels are permitted additional ground signage as part of this comprehensive sign plan;
- 2) That the sign be either externally lit or non-illuminated to comply with Code requirements;
- 3) That any future modifications to the proposed multi-tenant sign (other than tenant panel changes) be brought back to the Commission for further consideration; and
- 4) That a sign permit be obtained prior to installation.
- 5) That a detailed floor plan with clearly identified tenant spaces be provided;
- 6) That a zoning certificate and sign permit be obtained for each business; and
- 7) That businesses are permitted no more than one panel on the approved sign.

CONSIDERATIONS:

- *Sign Placement.* The proposed monument sign will be located 20 feet off the Lacon Road right-of-way and meets minimum setback requirements. Within the M-1 zoning district there are no required side setbacks for signage unless the property is adjacent to a residential use. Staff recommends that the sign be placed at least 5 feet from the side property line to accommodate required landscaping surrounding the sign. The monument sign will identify thirteen different tenants that are accessed from the private drive (Easthill Drive). Staff recommends that prohibitions for off-premises signage be waived in this unique case to assist in address identification for emergency services.
- *Sign Height.* Code limits monument signs to a maximum of seven feet from grade. Because of the significant number of tenants being requested, the proposed 10-foot-tall sign would exceed the Code by three feet.
- *Size.* The monument sign includes a 24-inch brick base and will include an overall sign face that will be 110 inches by 96 inches tall. The overall area of the sign face is 73.33 square feet, which exceeds the Code maximum of 50 square feet.

- *Lighting.* No lighting has been indicated for the proposed signage. Staff recommends that Code requirements are met for lighting.

[END OF REPORT | PZ-22-61]

The Commission had no questions for staff.

Present for the applicant was Jim McFarland with Zoningresources.com. Mr. Muether asked if Mr. McFarland was familiar with the seven conditions. Mr. McFarland asked for some clarification as to the type of zoning certificate and what type of sign permit is needed by each business.

Mr. Combs clarified that each individual business was required to have a zoning certificate for a change of use prior to operation. He explained that the fee is \$100. He clarified that regardless of the sign and the individual tenant panels, that every business should have one and that it will be addressed by Zoning Enforcement.

Mr. Talentino discuss the sign permit and that there would be one original permit for the sign and its tenant panels. If one of the panels are changed out in the future following initial installation, each business would be responsible for a separate sign permit for that new panel. He clarified that every sign permit requires an approved zoning certificate to be able to grant the sign permit. Mr. Talentino noted that in working with the fire department staff became aware of the issue that there are problems with locating the tenants.

Mr. McFarland asked if there were any current violations with the tenants. Mr. Talentino noted that he was not aware of any pending violations. He also noted that the city has changed software recently and that the City would honor any original certificates if the owner has a copy. Mr. Talentino clarified that the permit fee would be \$150 for the new construction and that any future tenant change would be \$100 per panel. He noted that tenants are also allowed to have a wall sign and would need to have appropriate addressing for safety services.

Mr. McFarland inquired about the floor plan as a condition; Mr. Talentino noted that the floor plan is the only way to determine parking requirements and to see if any modifications have been made inside the building that require review. He also explained that dimensions and placement of the tenant space is necessary to calculate sign area.

Mr. McFarland asked if the sign could be increased if additional tenants are identified. Mr. Talentino confirmed that the Commission would need to approve any size increase and that the panels could also be adjusted to accommodate more tenants.

Mr. Gutknecht inquired if we should add the word “future” on condition number six. Mr. Talentino noted that the condition addresses future tenants and that each original tenant would be covered under the original permit.

Chairman Muether, seconded by Mr. Uttley, made a motion to approve with the following seven conditions:

- 1) That no tenants/parcels on the proposed panels are permitted additional ground signage as part of this comprehensive sign plan;
- 2) That the sign be either externally lit or non-illuminated to comply with Code requirements;
- 3) That any future modifications to the proposed multi-tenant sign (other than tenant panel changes) be brought back to the Commission for further consideration; and
- 4) That a sign permit be obtained prior to installation.
- 5) That a detailed floor plan with clearly identified tenant spaces be provided;
- 6) That a zoning certificate and sign permit be obtained for each business; and
- 7) That businesses are permitted no more than one panel on the approved sign.

Status:	Approved (6-0) with seven conditions.
Mover:	Chairman Jay Muether
Seconder:	Mr. William Uttley
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Tom Pannett, Chris Lewie, Eric Gutknecht, William Uttley

CASE 4: PZ-22-62 – MILLER PIPELINE – 4990-5320 SCIOTO DARBY ROAD

PARCEL NUMBERS: 050-002800, 050-003002 & 050-002343

APPLICANT: D&D Property Management LLC, 8850 Crawfordsville Road, Indianapolis, IN 46234; Don & Dale Miller, 4990 Scioto Darby Road, Hilliard, OH 43026; c/o Chad Lowe, Miller Pipeline, 5000 Scioto Darby Road, Hilliard, OH 43026.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to reduce the minimum setback for three 18-square-foot ground signs and two flag poles from 15 feet to 0 feet.

[Mr. Combs gave the staff report]

BACKGROUND:

The site includes three parcels located along the northern side of Scioto Darby Road. The properties at 4990-5320 are leased by Miller Pipeline and are located 130 feet southeast of Jill Lane and approximately 350 feet northwest of Reed Point Drive. The site is adjacent to the Luxair Addition subdivision to the northwest, which is zoned R-2, Low/Medium Density Residential District. The rear of the properties is bounded by the Norfolk Southern rail property. Across Scioto Darby Road from the site are homes within the Conklin Subdivision (zoned R-2) and the Nightingale Estates, which is zoned R-3, Moderate Density Residential District. Properties to the southeast of the site on the same side of the road include a range of commercial businesses that are zoned B-2, Community Business District, similar to the parcels included in this proposal. The adjacent site at 4984 Scioto Darby includes multi-tenant uses.

The applicant is requesting a variance to reduce the required setback for signs from 15 feet to zero feet for the installation of three 18-square-foot, two-post signs and two flagpoles

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner’s predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Following approval by the Commission, the applicant is responsible for obtaining a sign permit prior to installation for each sign that conforms to the requirements and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed sign package is generally consistent with City Code Section 1129 as modified based on comments contained within this report. Staff finds that as amended, the proposed sign plan will blend with the general character of the area and will not substantially impact surrounding property owners. Staff finds that the proposed signage may meet the spirit and intent of the Code as modified and based on these findings, recommends approval with the following four conditions:

- 1) That a zero setback for flag poles be approved contingent upon the applicant/property owner being responsible for any damages to and/or costs incurred to flag poles as a result of utility or infrastructure work within the public right-of-way;
- 2) That the proposal be limited to two (2) signs that are placed a minimum of five feet from the right-of-way;
- 3) That any future increase in sign size, height or change in sign type be brought back to the Commission for additional review; and
- 4) That sign permits be obtained for each sign prior to installation.

CONSIDERATIONS:

- *Site Characteristics.* The site includes three curb cuts onto Scioto Darby Road - one for each of the three parcels. The right-of-way along Scioto Darby is 80 feet in width (± 40 feet from centerline). Signage is required by Code to be placed a minimum of 15 feet from the edge of the right-of-way (± 55 feet from centerline). The applicant has indicated visibility problems for delivery trucks and is requesting variances to the required setbacks to alleviate on-site circulation problems with deliveries.
- *Code Enforcement.* The proposed signs were originally placed within the public right-of-way without authorization or an approved sign permit. Upon notification by Code Enforcement, the applicant removed the signs and submitted a variance application for the proposed signs.
- *Flag Poles.* Upon reviewing the sign application, it was determined that the existing flag poles are also located within the public right-of-way and must be removed. The flag poles are proposed to be moved straight back toward the parking lot to be relocated just outside of the right-of-way in order to still utilize existing uplighting without impacting the parking lot. Staff recommends that the setback reduction be permitted with the condition that the applicant waive municipal/utility company responsibility for any costs associated with relocation and/or damage incurred due to work within the right-of-way.
- *Proposed Sign Package.* The applicant is requesting a total of three sign locations that would be placed at the right-of-way line (zero-foot setback). The signs include a two-post design with a sign face that is 18 square feet in area (3' x 6'). Staff finds that given the nature of the requested variance, there is no need for the equivalent of three business identification signs and recommends that the sign proposal be limited to two signs placed a minimum of five feet from the right-of-way. Staff also recommends that limitations should be established so that any sign change that increases overall size or changes the type of sign be brought back to the Commission for additional consideration in light of the variances.

[END OF REPORT | PZ-22-62]

Status:	Motion to postpone approved (6-0).
Mover:	Mr. William Uttley
Seconder:	Mr. Chris Lewie
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Chris Lewie, Tom Pannett, Eric Gutknecht, William Uttley.

CASE 5: PZ-22-63 – ECO PARK – 3401 MILL RUN DRIVE

PARCEL NUMBER: 050-006467

APPLICANT: Entrotech 3401 LLC, 1245 Kinnear Road, Columbus, OH 43212; c/o Leland Vogel, Como Development, 5405 Red Bank Road, Galena, OH 43021.

REQUEST: Review and approval of a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Mill Run PUD Concept Plan for a 15,000-square-foot addition to the existing building, a new 36,000-square-foot building and a 0.36-acre fenced outdoor storage area.

[Mr. Combs gave the staff report]

BACKGROUND:

The site is 10.17 acres located on the southwest side of Mill Run Drive within the Mill Run PUD. To the south and east of the site are the Players Club at 3333 Mill Meadow Drive and the Mill Run Rehabilitation Center at 3399 Mill Run Drive. North of the site is the office building at One Mill Run, and across Mill Run Drive is the Upper Arlington Lutheran Church. All properties are located within the Mill Run PUD. The site also backs up to I-270 and the CSX railroad line where it crosses I-270. The future Amazon Data Center complex on Scioto Darby Road is located on the opposite side of the interstate.

City Council passed Ordinance 85-43 in 1985 to establish the Mill Run PUD, which covers approximately 199 acres on the east side of I-270. On September 8, 1997, Resolution 97-C-32 was adopted by City Council to approve the PUD Development Plan for construction of the two-story office building and parking lot on the site. The Ohio State Medical Association in December 2014 requested a development text modification from the Commission to expand the uses, update parking requirements and to modify building and pavement setbacks for the site. That change was adopted by Council through Resolution 15-R-01 in January 2015 and the text modifications are listed on the PUD Development Plan for the site. Following adoption of the text modifications, the property was sold by OSMA to the current owner, Entrotech in July of 2015.

The applicant is requesting approval of a revised PUD Final Development Plan to expand the existing office building and construct an additional building with parking and related storage area. Following approval by the Commission, the applicant would be able to submit for permits.

COMMISSION ROLE:

The Commission is to review this revised final development plan application for conformance to the PUD provisions of the Zoning Code as outlined in Chapter 1117. Specifically, the Code provides for the granting of final development plan approval under the criteria as outlined by Section 1117.06:

- Whether the proposed development is consistent with the purposes and conditions of the PUD Zoning District;
- Whether the proposal is consistent with the Hilliard Comprehensive Plan and is compatible with existing and potential uses around the property;
- Whether the layout and design is harmonious with the natural character of the surrounding area and site and employs best management practices;
- Whether the proposed project will place undue burden on public facilities and services;
- Whether the PUD will contain uses or conditions that may be injurious to the public health, safety and welfare;
- Whether the proposed development conforms to Code requirements unless specifically modified and approved in accordance with Chapter 1117;
- Whether the final development plan is generally consistent with the approved Concept Plan; and

- Whether the approval will result in a recognizable and substantial benefit to users of the project and the community, which would not otherwise be feasible under conventional zoning districts.

Following approval by the Commission, the applicant can move forward with final engineering and submit for permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed revised final development plan meets the intent of the Mill Run PUD and the adopted zoning text provisions. Staff finds that the proposed development plan preserves and utilizes existing site amenities in a manner that will thoughtfully minimize impacts on adjacent properties and the surrounding area. Staff finds that the proposed development is generally consistent with the intent of the Code and the Comprehensive Plan and as modified herein and based on these findings, recommends approval with the following five conditions:

- 1) That detailed stormwater design be finalized to the satisfaction of the City Engineer;
- 2) That landscape plans are modified as noted in this report to meet provisions of the Code, subject to staff approval;
- 3) That the site plan and be adjusted to include additional parking spaces or that floor plans for the existing office be provided that demonstrate additional spaces are not required;
- 4) That tree survey/tree replacement information be updated to include individual tree information as required by Code; and
- 5) That a revised lighting plan with isocandella measurements be provided that demonstrates Code compliance.

CONSIDERATIONS:

- *Existing Building.* The existing 36,000-square-foot office building includes a predominantly concrete panel finish on the south and west elevations, while the north and east elevation are glass panels. A black block wall is provided around courtyard space that integrates into the front elevation of the building. Visibility of the site from I-270 is limited due to elevation differences and vegetation. The existing building and parking lot are set back significantly from Mill Run Drive.
- *Required Setbacks.* The adopted PUD text for this site requires a 70-foot building setback along I-270, as well as a 50-foot setback from Mill Run Drive and 20 feet along all other property lines. A 20-foot pavement setback is required around the entire perimeter of the site. Proposed improvements comply with these requirements.
- *Architectural Requirements.* The PUD text for 3401 Mill Run Drive requires that “Building architecture shall be consistent with the existing building, and there will be consistent quality of architectural design and use of material on all sides of any building.”
- *Building Addition.* Proposed improvements include a 15,000-square-foot addition to the southern end of the office building. Plans will extend the black brick treatment of the office through the elevations facing toward Mill Run Drive. Primary materials for the addition will be a galvanized metal siding that will blend with the concrete finish of the building. The addition will include two overhead doors facing south and two facing east toward Mill Run Drive. The proposed metal paneling will update the aging appearance of the concrete and glass façade.
- *New Building.* A 36,000-square-foot building is proposed on the eastern edge of the site adjacent to the Mill Run Rehabilitation Center (assisted living facility). The proposed 36,000 square foot building will provide flex space that includes warehouse space with an office component. Proposed architecture will coordinate with the primary building and include a combination of wide-ribbed galvanized metal and a smaller-ribbed charcoal gray metal. Portions of the building finished in the charcoal gray will project 8 inches in front of the galvanized finish to create depth and shadowing. The

shapes, textures and change in elevation are intended to decrease the scale of the building, particularly as it faces the adjacent property. The elevation facing the assisted living facility will also include treatments to mimic windows and include significant landscape screening to augment the already installed mounded and landscaped buffer. The proposed location of the building will screen noise from the service yard, as well as from I-270 for the adjacent property, which has service areas and a rear/emergency entrance facing toward landscape buffering along the property line.

- **Traffic Impacts.** The proposed expansion is expected to generate an additional 34 to 36 vehicles during peak hours and will not have significant impact. This general area of Mill Run was planned to include premium office uses that would have a far greater impact during peak hours. The site is located within the interior of Mill Run Development which has lower traffic counts.
- **Parking.** The existing 36,000-square-foot office building was constructed with 224 parking spaces. The proposed expansion will eliminate 20 spaces but incorporate an additional 78 spaces. Net parking for the site as identified is 182 spaces. Required parking as noted in the table below totals 190 spaces. Paved areas can easily accommodate additional spaces; in addition, this calculation is an estimate of the existing office which could be overestimated due to non-usable area within the building. Staff recommends that additional parking be striped to comply with Code or that detailed floor plans be provided that demonstrate no additional need for parking per Code.

CONSTRUCTION	SIZE	REQD PARKING	# SPACES
Existing Building (36k)	Office 36,000*	1 per 300 sf	120 spaces*
Building Addition (15K)	Storage 15,000 sf	1 per 800 sf	18.75 spaces
New Construction (36K)	Storage 33,000 sf	1 per 800 sf	41.25 spaces
	Office 3,000 sf	1 per 300 sf	10.00 spaces
		Required:	190 spaces*

*assumes that all space in the existing office is Usable Floor Area (UFA) as defined by Code.

- **Stormwater Management.** Basins are proposed along the Mill Run Drive entrance drive and adjacent to the wooded area along the I-270/railroad corridor where outdoor storage is proposed. All final stormwater design will be required to meet the City Engineer’s minimum requirements.
- **Landscaping.** Landscaping for the project is required to comply with Code. The submitted plans are generally consistent with Code and have been reviewed and approved by the City’s arborist. Staff will work with the applicant to finalize detailed spacing and placement of shrubs and trees during the permit process. Staff recommends that additional information regarding the tree survey and replacement be provided to verify Code compliance and that additional landscape areas be provided where necessary around the buildings to meet foundation planting and screening requirements.
- **Signage.** The PUD text for this site requires that signage comply with Code requirements. No signage has been proposed, but any necessary variances would be brought back to the Commission for consideration.
- **Lighting.** Proposed lighting for the project includes cut-off fixtures that will be no more than 20 feet in height. Lighting is generally consistent with Code, and updated lighting plans with isocandella measurements will be required as part of the permit process.
- **Outdoor Storage/Service.** A gravel service yard is proposed along the south side of the project and will be screened by the existing vegetation and elevation change with I-270. The gravel service area is necessary for the loading and unloading of large equipment. The lot will be used for parking vehicles and equipment. Any outdoor storage of materials will require a PUD text modification to be approved by City Council. The service yard will be enclosed by a 6-foot tall chain link fence with black slats that complies with Code. Dumpsters will include a galvanized metal enclosure to match the buildings.

[END OF REPORT | PZ-22-63]

Mr. Muether inquired about condition number three regarding parking and the floor plan. Mr. Combs explained that the applicant adding parking spaces. One bay of parking will be adjusted or removed to accommodate the building addition. He noted that the southern half of the site will include all new parking.

Vice Chair Schneck inquired about the dumpster enclosure, and Mr. Combs clarified that because of the nature of the business greater access to the dumpster by their work trucks is necessary. He said the placement will be in the middle of a large, paved area.

Mr. Lewie inquired about a curb cut off the cul-de-sac for southern access. Mr. Combs stated that it is to help break up trips of cars and service vehicles. He noted that the traffic impact study in the Commission's packet showed little impact and has been approved by Engineering.

Leland Vogel of Como Development spoke on behalf of the applicant and concurred with the conditions noted in the staff report. He explained for Mr. Lewie that they would be renovating the existing building and will be power washing the exterior and repairing windows.

Vice Chair Schneck inquired about the tenant in the building. Ms. Clodfelder clarified that the application was named Eco Park and because the Council agenda had been published she could note for the record that the company is Eco Plumbers.

Vice Chair Schneck, seconded by Chairman Muether, made a motion to approve a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Mill Run PUD Concept Plan for a 15,000-square-foot addition to the existing building, a new 36,000-square-foot building and a 0.36-acre fenced outdoor storage area with the following five conditions:

- 1) That detailed stormwater design be finalized to the satisfaction of the City Engineer;
- 2) That landscape plans are modified as noted in this report to meet provisions of the Code, subject to staff approval;
- 3) That the site plan and be adjusted to include additional parking spaces or that floor plans for the existing office be provided that demonstrate additional spaces are not required;
- 4) That tree survey/tree replacement information be updated to include individual tree information as required by Code; and
- 5) That a revised lighting plan with isocandella measurements be provided that demonstrates Code compliance.

Status:	Approved (6-0) with five conditions.
Mover:	Vice Chair Schneck
Second:	Chairman Muether
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Tom Pannett, Chris Lewie, Eric Gutknecht, William Uttley

CASE 6: PZ-22-64 – TRUEPOINTE – WEST SIDE OF TRUEMAN BOULEVARD APPROXIMATELY 1,500 FEET SOUTH OF DAVIDSON ROAD
PARCEL NUMBER: 050-003043
APPLICANT: Trueman Boulevard LLC, 4653 Trueman Boulevard, Suite 100, Hilliard, OH 43026; c/o Shawn Boysko, Equity Construction Solutions, 4653 Trueman Boulevard, Suite 200, Hilliard, OH 43026.
REQUEST: Review and approval of a PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the SOMA Company PUD Concept Plan for a development consisting of 15 building lots, 359 multi-family dwelling units in 5 buildings, a 6-story parking garage with 616 parking spaces, and a 6-story parking garage with 708 parking spaces on 27.73 acres.

[Mr. Talentino gave the staff report]

BACKGROUND:

The overall site consists of two parcels totaling 27.73 acres located on the west side of Trueman Boulevard approximately 1,500 feet south of Davidson Road. The site has approximately 1,900 feet of frontage on Trueman Boulevard and approximately 2,010 feet of frontage along I-270. On October 26, 1998, City Council approved a rezoning by ordinance (98-36) to create the Soma Company PUD which consists of approximately 146 acres on the east side of I-270 between Davidson Road and Cemetery Road. On August 11, 2022, Council approved a resolution (22-R-58) to modify the Soma Company PUD development text for Subareas 5 and 6 to create a mixed-use development that includes office, commercial, restaurant, hotel, and residential uses on 27.73 acres. The applicant is now requesting a Final Development Plan for a development consisting of 15 building lots, 359 multi-family dwelling units in 5 buildings, a 6-story parking garage with 616 parking spaces, and a 6-story parking garage with 708 parking spaces.

COMMISSION ROLE:

The Commission is to review this final development plan application for conformance to the PUD provisions of the Zoning Code as outlined in Chapter 1117 and to the provisions of the Soma Company PUD Concept Plan. Specifically, the Code provides for the granting of final development plan approval under the criteria as outlined by Section 1117.06:

- Whether the proposed development is consistent with the purposes and conditions of the PUD Zoning District;
- Whether the proposal is consistent with the Hilliard Comprehensive Plan and is compatible with existing and potential uses around the property;
- Whether the layout and design is harmonious with the natural character of the surrounding area and site and employs best management practices;
- Whether the proposed project will place undue burden on public facilities and services;
- Whether the PUD will contain uses or conditions that may be injurious to the public health, safety and welfare;
- Whether the proposed development conforms to Code requirements unless specifically modified and approved in accordance with Chapter 1117;
- Whether the final development plan is generally consistent with the approved Concept Plan; and
- Whether the approval will result in a recognizable and substantial benefit to users of the project and the community, which would not otherwise be feasible under conventional zoning districts.

Following approval by the Commission, the applicant can move forward with final engineering and submit for permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposal, as amended in the conditions listed below, is consistent with the provisions of the Soma Company PUD Concept Plan. Based on this finding, staff recommends approval of the PUD Final Development Plan with the following nine conditions:

- 1) That the PUD Development Text is revised to permit both parking garages to be a maximum of 6 stories in height and to reduce the minimum vehicular use area setback to 0 feet from the north boundary;
- 2) That the graphics on the fiber mesh graphic panels and any signage on the garage buildings are reviewed concurrently for approval by the Planning and Zoning Commission;
- 3) That the signage plans are revised as follows:

- a) Signage on the west sides of the garage buildings shall be architecturally integrated into the building, and aesthetically harmonious with its surroundings consistent with the general objectives of the Graphics and Sign Code;
 - b) Push-thru letters shall extend no farther than ¼-inch from the sign face;
 - c) Eliminate the internally-illuminated band from the vertical blade sign on Building “A”;
- 4) That a fee in lieu of land dedication be provided consistent with the provisions of Code Section 1187.06;
 - 5) That the plans are revised to show the multi-use path will be located along the site perimeter to be counted as a recreational amenity for the overall development;
 - 6) That the plans be revised to show 697 caliper inches of replacement trees will be provided;
 - 7) That building elevation drawings showing all roof top mechanical units will be screened to the full height of the unit consistent with the provisions of the PUD text be submitted with the building permit application;
 - 8) That cross-access easements between the site and the adjacent property to the north are recorded, subject to the approval of the Law Director; and
 - 9) That emergency vehicle access shall meet the requirements of Norwich Township Fire Department.

CONSIDERATIONS:

- The site consists of Soma Company PUD Subarea 5. Permitted uses in Subarea 5 include office, retail, restaurant, residential (a maximum of 367 dwelling units), hotel, parking garages, and outdoor spaces and amenities. Access to the site will be from the three existing access points on Trueman Boulevard, and from an access drive connection from the adjacent property to the north.
- The proposed plan shows 15 building lots for the overall development. A parking garage is shown in the northwest portion of the site, and multi-family residential buildings (including a parking garage) are shown in the southern portion of the site. A multi-use path is proposed to encircle most of the site. It extends from the sidewalk along Trueman Boulevard westward along the northern property boundary to the western edge of the development. The path then travels southward along approximately one half of the I-270 frontage, through the multi-family buildings and eastward to the sidewalk along Trueman Boulevard. **[Staff recommends that the plans be revised to show the multi-use path will be located along the site perimeter to be counted as a recreational amenity for the overall development.]**
- Minimum building setbacks from the overall Subarea 5 boundary are as follows: 0 feet from the north, 5 feet from the south, 40 feet from the east, and 50 feet from the west. The proposed plan conforms to these setbacks. Minimum vehicular use area setbacks from the overall Subarea 5 boundary are as follows: 20 feet from the north, 20 feet from the south, 25 feet from the east, and 60 feet from the west. The proposed plan conforms to these setbacks except for 8 parking spaces located immediately west of the access drive connection to the adjacent property to the north. **[Staff recommends that the PUD text be revised to reduce the minimum setback for these parking spaces.]**

Multi-family Dwellings:

- Plans show a total of 359 dwelling units in 5 buildings. The plan features Building “A” which is 5 stories in height, has 215 dwelling units and is connected to the South Parking Garage (Building “C”). Building “A” is approximately 63 feet in height at the highest point which is less than the maximum 75-foot height permitted in the text. Building “A” features a communal courtyard area with an outdoor pool and has 28 studio dwelling units, 100 one-bedroom dwelling units, 79 two-bedroom dwelling units, and 8 three-bedroom dwelling units. Four buildings are identified as Building “B” which are 3 stories in height and have 36 dwelling units each. Building “B” is approximately 35 feet in height at the highest point which is less than the maximum 60-foot height permitted in the text. Each Building “B” has 6 studio dwelling units, 18 one-bedroom dwelling units, and 12 two-bedroom dwelling units. The maximum total impervious coverage permitted per the text is 80 percent. A trash enclosure area is proposed in the

southwestern portion of the site. The text requires trash receptacles to be screened from view on three sides by a solid masonry or wood framed wall (not concrete block) compatible with building materials on 3 sides and a metal or wood gate on the fourth side. **[Staff recommends that the plans be revised to specify the total impervious coverage.]**

- **Required parking** for the multi-family dwellings is 628 parking spaces based on 1.75 spaces per dwelling unit. The proposed plan shows 670 residential parking spaces including 230 uncovered surface parking spaces, 215 parking spaces within the south garage, 95 shared uncovered surface parking spaces, and 130 shared parking spaces within the south garage. Proposed two-way parking aisles are not less than 24 feet in width consistent with the Code. Parking spaces all meet the required minimum 9-foot width and 18-foot length.
- **Park land fee in lieu of land dedication:** Section 1187.06(c) of the Zoning Code requires land dedication for recreational facilities in the amount of 10 acres per 1,000 residents anticipated in the proposed development. A fee in lieu of land dedication for the purpose of providing park and recreation facilities to serve the future residents may be authorized by the City. Based on 152 one-bedroom (or studio) dwelling units, 91 two-bedroom dwelling units, and 8 three-bedroom dwelling units, and one person per bedroom, required park land dedication would be 5.02 acres. The fee in lieu of land dedication would be 5.02 acres multiplied by the appraised per acre value of the land to be developed.
- **Architecture:** The PUD Development Text specifies architectural standards for residential buildings and includes conceptual renderings to show examples of the quality of design and exterior materials. The proposed plans are consistent with the standards in the PUD Development Text. Roof top mechanical units are not shown and must be screened to their full height consistent with the text requirements. **[Staff recommends that building elevation drawings showing all roof top mechanical units will be screened to the full height of the unit consistent with the provisions of the PUD text be submitted with the building permit application.]**
- Exterior elevations consist of a combination of red brick (Glen Gery “Monticello”), tan brick (Belden “Dutch Gray Velour”), cast stone (Custom Cast Stone “Sandstone”), metal panel (Sobotec Alucobond “Anodic Clear Mica”) fiber cement panel lap siding (HardiePlank “Night Gray”, “Pearly Gray”, “Sherwin Williams 7007 “Ceiling Bright White”, and Sherwin Williams 7069 “Iron Ore”), dark gray and light gray metal coping (Dimensional Metals, Inc. “Metallic Silver”, “Charcoal Gray”, and “Slate Gray”), black aluminum store front framing, and black and white windows.

North & South Parking Garages:

- The PUD Development Text requires commercial building design and materials to be consistent and compatible with the buildings along the I-270 outer belt between Cemetery Road and Sawmill Road. The plans show a 6-story, 241,552-square-foot north garage building with 708 parking spaces, and a 6-story, 205,206-square-foot south garage building with 616 parking spaces. **[The text specifies a maximum height of five stories. Staff recommends that the text be revised to permit the six stories.]**
- Building elevations indicate the predominant exterior material will be precast concrete. Fiber mesh graphic panels will be featured along the length of each elevation with a consistent rhythm that gives a complimentary appearance to the office and residential buildings. The panels are to help conceal vehicles from view and to de-emphasize the scale of the garage buildings so that they become secondary to the office buildings along the freeway. The graphics that will be applied to the panels have not been finalized. **[Staff recommends that the graphics be provided for review and approval by the Planning and Zoning Commission.]**

Landscaping:

- The proposed landscape plans show that 90 existing trees totaling 1,750 caliper inches will be removed from the site. Replacement trees for the overall site must be not less than 697 caliper inches as required per Code; however, the plans indicate that only 438 caliper inches of replacement trees will be provided.

[Staff recommends that the plans be revised to show 697 caliper inches of replacement trees will be provided.] The plans specify 244 caliper inches of trees will be planted based on 243,660 square feet of surface covered by structure, consistent with the provisions of the Zoning Code.

Site Lighting:

- The proposed plans conform to the provisions of the Zoning Code and the Hilliard Design Manual concerning light trespass. The PUD Development Text requires lighting fixtures to be cut-off type and not more than 25 feet in height. Light poles and standards shall be either black or dark bronze in color.

Proposed Signage:

- Proposed signage for the development includes the following:
 - 1) ID-01: 12-foot-tall, 84-square-foot (7.9'x10.6') ground sign with halo illuminated letters located at the main entrance into the site near the midpoint of the Trueman Boulevard frontage and not less than 15 feet from the Trueman Boulevard right-of-way line. The sign features a two-foot-tall base, "Truepointe" in text, and 5 tenant panels.
 - 2) ID-02: 7-foot-tall, 50-square-foot ground sign with halo-illuminated letters located at the site's northern entrance and not less than 15 feet from the Trueman Boulevard right-of-way line. The sign features a two-foot-tall base and the company name.
 - 3) ID-03: 7-foot-tall, 50-square-foot ground sign with halo-illuminated letters located at the site's southern entrance and not less than 15 feet from the Trueman Boulevard right-of-way line. The sign features a two-foot-tall base and the True Lofts name.
 - 4) RE-01: 12-square-foot, halo-illuminated wall sign on the west elevation of the southernmost residential building. It features "Truepointe Lofts" in text. **This sign appears to be larger than 12 square feet and staff recommends that the size be confirmed.**
 - 5) RE-02: 140-square-foot, 3-sided vertical blade sign located on the east elevation of Building "A". The sign features push-thru letters with opaque faces on the north and south sides, and an internally-illuminated white band on the east side. The Sign Code permits push-thru letters to extend ¼-inch from the sign face. **The proposed push-thru letters extend ¾-inch from the sign face and must be revised to meet the Sign Code. The proposed internally-illuminated band is not permitted per Code and must be revised accordingly.**
 - 6) RE-03: 1-square-foot, halo-illuminated wall sign located on the east elevation of Building "A" over the entrance door. The sign features "Truepointe Lofts" in text. **This sign appears to be larger than 1 square foot and staff recommends that the size be confirmed.**
 - 7) DV-01: 2,125-square-foot, internally-illuminated wall sign on the west elevation of the south parking garage. The sign features "Truepointe the Residences" in channel letters. **[Staff finds that this sign gives the appearance of a billboard sign instead of a sign that is architecturally integrated into the building. Staff recommends that this sign be revised to be consistent with the objectives of the Graphics and Sign Code.]**
 - 8) FG-01: Two wall signs totaling 4,500 square feet located on the west side of the north garage building. **[Staff finds that this sign gives the appearance of a billboard sign instead of a sign that is architecturally integrated into the building. Staff recommends that this sign be revised to be consistent with the objectives of the Graphics and Sign Code.]**
 - 9) Tenant signage for individual buildings and commercial tenants will have sizes equal to one square foot of sign area for each linear foot of building/tenant space frontage. Each sign will conform to the Sign Code concerning illumination unless otherwise approved by the Planning and Zoning Commission.
 - 10) Directional signage is shown in various locations throughout the site. These signs will be externally illuminated. The Sign Code permits directional signage to be a maximum of 3 feet in

height and a maximum of 2 square feet in size. Details concerning directional sign height and size have not been provided.

[END OF REPORT | PZ-22-64]

During the presentation Mr. Talentino corrected the caliper inches of tree replacement from 875 to 697, which follows the PUD text. He clarified for Mr. Uttley that the signage has a commercial purpose and provided a description. Mr. Uttley recommended that the Hilliard Arts Commission be involved in the design of the parking garage graphics as a unique opportunity for the community.

Mr. Pannett asked for clarification of the 697 caliper inches; Mr. Talentino confirmed that the number is the minimum number of inches that must be replaced. Mr. Talentino also explained the shared parking provision between the residential units, office building and other public areas (particularly with the garages) allows for more greenspace within the overall plan that are distributed throughout as small spaces. He noted that part of the greenspace provided includes the utility easement along I-270 and the setback along Trueman Boulevard.

Vice Chair Schneck inquired about how parking would be differentiated between residential and commercial uses. Mr. Boysko, representing the applicant, indicated that there is not a plan in place at this time, but the upper two levels of the south parking garage will include 215 spaces for the attached multi-family units. Both garages are intended to be public parking otherwise.

Mr. Lewie inquired if there were any elevated walkways. He also noted that with the size of the buildings and signs, it would be a unique opportunity for Central Ohio and to work with the Arts Council on them.

Mr. Talentino clarified that there are surface sidewalk connections but not any raised/elevated connections. He said that staff is willing to work with anyone who is interested. [Vice Chair Schneck noted that on the record.]

Representatives for the applicant were introduced as Shawn Boysko with Equity Construction Solutions (ECS), Ellen Puckett with MKSK Landscape, John Iman with MA Design responsible for Architecture, Kyle Weber with Kleingers Group as the Civil Engineer, Dave Jones President of ECS and others.

Mr. Uttley inquired if they would be willing to work with the Arts Council. Mr. Boysko responded that there are five acres of park area within the development that will provide the opportunity for public art. The panels on the garages are going to be branded to the particular tenants of the office. Mr. Boysko indicated that they are a larger entity with strong opinions about the branding of the signage. He indicated the company is someone regionally and you'll recognize it when you see them.

Mr. Boysko stated that they are removing 90 trees and replacing them with 500 to reforest the property as much as possible. He explained that there are no trees along Trueman Boulevard because of an easement. He said that the applicant is looking for approval of the fiber mesh panels and the size and lettering of the sign panels. He noted that the applicant will come back once they can provide the branding. He wanted feedback on the location of the sign panels and explained that the fabric panels need to be subdued to allow the sign panels to have greater visibility. He stated for Vice Chair Schneck that the signs are illuminated and that there are different options for the light source.

Mr. Gutknecht, seconded by Mr. Lewie, made a motion to approve the PUD Final Development Plan with the following nine conditions:

- 1) That the PUD Development Text is revised to permit both parking garages to be a maximum of 6 stories in height and to reduce the minimum vehicular use area setback to 0 feet from the north boundary;
- 2) That the graphics on the fiber mesh graphic panels and any signage on the garage buildings are reviewed concurrently for approval by the Planning and Zoning Commission;

- 3) That the signage plans are revised as follows:
 - a. Signage on the west sides of the garage buildings shall be architecturally integrated into the building, and aesthetically harmonious with its surroundings consistent with the general objectives of the Graphics and Sign Code;
 - b. Push-thru letters shall extend no farther than ¼-inch from the sign face;
 - c. Eliminate the internally-illuminated band from the vertical blade sign on Building “A”;
- 4) That a fee in lieu of land dedication be provided consistent with the provisions of Code Section 1187.06;
- 5) That the plans are revised to show the multi-use path will be located along the site perimeter to be counted as a recreational amenity for the overall development;
- 6) That the plans be revised to show 697 caliper inches of replacement trees will be provided;
- 7) That building elevation drawings showing all roof top mechanical units will be screened to the full height of the unit consistent with the provisions of the PUD text be submitted with the building permit application;
- 8) That cross-access easements between the site and the adjacent property to the north are recorded, subject to the approval of the Law Director; and
- 9) That emergency vehicle access shall meet the requirements of Norwich Township Fire Department.

Status:	Approved (6-0) with nine conditions.
Mover:	Mr. Eric Gutknecht
Seconder:	Mr. Chris Lewie
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Chris Lewie, Tom Pannett, Eric Gutknecht, William Uttley.

CASE 7: PZ-22-65 – THE PAINT SHOP NAIL STUDIO – 4227 AVERY ROAD, SUITE A

PARCEL NUMBER: 050-000950

APPLICANT: SOI Properties #7, LLC. 4673 Cranleigh Court, Dublin, OH 43016; represented by Rachel Shadwick, 1515 County Road 61, Caledonia, OH 43314; and Fast Signs of Pickerington-Reynoldsburg, 201 Clint Drive, Suite 500, Pickerington, OH 43147.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to increase the permitted number of colors for a 24-square-foot tenant sign panel.

[Mr. Combs gave the staff report]

BACKGROUND:

The site is located on a 0.368-acre parcel that is part of a 0.86-acre gas station located at the southwest corner of Avery Road and Dexter Avenue 80 feet north of Northwest Parkway. The property is zoned B-1, Neighborhood Business District and includes a Circle K gas station and convenience store and two additional tenant spaces within the ±7,250-square foot building. The additional tenant space includes a Century 21 real estate office and the former space of the Faith Driving School. Properties directly to the west are also zoned B-1 and include Ohio State Bookkeeping and One Call Lawn Care. To the north and west are residential properties zoned R-2, Low/Medium Density Residential District as part of the Avery Subdivision. R-2 properties to the south are residences that are part of the Morningside Addition subdivision, and those across Avery Road to the east are also zoned R-2 and include single-lot residences and the Hilliard Church of Christ.

The applicant is requesting a variance to increase the limit of four colors to install a 24-square foot wall sign panel above the southern building entrance at 4227 Avery Road.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner's predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Following approval by the Commission, the applicant is responsible for obtaining a sign permit prior to installation that conforms to the requirements and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed sign as requested is generally consistent with the spirit and intent of the Code and will blend with the general character of the surrounding area. Staff finds that the proposed sign variance is not substantial and will not be detrimental to surrounding property owners. Based on these findings, staff recommends approval with the following four conditions:

- 1) That the increase in colors pertain only to this proposed tenant and that any change be brought back to the Commission for consideration;
- 2) That the applicant obtains all necessary building permits for the tenant retrofit;
- 3) That a zoning certificate be obtained prior to operation of the proposed use; and
- 4) That a sign permit be obtained prior to installation of the proposed signage.

CONSIDERATIONS:

- *Sign Placement.* The proposed sign panel will be placed above the southern entrance to the tenant suites within the building. Configuration for the building includes two 4'x6' panels (24 square feet each) symmetrically placed above the entrance. The proposed sign will replace the existing Faith Driving School panel and will utilize existing external illumination..
- *Colors.* Code limits the number of colors on signs to a maximum of four. The logo of the business proposed for this location includes paint splotches that have varying gradations of five colors. Strictly limiting the colors would significantly impact the design intent of the logo. Given the location and limited visibility of the proposed sign, staff recommends that the variance be allowed in this instance.

[END OF REPORT | PZ-22-65]

Vice Chair Schneck asked about illumination, and Mr. Combs indicated that there is existing illumination that would be the same as the neighboring Century 21 sign. He noted that the request is for this sign only and that staff recommends that the color variance is not applicable to future panels.

Chairman Muether, seconded by Mr. Uttley, made a motion to approve with the following four conditions:

- 1) That the increase in colors pertain only to this proposed tenant and that any change be brought back to the Commission for consideration;

- 2) That the applicant obtains all necessary building permits for the tenant retrofit;
- 3) That a zoning certificate be obtained prior to operation of the proposed use; and
- 4) That a sign permit be obtained prior to installation of the proposed signage.

Status:	Approved (6-0) with four conditions.
Mover:	Chairman Muether
Seconder:	Mr. Tom Pannett
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Chris Lewie, Tom Pannett, Eric Gutknecht, William Uttley.

DISCUSSION ITEMS / COMMITTEE COMMUNICATIONS

Councilwoman Hale explained to the Commission that Council looked at compensation for boards and commissions and that there are discrepancies between who is paid and who is not as well as looking at how other municipalities compensate their boards. She noted that Council had decided to end salaries for boards and commissions in June 2023.

Mr. Lewie noted that based on the importance of the Commission there should be some compensation. He voiced concern for the quality of members and urged that at least training and other support and resources are offered.

Mr. Uttley pointed out the professionalism of the Commission and that compensation should be measurable to the amount of time that is involved. He noted that there was a formula that was used to determine salaries and that many other committees were rolled into the job of the Commission. He noted that members spend personal time to drive and look at the applications and they take the job very seriously. He noted that Council has the authority to take on more responsibility, but cautioned about what impact that will have on the Commission.

Mr. Pannett asked if there were only certain commissions that are created by statute. Ms. Clodfelder explained that the Planning and Zoning Commission is the only board that is in the Charter. Everything else is within the Codified Ordinances. She said the Board of Zoning Appeals is statutory, so the Planning and Zoning Commission and the Board of Zoning Appeals are the only two in the Ohio Revised Code.

Chairman Muether noted that he was hearing this for the first time and questions how Council values the Commission; Mr. Schneck noted that Council had not yet approved the budget.

Mr. Pannett commented that because he serves on the Commission, it impacts his PERS medical funds in his retirement; Mr. Lewie also noted that the Commission has never asked for an increase. He reiterated that he has urged for training opportunities that have been ignored. He cautioned that there are six of seven Commission members whose terms are up next year. Closing the discussion, Ms. Hale thanked the Commission and urged the members to email her with additional comments and suggestions.

ADJOURNMENT – 9:08 PM

With no additional business, Chairman Muether (seconded by Vice Chair Schneck) motioned to adjourn at 9:08 p.m.

CERTIFICATION:

Carson Combs, Planning Manager
December 9, 2022

[END OF MINUTES | November 10, 2022]

STAFF REPORT



Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube

Thursday, December 8, 2022 | 7:00 pm

CASE 1: PZ-22-62 – MILLER PIPELINE – 4990-5320 SCIOTO DARBY ROAD

PARCEL NUMBERS: 050-002800, 050-003002 & 050-002343

APPLICANT: D&D Property Management LLC, 8850 Crawfordsville Road, Indianapolis, IN 46234; Don & Dale Miller, 4990 Scioto Darby Road, Hilliard, OH 43026; c/o Chad Lowe, Miller Pipeline, 5000 Scioto Darby Road, Hilliard, OH 43026.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to reduce the minimum setback for three 18-square-foot ground signs and two flag poles from 15 feet to 0 feet.

BACKGROUND:

The site includes three parcels located along the northern side of Scioto Darby Road. The properties at 4990-5320 are leased by Miller Pipeline and are located 130 feet southeast of Jill Lane and approximately 350 feet northwest of Reed Point Drive. The site is adjacent to the Luxair Addition subdivision to the northwest, which is zoned R-2, Low/Medium Density Residential District. The rear of the properties is bounded by the Norfolk Southern rail property. Across Scioto Darby Road from the site are homes within the Conklin Subdivision (zoned R-2) and the Nightingale Estates, which is zoned R-3, Moderate Density Residential District. Properties to the southeast of the site on the same side of the road include a range of commercial businesses that are zoned B-2, Community Business District, similar to the site. The adjacent property at 4984 Scioto Darby includes multi-tenant uses.

The applicant is requesting a variance to reduce the required setback for signs from 15 feet to zero feet for the installation of three 18-square-foot, two-post signs and two flagpoles

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner's predicament feasibly can be obviated through some method other than variance; and

- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Following approval by the Commission, the applicant is responsible for obtaining a sign permit prior to installation for each sign that conforms to the requirements and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed sign package is generally consistent with City Code Section 1129 as modified based on comments contained within this report. Staff finds that as amended, the proposed sign plan will blend with the general character of the area and will not substantially impact surrounding property owners. Staff finds that the proposed signage will meet the spirit and intent of the Code as modified and based on these findings, recommends approval with the following four conditions:

- 1) That a zero setback for flag poles be approved contingent upon the applicant/property owner being responsible for any damages to and/or costs incurred to flag poles as a result of utility or infrastructure work within the public right-of-way;
- 2) That the proposal be limited to two signs that are placed a minimum of five feet from the right-of-way;
- 3) That any future increase in sign size, height or change in sign type be brought back to the Commission for additional review; and
- 4) That sign permits be obtained for each sign prior to installation.

CONSIDERATIONS:

- *Site Characteristics.* The site includes three curb cuts onto Scioto Darby Road - one for each of the three parcels. The right-of-way along Scioto Darby is 80 feet in width (± 40 feet from centerline). Signage is required by Code to be placed a minimum of 15 feet from the edge of the right-of-way (± 55 feet from centerline). The applicant has indicated visibility problems for delivery trucks and is requesting variances to the required setbacks to alleviate on-site circulation problems with deliveries.
- *Code Enforcement.* The proposed signs were originally placed within the public right-of-way without authorization or an approved sign permit. Upon notification by Code Enforcement, the applicant removed the signs and submitted a variance application for the proposed signs.
- *Flag Poles.* Upon reviewing the sign application, staff determined that the existing flag poles are also located within the public right-of-way and must be removed. The flag poles are proposed to be moved straight back toward the parking lot to be relocated just outside of the right-of-way to continue utilizing existing ground lighting without impacting the parking lot. Staff recommends that the setback reduction be permitted with the condition that the applicant waive municipal/utility company responsibility for any costs associated with relocation and/or damage incurred due to work within the right-of-way.
- *Proposed Sign Package.* The applicant is requesting a total of three sign locations that would be placed at the right-of-way line (zero-foot setback). The signs include a two-post design with a sign face that is 18 square feet in area ($3' \times 6'$). Staff finds that given the nature of the requested variance, there is no need for the equivalent of three business identification signs and recommends that the sign proposal be limited to two signs placed a minimum of five feet from the right-of-way. Staff also recommends that limitations should be established so that any sign change that increases overall size or changes the type of sign be brought back to the Commission for additional consideration in light of the variances. There is no landscaping proposed for the signage.

[END OF REPORT | PZ-22-62]



4990 Scioto Darby Rd.



1" = 109.61'

5000 Scioto Darby Rd



5032 Scioto Darby Rd



1" = 105.65'



**MILLER
PIPELINE**

ENTRANCE

ARTERA

6'

3'

1'



CASE 2: PZ-22-43 – COLORADO MOUNTAIN SPORTS – 4445 CEMETERY ROAD

PARCEL NUMBER: 050-002824

APPLICANT: Cemetery Rd Holdings LLC, c/o Eric Bahgat, 4445 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of a PUD Final Development Plan modification under the provisions of the Cemetery Road Properties Located Between Leap & Lacon Roads PUD Concept Plan and Text for a two-story, 3,240-square-foot building addition on 0.44-acre.

BACKGROUND:

The site consists of approximately 0.44-acre located at the southwest corner of Cemetery Road and Lacon Road and includes Lot 230 and Lot 231 of the original Easthill Acres subdivision plat. Both lots were combined within the last two years. The site has an existing 3,861-square-foot retail building, which Franklin County Auditor records indicate was constructed in 1980. To the west are commercial properties and to the south are single-family residences all zoned PUD as part of the “Cemetery Road Properties Located Between Leap & Lacon Roads” Concept Plan. To the east, across Lacon Road, are commercial properties zoned M-1, Restricted Industrial District. To the north across Cemetery Road is a church zoned B-3, Office/Institutional District, and additional commercial properties zoned B-2, Community Business District. City Council recently adopted Ordinance 22-31 (effective November 26, 2022) to rezone the northern half of the site from B-1, Neighborhood business District to PUD, Planned Unit Development District. City Council also adopted Resolution 22-R-97 on November 28, 2022, approving PUD text modifications for setbacks and other related standards that were recommended by the Commission in August 2022.

The applicant is now requesting approval of a PUD Final Development Plan modification to permit a 2-story, 3,240-square-foot addition to the existing Colorado Mountain Sports building.

COMMISSION ROLE:

The Commission is to review the proposed PUD Final Development Plan modification for conformance to the provisions of the “Cemetery Road Properties Located Between Leap & Lacon Roads” PUD Concept Plan. The Commission is also to review this final development plan modification for conformance to the PUD provisions of the Zoning Code as outlined in the PUD provisions of Chapter 1117. Specifically, the Code provides for the granting of final development plan approval under the criteria as outlined by Section 1117.06:

- Whether the proposed development is consistent with the purposes and conditions of the PUD Zoning District;
- Whether the proposal is consistent with the Hilliard Comprehensive Plan and is compatible with existing and potential uses around the property;
- Whether the layout and design is harmonious with the natural character of the surrounding area and site and employs best management practices;
- Whether the proposed project will place undue burden on public facilities and services;
- Whether the PUD will contain uses or conditions that may be injurious to the public health, safety and welfare;
- Whether the proposed development conforms to Code requirements unless specifically modified and approved in accordance with Chapter 1117;
- Whether the final development plan is generally consistent with the approved Concept Plan; and
- Whether the approval will result in a recognizable and substantial benefit to users of the project and the community, which would not otherwise be feasible under conventional zoning districts.

Following approval by the Commission, the applicant can move forward with final engineering and submit for permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed PUD Final Development Plan modification, as amended in the conditions listed below, is consistent with the approved PUD Concept Plan. Staff finds that such modification is not in conflict with the general health, safety, and welfare of the public. Based on these findings, staff recommends approval of the proposed PUD Final Development Plan modification with the following eight conditions:

- 1) That an additional 10 feet of right-of-way along Cemetery Road is dedicated to the City consistent with the Hilliard Thoroughfare Plan and that parking pavement within the dedicated right-of-way be removed subject to approval of the City Engineer;
- 2) That a variance for the proposed employee parking spaces is obtained by the Board of Zoning Appeals;
- 3) That all building plans be revised to comply with applicable Building and Fire Code requirements;
- 4) That all plans be updated to comply with the City's regulations for stormwater management to the satisfaction of the City Engineer;
- 5) That the site plan be revised to include required landscaping per Code;
- 6) That the southern drive approach be limited to 14 feet in width;
- 7) That an additional shutter and horizontal trim board be provided on all elevations of the addition that have a stucco finish, subject to staff approval; and
- 8) That a building permit is obtained prior to construction.

CONSIDERATIONS:

- The site has approximately 62 feet of frontage along Cemetery Road, and approximately 180 feet of frontage along Lacon Road. The existing building has an access point on Cemetery Road and a second on Lacon Road (both at the intersection). A third curb cut is located along Lacon Road near the southern property line and is the former access for a residence that was demolished.
- The Franklin County Recorder's Office notes that in 2017, the City acquired a sliver of additional right-of-way at the corner of Cemetery Road and Lacon Road for street improvements associated with the intersection. The deed was transferred on December 7, 2017. Additional right-of-way along Cemetery Road consistent with the Thoroughfare Plan was not acquired in 2017 due to the timing of the public improvements.

Thoroughfare Plan

- The Thoroughfare Plan identifies Cemetery Road between Leap Road and Britton Parkway as a Major Arterial (four-lane roadway with 2 through lanes in each direction and either a center left-turn lane or separate left-turn lanes at driveways and intersections) with a minimum 100-foot-wide right-of-way. The site has 40 feet of right-of-way from centerline along its Cemetery Road frontage. **An additional 10 feet of right-of-way along Cemetery Road is needed to conform to the Thoroughfare Plan and should be provided as part of the site development. The parking space within the dedication should be removed as part of the proposed expansion.**

Comprehensive Plan

- The Comprehensive Plan recommends the site for Neighborhood Retail uses as a small-scale commercial mixed-use center intended to serve the daily needs of residents and employment centers with a mile radius. The maximum recommended tenant size is 20,000 square feet. Second or third floor uses may include retail, commercial, or residential uses. Parking shall be to the side or rear of the development, and excellent ped/bike access should be provided to all surrounding uses. These retail developments

should have a distinct street presence and highly attractive and memorable architecture. Public space and landmarks such as a plaza, small green, fountain, esplanade, or even a clock tower should be included in the development to provide places for area residents to gather and socialize, and to define the character of the development.

PUD Development Text

- The approved *Cemetery Road Properties Located Between Leap and Lacon Roads* PUD text lists the following permitted uses: retail, personal services, business services, offices and banks, non-fast-food restaurants, gas stations and childcare. The proposed retail use is consistent with the text.
- The approved PUD text specifies minimum building setbacks for a commercial use fronting onto Lacon Road, and the proposed plan meets requirements:

BUILDING SETBACK	DISTANCE
Front (Cemetery Road)	50 feet
Front (Lacon Road)	20 feet
Side	10 feet
Rear	10 feet

Proposed PUD Final Development Plan

- The proposed plans show a 3,240-square-foot addition to the rear of the building. The plans show a one-way access drive along the east side of the building with egress onto Lacon Road at the south end of the site. **Staff recommends that the southern drive approach be limited to a maximum of 14 feet in width as approved by the City Engineer.**
- The minimum number of required parking spaces is 13 based on the proposed plans. The plans provide the required number of spaces, but spaces for employees will include four double-stacked spaces and one space along the building with restricted access. **The applicant has applied to the Board of Zoning Appeals seeking a variance to approve a comprehensive parking arrangement. The application is scheduled on the December 15, 2020, Board of Zoning Appeals agenda.**
- Proposed architectural elevations show different options for architecture on the east building elevation. Option 3A is preferred and would include horizontal siding with spandrel glass windows to replace the existing stucco. The addition would include faux shutters on the second floor with a board and batten finish. **All final plans must comply with applicable building code and fire code requirements.**
- At this time information that demonstrates compliance with stormwater management regulations have not been provided and will be necessary as part of the permit approval process. **Final details should be submitted to the satisfaction of the City Engineer prior to construction activities.**

Architecture

- The PUD text for this site requires that brick, stone, or similar materials are used that compliment each structure. Materials proposed for the project include a board-and-batten treatment and horizontal wood siding. Plans include the incorporation of spandrel glass and faux shutters along Lacon Road to provide architectural variety. Option 3A is the preferred configuration of materials for the east building elevation, and smooth stucco is also proposed as an alternate material for the proposed addition. **Staff recommends that an additional shutter and trim be added to the east elevation of the addition if stucco is selected as the final material choice. If stucco is selected for the south and west elevations of the addition, then staff would recommend that the elevations be revised by adding a horizontal trim board consistent with what is shown on the proposed elevations featuring board and batten siding.**

[END OF REPORT | PZ-22-43]



050-002018

050-002021

050-002022

050-002023

050-002031

050-002032

050-002033

050-002034

*House has been demolished

050-002039

050-002041

Cemetery Road

Lacon Drive

1/29/2021

© All EagleView Technology Corporation



Construction of
COLORADO MTN SPORTS
 4445 Cemetery Rd. Hilliard, OH 43026

Prepared for
MARKER

Issued For:
PERMIT

Issued Date:
JULY 1, 2022

ARCHITECT:
 The Columbus Architectural Studio
 405 N Front Street
 Columbus, OH 43215

CIVIL ENGINEER:
 Choice One Engineering
 440 E. Hoewisher Rd
 Sidney, OH 45365

STRUCTURAL ENGINEER:
 Jezerinac Geers & Associates
 5640 Frantz Road
 Dublin, OH 43017

PLUMBING & MECHANICAL ENGINEER:
 Regal Mechanical
 3735 Paragon Dr.
 Columbus, OH 43228

ELECTRICAL ENGINEER:
 Romanoff Group
 1288 Research Rd.
 Gahanna, OH 43230

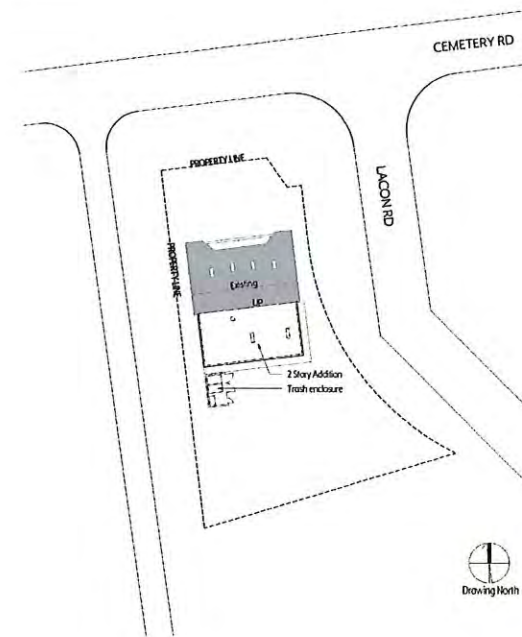
PROJECT SCOPE

Renovation and addition to existing retail space. The changes include but are not limited to adding sprinklers throughout, removing a 1 story shed addition on rear and adding a 2 story addition connecting existing and new spaces. Removing the existing East stairways which are steep, and replacing with wider compliant stairs for staff and public. Replacing existing exterior stair to basement storage with wider stair now on interior. Remove existing restrooms and provide an ADA restroom.

VICINITY MAP



LOCATION MAP

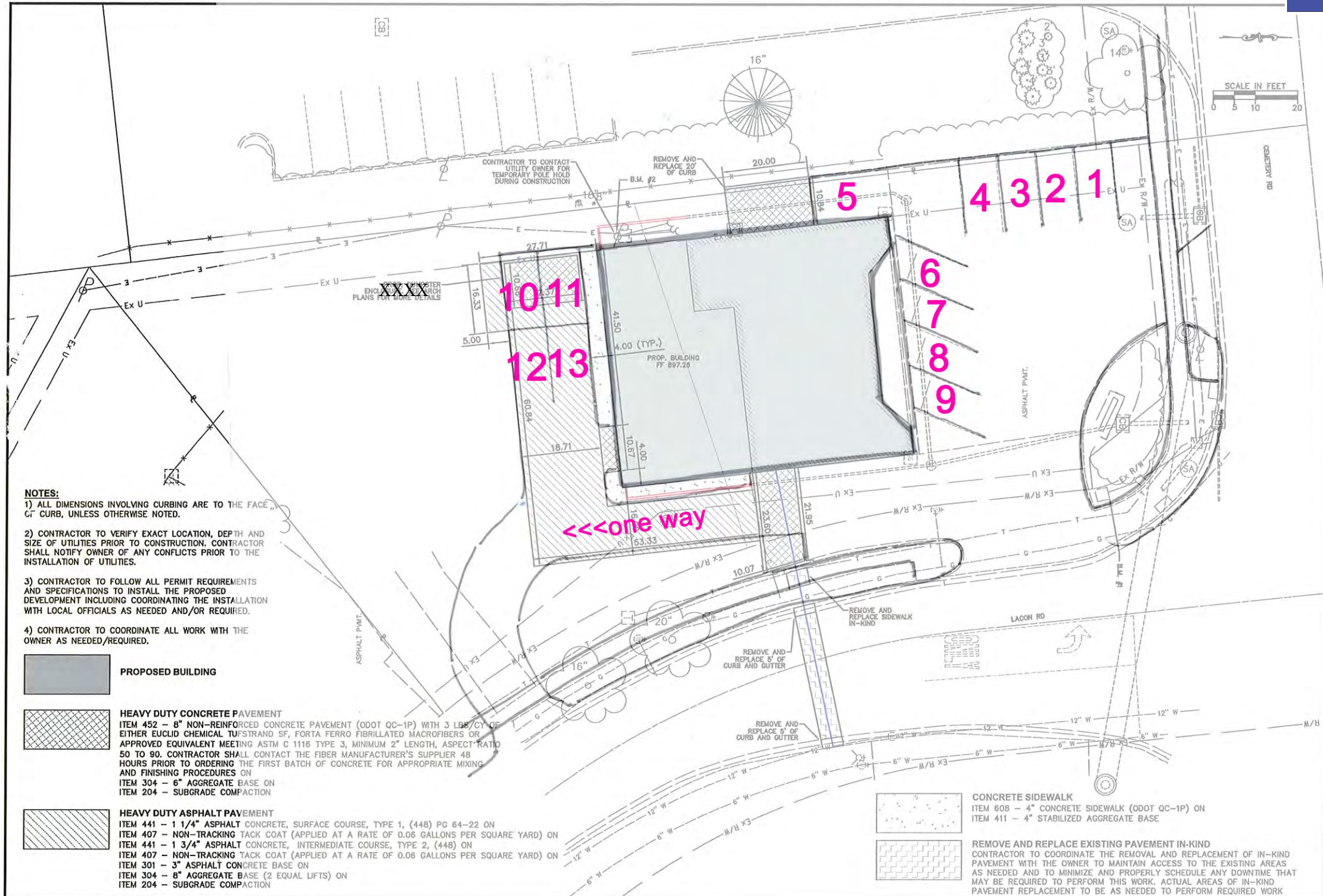


SHEET LIST

Sheet Number	Sheet Name
00 GENERAL	
G000	COVER
G201	LIFE SAFETY
01 CIVIL	
C1	TITLE SHEET
C2	GENERAL NOTES
C3	GENERAL NOTES
C4	GENERAL DETAILS
C5	DEMOLITION PLAN
C6	DIMENSIONS AND PAVEMENT PLAN
C7	UTILITY PLAN
C8	GRADING AND EROSION CONTROL PLAN
C9	PAVEMENT ELEVATIONS PLAN
02 ARCHITECTURE	
A001	SYMBOLS & ABBREVIATIONS
A002	TYPICAL MOUNTING LOCATIONS
A003	ADA REQUIREMENTS & DETAILS
A010	WALL TYPES
A015	DOOR SCHEDULE
A200	BASEMENT FLOOR PLANS
A201	FIRST FLOOR PLANS
A202	SECOND FLOOR PLANS
A203	ROOF PLAN & DETAILS
A301	EXTERIOR ELEVATIONS
A302	BUILDING SECTIONS
A401	WALL SECTIONS & DETAILS
A601	STAIRS
A701	REFLECTED CEILING PLANS
A810	INTERIOR ELEVATIONS
A850	INTERIOR DETAILS
A900	FINISHES
AD201	DEMO PLAN
03 STRUCTURE	
S001	GENERAL STRUCTURE INFORMATION
S002	GENERAL STRUCTURE INFORMATION
S101	FOUNDATION & FIRST FLOOR FRAMING PLANS
S102	SECOND FLOOR & ROOF FRAMING PLANS
S301	FOUNDATION DETAILS
S310	FRAMING DETAILS
S311	FRAMING DETAILS
04 MECHANICAL	
M0.1	HVAC SCHEDULE AND DETAILS
M0.5	BASEMENT HVAC PLAN
M1.0	FIRST FLOOR HVAC PLAN
M2.0	SECOND FLOOR HVAC PLAN
M3.0	ROOF HVAC PLAN
05 PLUMBING	
P0.1	PLUMBING SCHEDULES AND DETAILS
PI.0	PLUMBING PLANS
06 ELECTRICAL	
SU-1	ELECTRICAL SITE UTILITY PLAN
E100	FIRST FLOOR LIGHTING PLAN
E102	SECOND FLOOR LIGHTING PLAN
E201	FIRST FLOOR POWER PLAN
E202	SECOND FLOOR POWER PLAN
E300	RISER DIAGRAM AND PANEL SCHEDULES

REVISIONS:

FILE NAME	
DIMENSION	
DRAWN BY	JAC
CHECKED BY	JSP
PROJECT No.	FRAHL2202
DATE	6-30-2022
SHEET NUMBER	6 OF 9

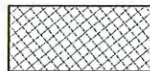


NOTES:

- 1) ALL DIMENSIONS INVOLVING CURBING ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- 2) CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE INSTALLATION OF UTILITIES.
- 3) CONTRACTOR TO FOLLOW ALL PERMIT REQUIREMENTS AND SPECIFICATIONS TO INSTALL THE PROPOSED DEVELOPMENT INCLUDING COORDINATING THE INSTALLATION WITH LOCAL OFFICIALS AS NEEDED AND/OR REQUIRED.
- 4) CONTRACTOR TO COORDINATE ALL WORK WITH THE OWNER AS NEEDED/REQUIRED.

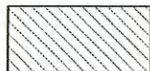


PROPOSED BUILDING



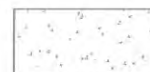
HEAVY DUTY CONCRETE PAVEMENT

ITEM 452 - 8" NON-REINFORCED CONCRETE PAVEMENT (ODOT QC-1P) WITH 3 LBS/CY OF EITHER EUCLID CHEMICAL TUFSTRAND SF, FORTA FERRO FIBRILLATED MACROFIBERS OR APPROVED EQUIVALENT MEETING ASTM C 1116 TYPE 3, MINIMUM 2" LENGTH, ASPECT RATIO 50 TO 90. CONTRACTOR SHALL CONTACT THE FIBER MANUFACTURER'S SUPPLIER 48 HOURS PRIOR TO ORDERING THE FIRST BATCH OF CONCRETE FOR APPROPRIATE MIXING AND FINISHING PROCEDURES ON
ITEM 304 - 6" AGGREGATE BASE ON
ITEM 204 - SUBGRADE COMPACTION



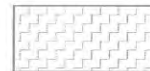
HEAVY DUTY ASPHALT PAVEMENT

ITEM 441 - 1 1/4" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, (448) PG 64-22 ON
ITEM 407 - NON-TRACKING TACK COAT (APPLIED AT A RATE OF 0.06 GALLONS PER SQUARE YARD) ON
ITEM 441 - 1 3/4" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, (448) ON
ITEM 407 - NON-TRACKING TACK COAT (APPLIED AT A RATE OF 0.06 GALLONS PER SQUARE YARD) ON
ITEM 301 - 3" ASPHALT CONCRETE BASE ON
ITEM 304 - 8" AGGREGATE BASE (2 EQUAL LIFTS) ON
ITEM 204 - SUBGRADE COMPACTION



CONCRETE SIDEWALK

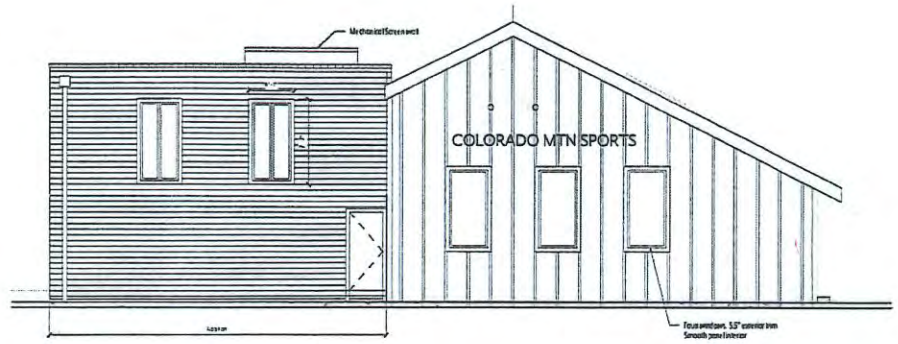
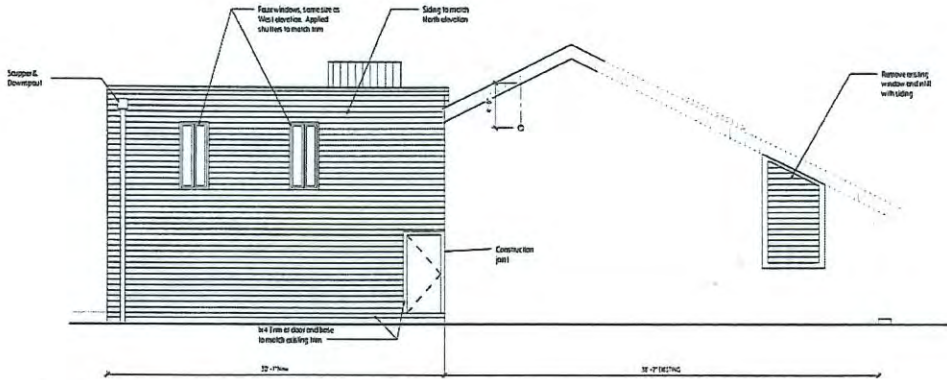
ITEM 608 - 4" CONCRETE SIDEWALK (ODOT QC-1P) ON
ITEM 411 - 4" STABILIZED AGGREGATE BASE



REMOVE AND REPLACE EXISTING PAVEMENT IN-KIND

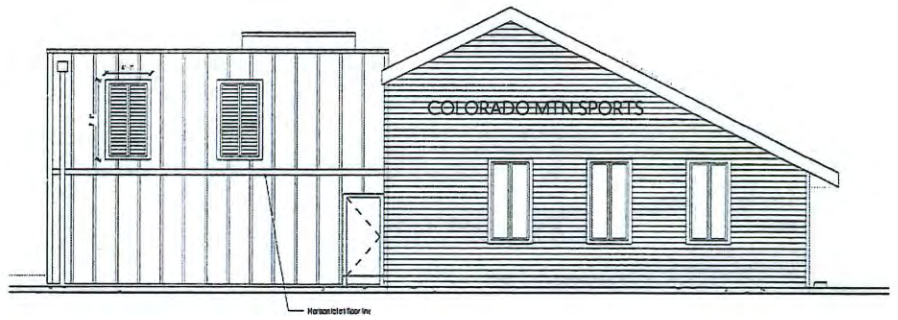
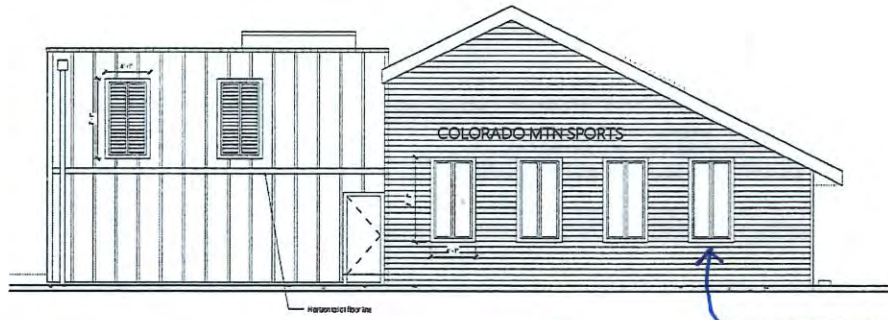
CONTRACTOR TO COORDINATE THE REMOVAL AND REPLACEMENT OF IN-KIND PAVEMENT WITH THE OWNER TO MAINTAIN ACCESS TO THE EXISTING AREAS AS NEEDED AND TO MINIMIZE AND PROPERLY SCHEDULE ANY DOWNTIME THAT MAY BE REQUIRED TO PERFORM THIS WORK. ACTUAL AREAS OF IN-KIND PAVEMENT REPLACEMENT TO BE AS NEEDED TO PERFORM REQUIRED WORK

EAST ELEVATION OPTIONS



1 EAST ELEVATION - SIDING
SCALE: 3/16" = 1'-0"

2 EAST ELEVATION Option 2
SCALE: 3/16" = 1'-0"



* 3 EAST ELEVATION Option 3a
SCALE: 3/16" = 1'-0"

3 EAST ELEVATION Option 3b
SCALE: 3/16" = 1'-0"

MARKER * PREFERRED OPTION

COLORADO MTN SPORTS
EXTERIOR REVISIONS

November 28, 2022

COLORADO MTN SPORTS

4445 Cemetery Rd Hilliard, OH 4306

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Client: Marker
Address: 208 Riverside Dr. Columbus, OH 43221



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STRUCTURAL ENGINEERS
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MECHANICAL & PLUMBING
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CIVIL ENGINEERS
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ELECTRICAL ENGINEER
Romanoff Electric
1288 Research Road
Gahanna, OH 43230

ELEVATION - GENERAL NOTES

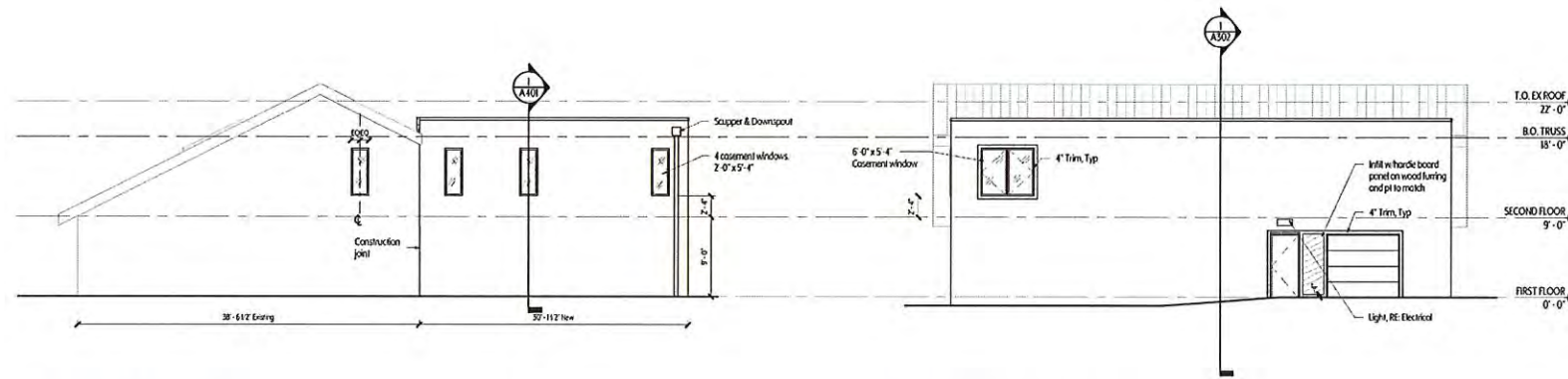
1. All MEP elements shall be centered between and structural elements and/or aligned with the closest brick coursing unless noted otherwise.
2. All exterior steel, or steel contained within an exterior wall assembly, shall be hot dipped galvanized and field painted.

EXTERIOR MATERIALS SUMMARY

IG-1	EXTERIOR CLEAR VISION GLASS Double glazed insulated unit See window mfr for selections
WD Trim	Hard Board Trim to match existing on North Facade
Material	Composite Wood
Dimensions	22" x 10" x 4" or 6"
Finish	Painted to match or prefinished
PT-1	PAINT
Color	SW 7000X
Location	Trim
PT-2/3	PAINT over Stucco system
Color	SW 7000X
Location	Trim

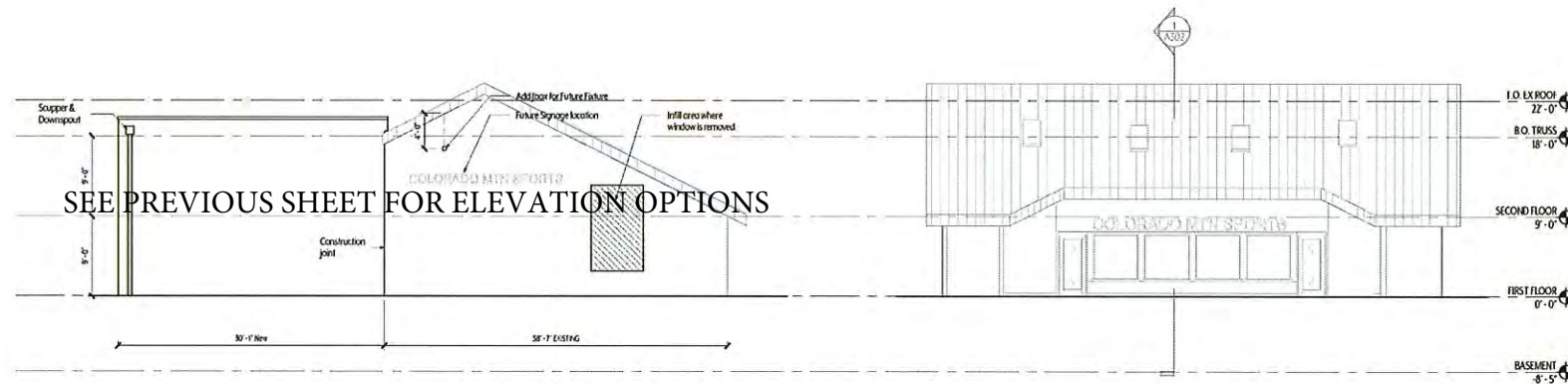
EXTERIOR MATERIALS LEGEND

	IG-1 Clear Glass, low-E
	Stucco
	Hard Board



3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

4 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"

1 NORTH ELEVATION - EXISTING
SCALE: 1/8"=1'-0"

Date	Description

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Project Name
COLORADO MTN SPORTS

Project Number
22-009

Scale
As indicated

Description

EXTERIOR ELEVATIONS

A301



SMOOTH STUCCO



HORIZONTAL SIDING
"BOARD AND BATTEN" SIDING

The addition could be a mix of this nice smooth (rich looking) stucco. We would still have the shiplap siding on the front part as well. The other picture (to the right) would be the first choice, but I'm sure this will be very spendy!

Thanks,

COLORADO MTN SPORTS
ERIC BAHGAT
4445 CEMETERY RD.
HILLIARD, OH 43026
614.459.6666

COLORADO MTN SPORTS

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Date	Description

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Seal / Signature



Abbie Steier, License #1817281
Expiration Date 12/31/2022

Project Name
COLORADO MTN SPORTS

Project Number
22-009

Scale
As Indicated

Description

LIFE SAFETY

G201

GENERAL NOTES

1. Room occupancy will typically be evenly distributed when more than one exit exists.

CODE INFORMATION

REFERENCE CODES
2017 OHIO BUILDING CODE WITH LATEST AMENDMENTS/UPDATES AS ISSUED BY THE STATE OF OHIO
K.C. 807.1-2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES

O.P.T.3 OCCUPANCY

M Mercantile
B Business, as offices for Mercantile

Accessory and incidental occupancies per section 508.2

O.P.T.5 HEIGHTS / FLD AREAS

Table 504.4 Mercantile, Type VB Sprinklered can be 2 stories.

Allowable Height: 2 stories, 40ft
Actual Height: 2 stories, 24ft (Approximate)

Allowable Area / Floor

Use	Allowable Area
9,000sf NS	
36,000sf SI	
27,000sf SM	

Actual Area:

Basement*	Existing	New	Total
First floor	2,140	1,540	3,680
Second floor	923	1,700	2,623
Total	4,636	3,240	6,303 sf

*For Basement area: OBC 501.6.3

O.P.T.6 TYPE OF CONSTRUCTION

601 Construction Type VB, no rating required.

O.P.T.7 FIRE RESISTANCE

Exterior Walls (SECTION 705.6)
North and South Walls are + 30ft Separation Distance
East and West Walls are 10-15ft from R.O.W., Sprinklered 45% Openings allowed

O.P.T.8 ACCESSIBILITY

104.4 Elevators are not required as the second floor is less than 3000sf, exception 1.

O.P.T.29 PLUMBING

2902.2 Exception 3 does not require separate facilities for occupancy under 100. First floor restroom serves entire space. Second floor restroom is private to the office space.

O.P.T.34 POSTING BUILDINGS

3401.1 Exception 2 & 3 does not require stair tread and riser or railings to be updated if prohibitive.

GENERAL NOTES

OCCUPANT LOAD FACTORS

Mercantile	60 Gross
Mercantile Stair	300 Gross
Mercantile Office	100 Gross

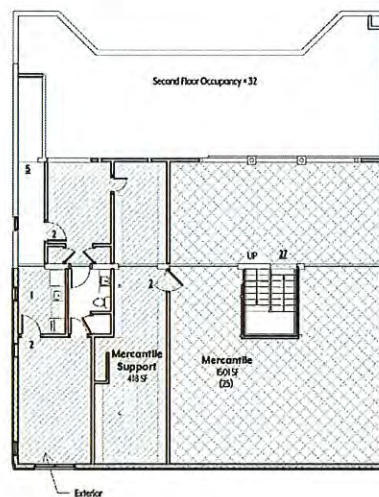
EXIT WIDTH FACTORS

Stairs	2 / person
Other	1.5 / person

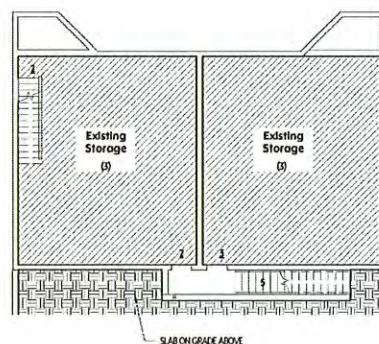
- XXX Occupancy of section or room
- XXX Number of occupants advancing
- Direction of occupant flow through element
- XXX' Travel distance
- Travel path
- FE 10 445 Fire extinguishers will be well mounted on hooks. All to confirm final locations with owner.

EXITMENT TAG

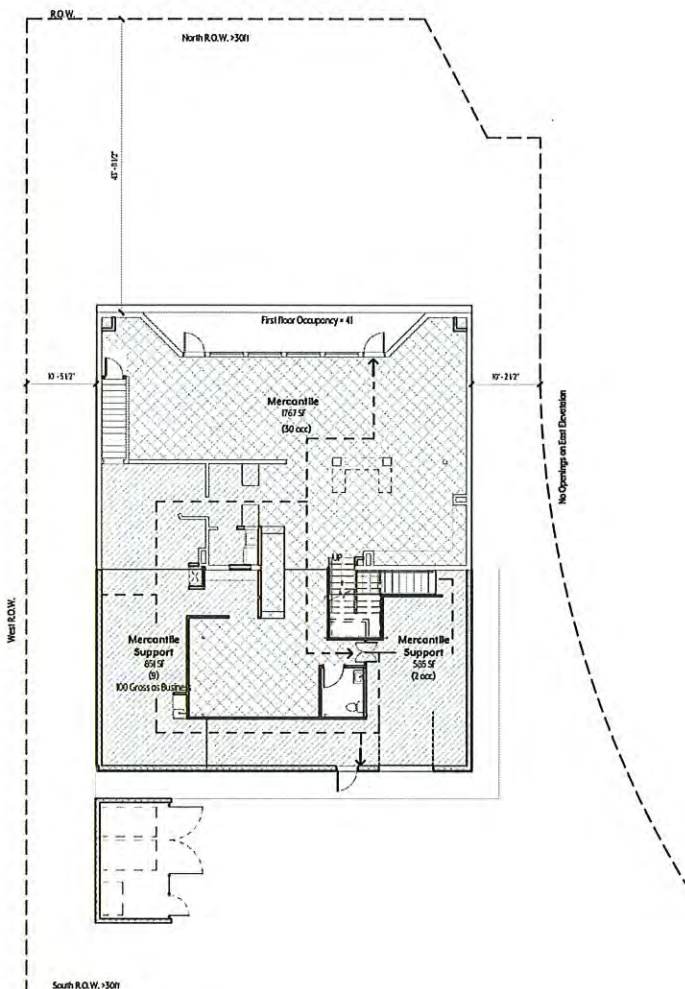
0	Total number of occupants exiting
0	Allowable number of occupants
0.0'	Exit width in decimal feet



2 LIFE SAFETY - LEVEL 02
SCALE: 3/32" = 1'-0"



3 LIFE SAFETY - BASEMENT
SCALE: 3/32" = 1'-0"



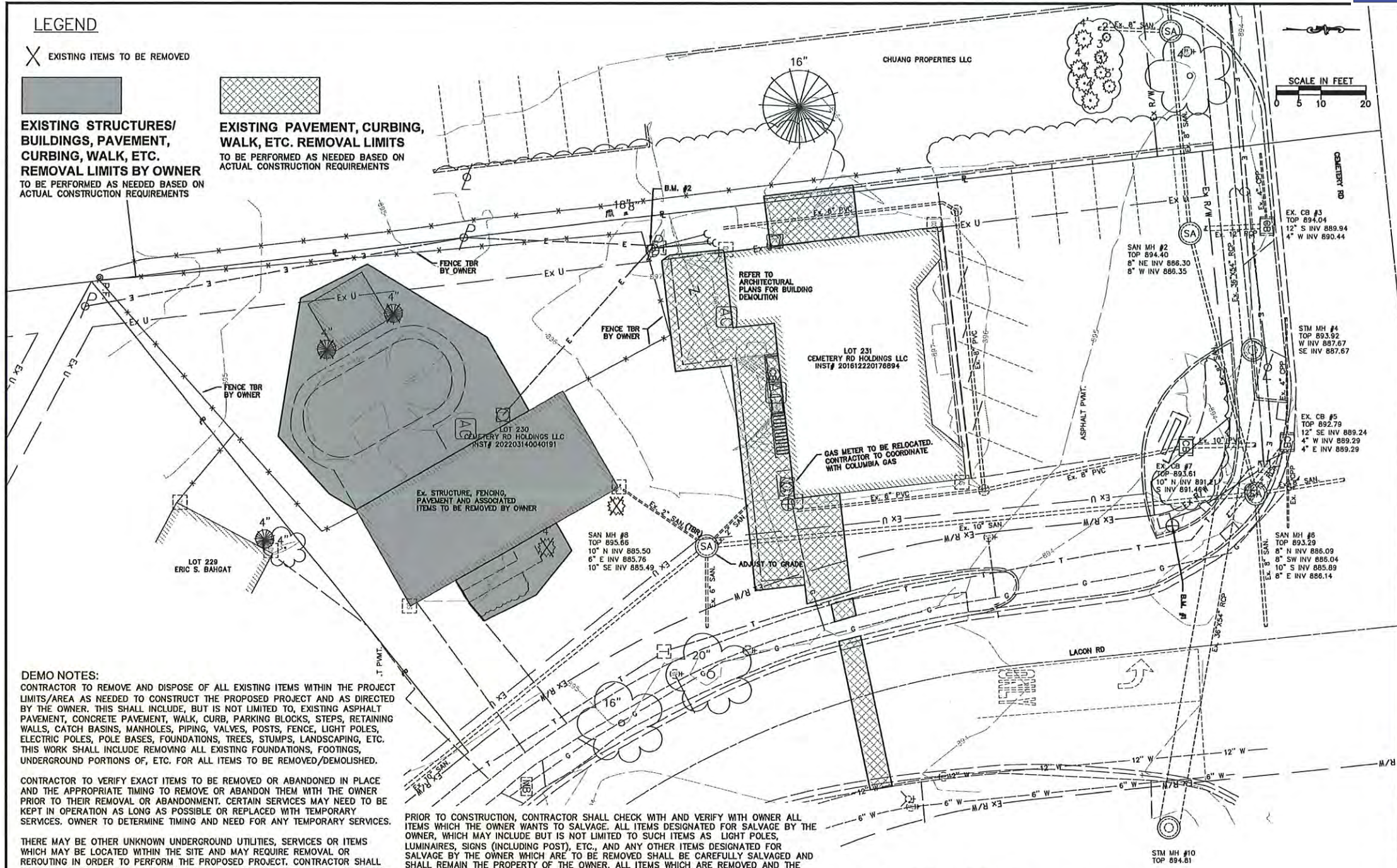
1 LIFE SAFETY - LEVEL 01
SCALE: 3/32" = 1'-0"

LEGEND

X EXISTING ITEMS TO BE REMOVED

EXISTING STRUCTURES/
BUILDINGS, PAVEMENT,
CURBING, WALK, ETC.
REMOVAL LIMITS BY OWNER
TO BE PERFORMED AS NEEDED BASED ON
ACTUAL CONSTRUCTION REQUIREMENTS

EXISTING PAVEMENT, CURBING,
WALK, ETC. REMOVAL LIMITS
TO BE PERFORMED AS NEEDED BASED ON
ACTUAL CONSTRUCTION REQUIREMENTS



DEMO NOTES:

CONTRACTOR TO REMOVE AND DISPOSE OF ALL EXISTING ITEMS WITHIN THE PROJECT LIMITS/AREA AS NEEDED TO CONSTRUCT THE PROPOSED PROJECT AND AS DIRECTED BY THE OWNER. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, EXISTING ASPHALT PAVEMENT, CONCRETE PAVEMENT, WALK, CURB, PARKING BLOCKS, STEPS, RETAINING WALLS, CATCH BASINS, MANHOLES, PIPING, VALVES, POSTS, FENCE, LIGHT POLES, ELECTRIC POLES, POLE BASES, FOUNDATIONS, TREES, STUMPS, LANDSCAPING, ETC. THIS WORK SHALL INCLUDE REMOVING ALL EXISTING FOUNDATIONS, FOOTINGS, UNDERGROUND PORTIONS OF, ETC. FOR ALL ITEMS TO BE REMOVED/DEMOLISHED.

CONTRACTOR TO VERIFY EXACT ITEMS TO BE REMOVED OR ABANDONED IN PLACE AND THE APPROPRIATE TIMING TO REMOVE OR ABANDON THEM WITH THE OWNER PRIOR TO THEIR REMOVAL OR ABANDONMENT. CERTAIN SERVICES MAY NEED TO BE KEPT IN OPERATION AS LONG AS POSSIBLE OR REPLACED WITH TEMPORARY SERVICES. OWNER TO DETERMINE TIMING AND NEED FOR ANY TEMPORARY SERVICES.

THERE MAY BE OTHER UNKNOWN UNDERGROUND UTILITIES, SERVICES OR ITEMS WHICH MAY BE LOCATED WITHIN THE SITE AND MAY REQUIRE REMOVAL OR REROUTING IN ORDER TO PERFORM THE PROPOSED PROJECT. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF ANY UNKNOWN UNDERGROUND UTILITIES OR OTHER ITEMS WHICH ARE ENCOUNTERED AND WORK WITH THE OWNER TO DECIDE HOW THESE ITEMS SHOULD BE HANDLED.

CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE REMOVAL OF UTILITIES.

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CHECK WITH AND VERIFY WITH OWNER ALL ITEMS WHICH THE OWNER WANTS TO SALVAGE. ALL ITEMS DESIGNATED FOR SALVAGE BY THE OWNER, WHICH MAY INCLUDE BUT IS NOT LIMITED TO SUCH ITEMS AS LIGHT POLES, LUMINAIRES, SIGNS (INCLUDING POST), ETC., AND ANY OTHER ITEMS DESIGNATED FOR SALVAGE BY THE OWNER WHICH ARE TO BE REMOVED SHALL BE CAREFULLY SALVAGED AND SHALL REMAIN THE PROPERTY OF THE OWNER. ALL ITEMS WHICH ARE REMOVED AND THE OWNER DOES NOT WANT TO SALVAGE SHALL BE REMOVED FROM THE SITE AND SHALL BECOME THE CONTRACTOR'S PROPERTY FOR PROPER DISPOSAL OFF-SITE, UNLESS OTHERWISE NOTED.

DEMOLITION OF ALL ITEMS TO BE PER ALL FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND STANDARDS. ALL DEMOLITION PERMITS TO BE OBTAINED PRIOR TO DEMOLITION.

DEMO EXISTING PAVEMENT NOTE:

DEMOLITION EDGES IN EXISTING PAVEMENT SHALL BE STRAIGHT, CLEAN AND TRUE.

EXISTING ELECTRICAL NOTE:

CONTRACTOR SHALL REFER TO THE ELECTRICAL DRAWINGS FOR DEMO INFO. ON HOW ALL EXISTING ELECTRICAL ITEMS FOR THE SITE ARE TO BE HANDLED AND ADDRESSED.



SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

**COLORADO MOUNTAIN SPORTS
CITY OF HILLARD
DEMOLITION PLAN**

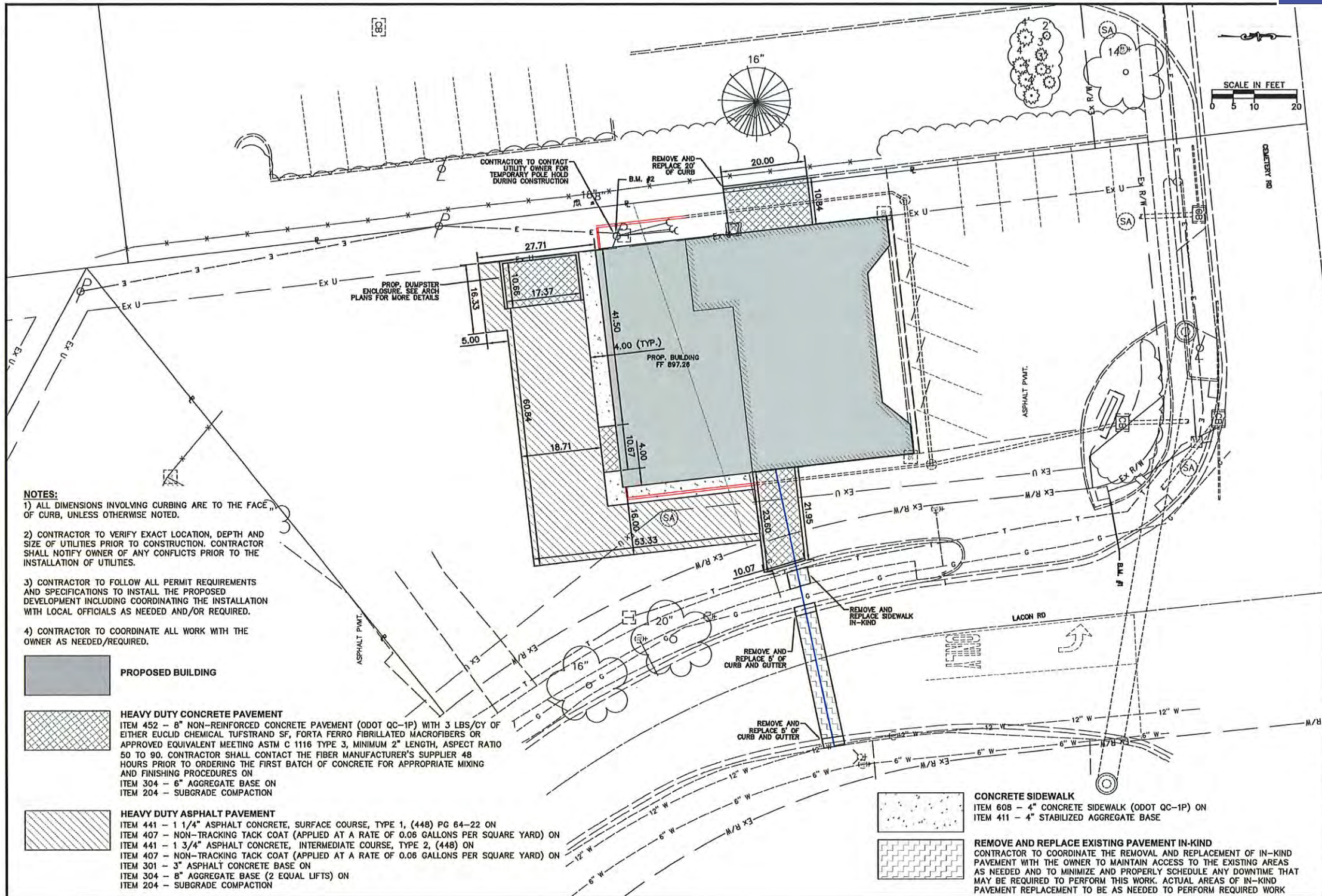
REVISIONS:

FILE NAME	DEMOLITION
DRAWN BY	JAC
CHECKED BY	JSP
PROJECT No.	FRAHL2202
DATE	6-30-2022
SHEET NUMBER	

COLORADO MOUNTAIN SPORTS
CITY OF HILLARD
DIMENSIONING AND PAVEMENT PLAN

REVISIONS:

FILE NAME	
DIMENSION	
DRAWN BY	JAC
CHECKED BY	JSP
PROJECT NO.	FRAHIL2202
DATE	6-30-2022
SHEET NUMBER	6 OF 9



NOTES:

- 1) ALL DIMENSIONS INVOLVING CURBING ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- 2) CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE INSTALLATION OF UTILITIES.
- 3) CONTRACTOR TO FOLLOW ALL PERMIT REQUIREMENTS AND SPECIFICATIONS TO INSTALL THE PROPOSED DEVELOPMENT INCLUDING COORDINATING THE INSTALLATION WITH LOCAL OFFICIALS AS NEEDED AND/OR REQUIRED.
- 4) CONTRACTOR TO COORDINATE ALL WORK WITH THE OWNER AS NEEDED/REQUIRED.

PROPOSED BUILDING

HEAVY DUTY CONCRETE PAVEMENT
 ITEM 452 - 8" NON-REINFORCED CONCRETE PAVEMENT (ODOT QC-1P) WITH 3 LBS/CY OF EITHER EUCLID CHEMICAL TUFSTRAND SF, FORTA FERRO FIBRILLATED MACROFIBERS OR APPROVED EQUIVALENT MEETING ASTM C 1116 TYPE 3, MINIMUM 2" LENGTH, ASPECT RATIO 50 TO 90. CONTRACTOR SHALL CONTACT THE FIBER MANUFACTURER'S SUPPLIER 48 HOURS PRIOR TO ORDERING THE FIRST BATCH OF CONCRETE FOR APPROPRIATE MIXING AND FINISHING PROCEDURES ON
 ITEM 304 - 6" AGGREGATE BASE ON
 ITEM 204 - SUBGRADE COMPACTION

HEAVY DUTY ASPHALT PAVEMENT
 ITEM 441 - 1 1/4" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, (448) PG 64-22 ON
 ITEM 407 - NON-TRACKING TACK COAT (APPLIED AT A RATE OF 0.06 GALLONS PER SQUARE YARD) ON
 ITEM 441 - 1 3/4" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, (448) ON
 ITEM 407 - NON-TRACKING TACK COAT (APPLIED AT A RATE OF 0.06 GALLONS PER SQUARE YARD) ON
 ITEM 301 - 3" ASPHALT CONCRETE BASE ON
 ITEM 304 - 8" AGGREGATE BASE (2 EQUAL LIFTS) ON
 ITEM 204 - SUBGRADE COMPACTION

CONCRETE SIDEWALK
 ITEM 608 - 4" CONCRETE SIDEWALK (ODOT QC-1P) ON
 ITEM 411 - 4" STABILIZED AGGREGATE BASE

REMOVE AND REPLACE EXISTING PAVEMENT IN-KIND
 CONTRACTOR TO COORDINATE THE REMOVAL AND REPLACEMENT OF IN-KIND PAVEMENT WITH THE OWNER TO MAINTAIN ACCESS TO THE EXISTING AREAS AS NEEDED AND TO MINIMIZE AND PROPERLY SCHEDULE ANY DOWNTIME THAT MAY BE REQUIRED TO PERFORM THIS WORK. ACTUAL AREAS OF IN-KIND PAVEMENT REPLACEMENT TO BE AS NEEDED TO PERFORM REQUIRED WORK

COLORADO MTN SPORTS

4445 Cemetery Rd. Hilliard, OH 43026

MARKER.

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Address: 2011 Riverside Dr. Columbus, OH 43221

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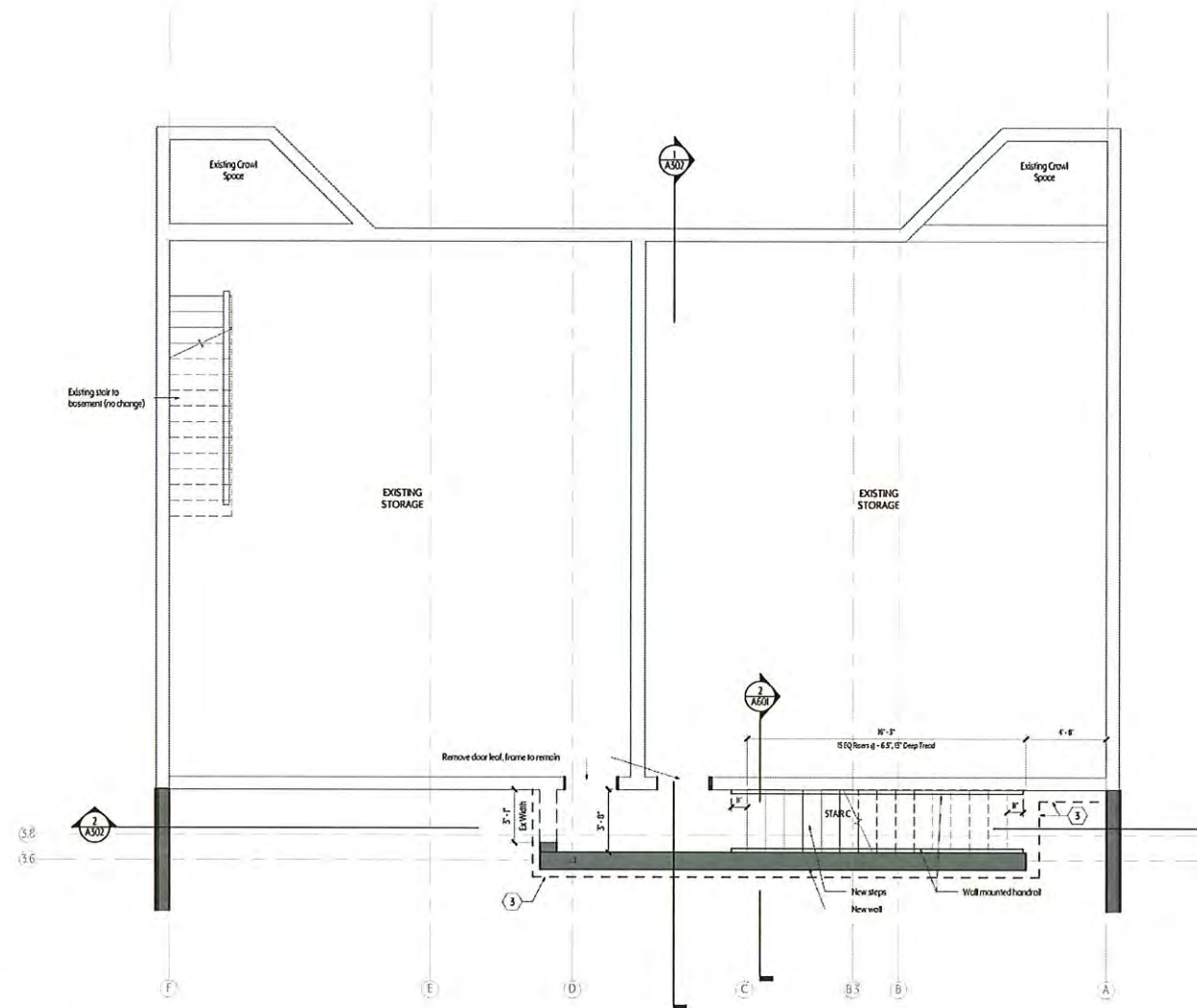
ELECTRICAL ENGINEER
Ransford Electric
1288 Research Road
Gahanna, OH 43230

SHEET NOTES

- Refer to Sheet A200 for partition and exterior wall types.
 - A. All interior partitions walls are type S3, UNO
 - B. All new exterior walls are type d#8
 - C. Existing exterior stucco walls to be modified are e#1
 - D. Greenboard or cement board to be used for shower walls, mop sink surround and wet wall of ADA restroom.
- All wall dimensions are to finished face, UNO.
- Refer to Sheet A206 for doors, frames, and hardware.
- All doors shall maintain at least 3" clearance on either side of jamb for 3" macking around door frame.
- All storefront dimensions are to rough opening. Screenshot MFG to account for slim and section space.
- For rolling types see, A601

CODED NOTES

- New opening in existing wall. Refer to Structure for details.
- Infill existing opening.
- Tie new perimeter drainage into existing refer to 7.501



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

△	Date	Description

Issued For / Date
Permit / July 1, 2022
Seal / Signature

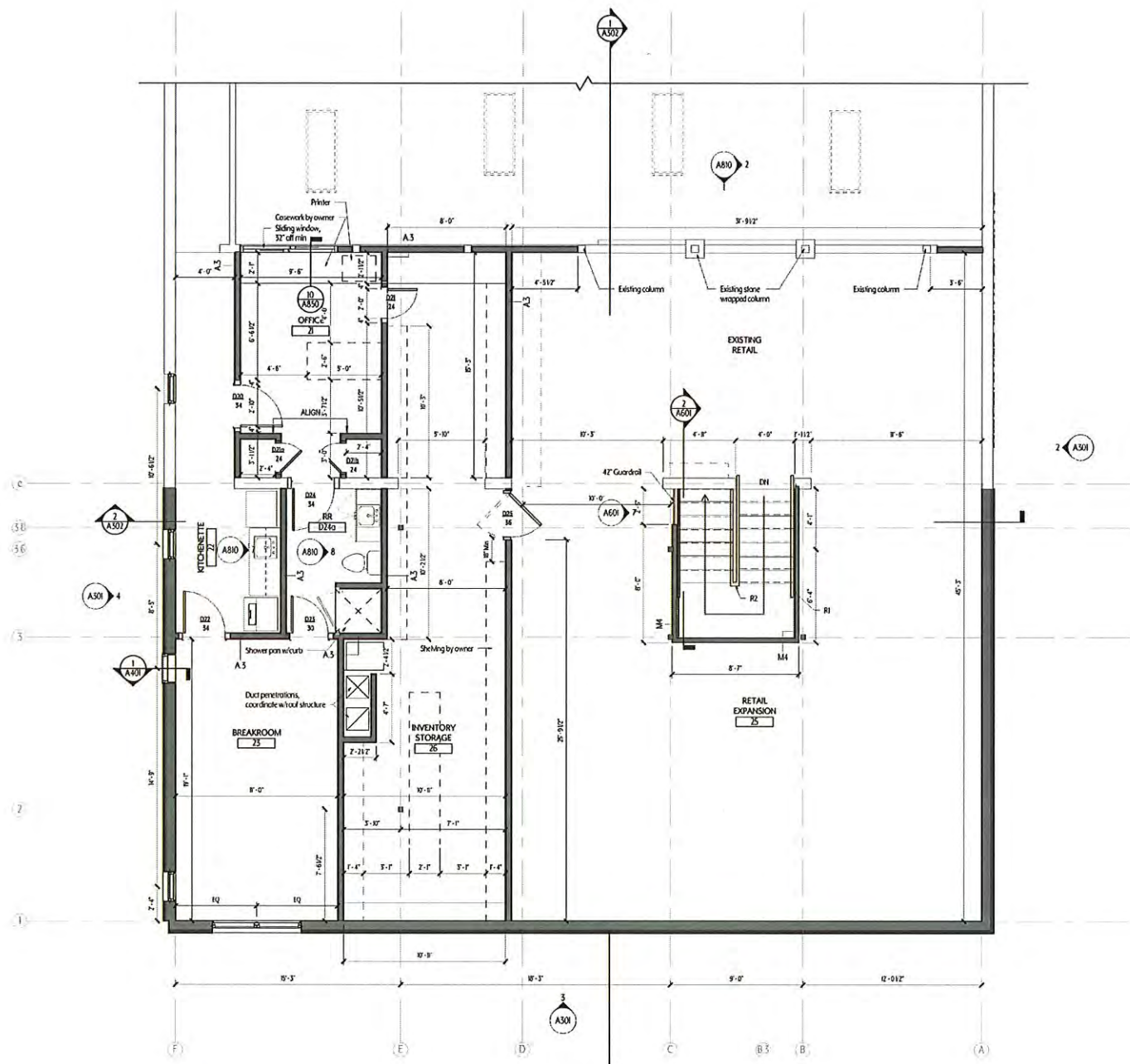


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Expiration Date 12/31/2022

Project Name
COLORADO MTH SPORTS
Project Number
22-009
Scale
As indicated
Description

BASEMENT FLOOR PLANS

A200



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- Refer to Sheet A200 for partition and exterior wall types.
 - A. All interior partitions walls are type SS, UNO.
 - B. All new exterior walls are type #411.
 - C. Existing exterior stucco walls to be modified are #W1.
 - D. Green board or cement board to be used at shower walls, mop sink surround and wet wall of ADA restroom.
 - All wall dimensions are to finished face, UNO.
 - Refer to Sheet A205 for doors, frames, and hardware.
 - All doors shall maintain at least 3" clearance on either side of jamb for 3" molding around door frame.
 - All storefront dimensions are to rough opening. Storefront MFG to account for shim and sealant space.
 - For railing types see, A501.

- CODED NOTES**
- New opening in existing wall. Refer to Structure for details.
 - W/ll existing opening.
 - The new perimeter drainage into existing refer to 7/5301.

COLORADO MTN SPORTS

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Project Name
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Project Number
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Description

SECOND FLOOR PLANS

A202

COLORADO MTN SPORTS

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1288 Research Road
Gahanna, OH 43230

GENERAL NOTES

- Refer to Sheet A200 for partition and exterior wall types.
A. All interior partition walls are type S3, U.R.O.
B. All new exterior walls are type e11.
C. Existing exterior stucco walls to be modified are eVL.
D. Greenboard or cement board to be used at shower walls, mop sink surround and wet wall of ADA restroom.
- All wall dimensions are to finished face, U.R.O.
- Refer to Sheet A205 for doors, frames, and hardware.
- All doors shall maintain at least 5" clearance on either side of jamb for 5" making around door frame.
- All structural dimensions are to rough opening. Skirt front M/G to account for shim and seat and space.
- For rolling types see, A501

CODED NOTES

- New opening in existing wall. Refer to Structure for details.
- Infill existing opening.
- New perimeter drainage into existing rafter to T5501

Date	Description

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Project Name

COLORADO MTN SPORTS

Project Number

22-009

Scale

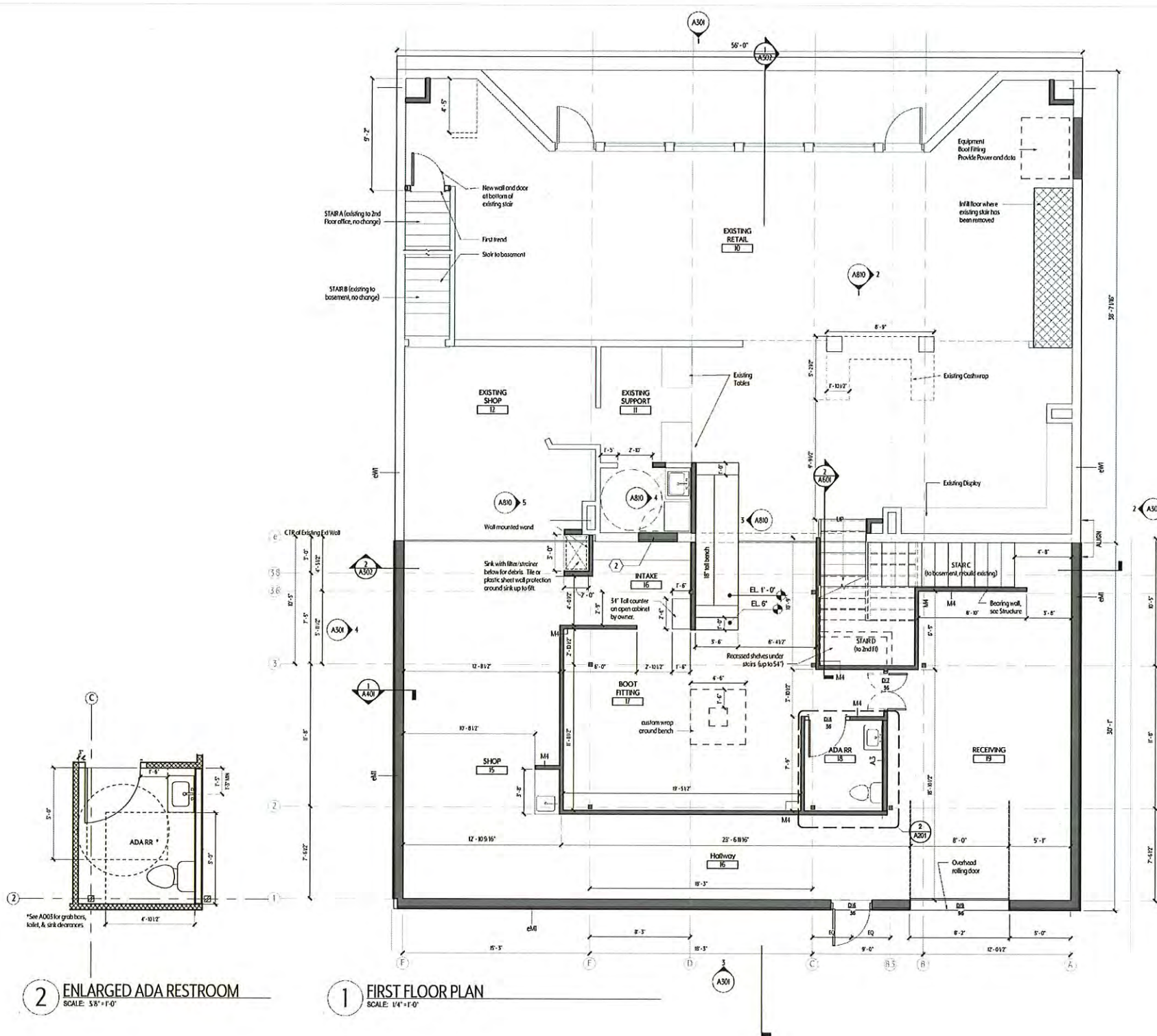
As indicated

Description

FIRST FLOOR PLANS

A201

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2 ENLARGED ADA RESTROOM
SCALE: 3/8" = 1'-0"

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

COLORADO MTN SPORTS

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Expiration Date 12/31/2022

Project Name

COLORADO MTN SPORTS

Project Number

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Scale

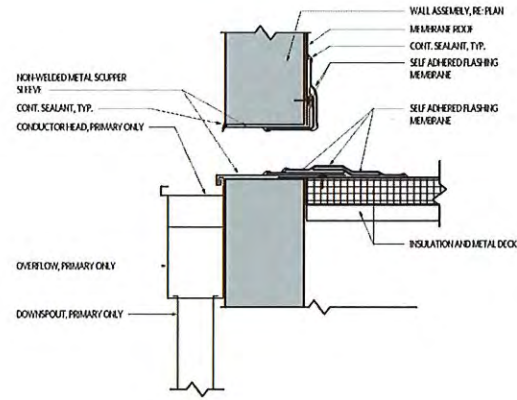
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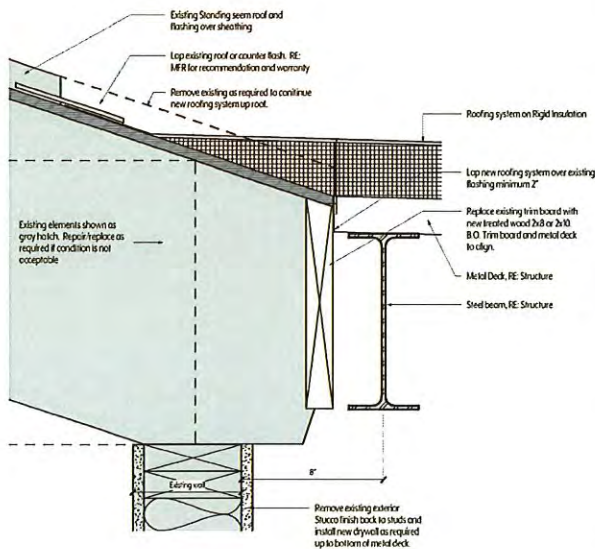
ROOF PLAN & DETAILS

A203

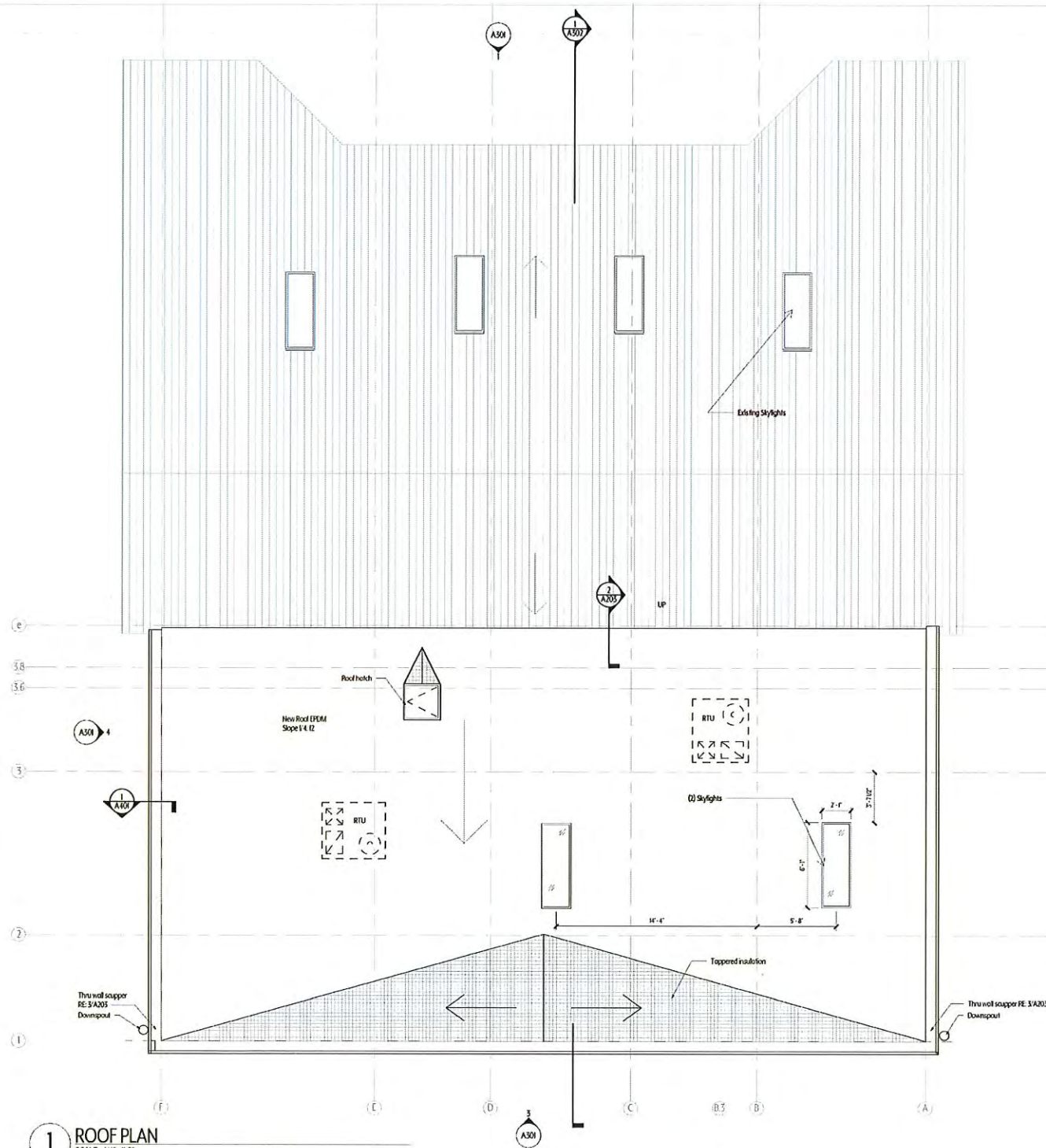
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3 SCUPPER DETAIL
SCALE: 1/2" = 1'-0"



2 ROOF DETAIL @ EXISTING
SCALE: 3" = 1'-0"



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

COLORADO MTN SPORTS

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Date	Description

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Abbie Stiers, License #1817281
Expiration Date 12/31/2022

Project Name

COLORADO MTN SPORTS

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22-009

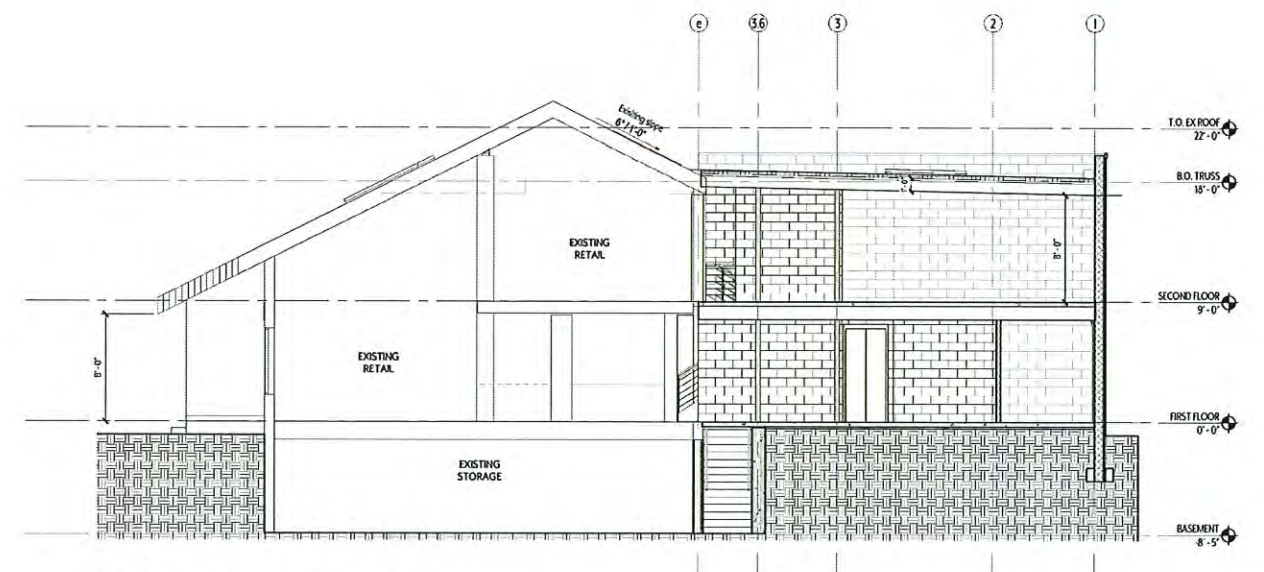
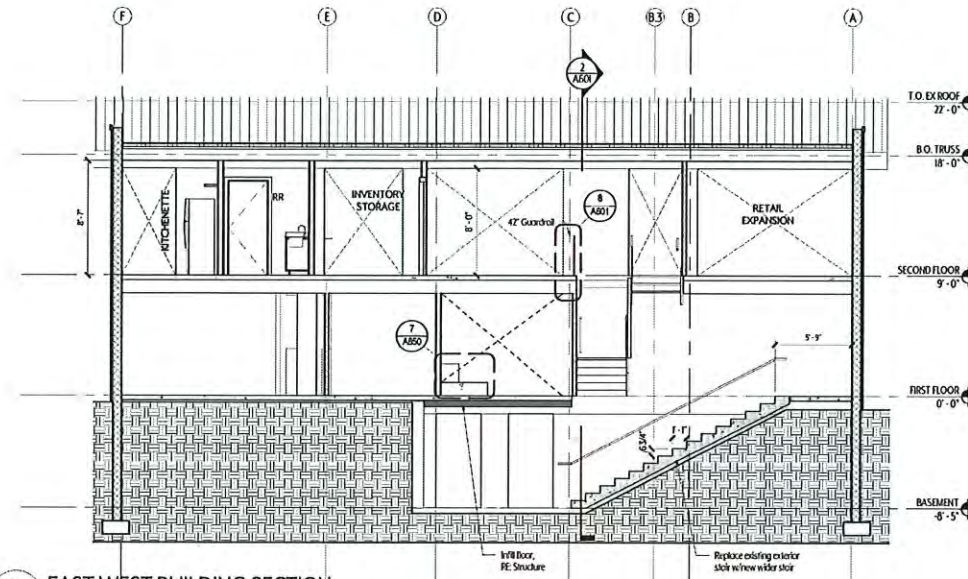
Scale

3/16" = 1'-0"

Description

BUILDING SECTIONS

A302



**COLORADO
MTN
SPORTS**
4445 Cemetery Rd. Hilliard,
OH 43026



405 N Front St
Columbus, OH 43215

MARKER.

STRUCTURAL ENGINEERS
Jezerinac Geers & Associates
5640 Frantz Rd
Dublin, OH 43017
614.765.058

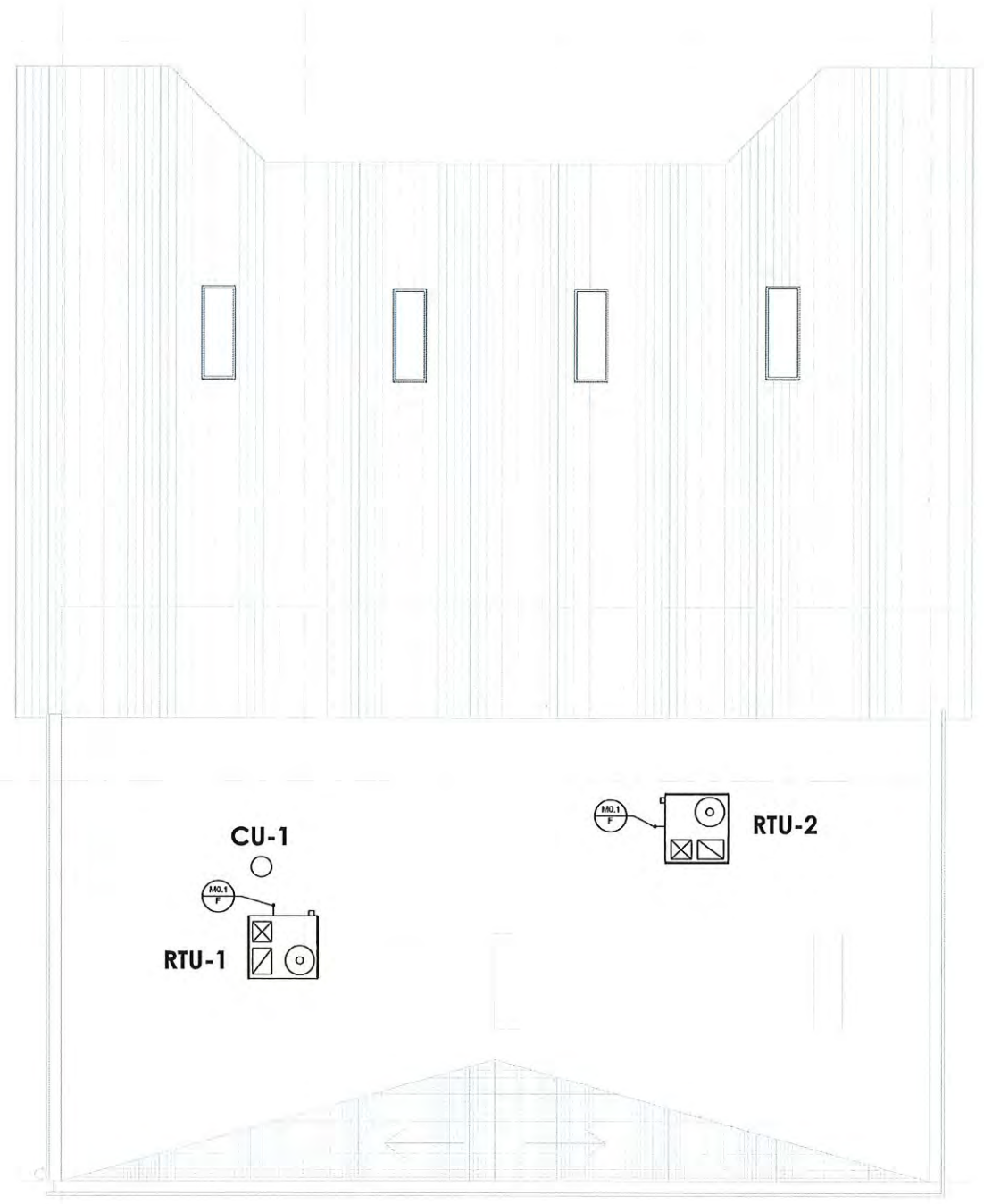
GENERAL CONTRACTOR
Marker Construction
2011 Riverside Dr.
Columbus, OH 43221

CIVIL ENGINEERS
Choice One Engineering
440 E Howlisher Rd.
Sidney, OH 45305
937.497.0200

MECH & PLBG CONTRACTOR
Regal Mechanical
3735 Paragon Dr.
Hilliard, OH 43026
Tel 614.888.8905

- HVAC GENERAL NOTES:**
1. ALL WORK SHALL CONFORM TO OHIO BUILDING, PLUMBING AND MECHANICAL CODES AND ANY OTHER APPLICABLE CODES AND REQUIREMENTS.
 2. DUCT WORK SHALL MEET OR EXCEED ALL SMACNA STANDARDS.

- HVAC CODED NOTES:**
1. CONNECT THE TWO EXT'G 14X8 DUCTWORK TRUNK IN BASEMENT.
 2. RELOCATE GAS METER AND REDUCE TO ONE METER.
 3. ROUTE 3" DRYER VENT TO EXTERIOR WALL.
 4. 1/2" GAS PIPE TO DRYER (17,000 BTU/H).
 5. RETURN PLENUM 14.25x19.5 RG-1; HART & COOLEY 650, 30X24, RETURN AIR REGISTER, WHITE.
 6. EXT'G DUCTWORK IN BASEMENT AND EXT'G FLOOR REGISTER ON 1ST FLOOR.
 7. EXT'G DUCTWORK AND CEILING DIFFUSER IN BASEMENT.
 8. DEMO FLOOR REGISTER AND DEMO/CAP DUCTWORK AS REQUIRED. GC TO REPAIR FLOOR.
 9. CONNECT TO EXT'G 14x8 DUCTWORK IN BASEMENT.
 10. EXT'G DUCTWORK AND CEILING DIFFUSER IN 1ST FLOOR.
 11. CONNECT TO EXT'G DUCTWORK IN SOFFIT.
 12. EF-3 PULLS IN VENTILATION AIR THROUGH WALL LOUVER L-1. L-1 FREE AREA NO LESS THAN 0.5 FT2 AND PROVIDED WITH BACKDRAFT DAMPER



HVAC - ROOF PLAN
SCALE: 1/4" = 1'-0"

REGAL
PLUMBING & HEATING
3735 PARAGON DR.
HILLIARD, OH 43026
TEL: 614.888.8905
LICENSE #26872

△	Date	Description
	07/01/2022	PERMIT SET

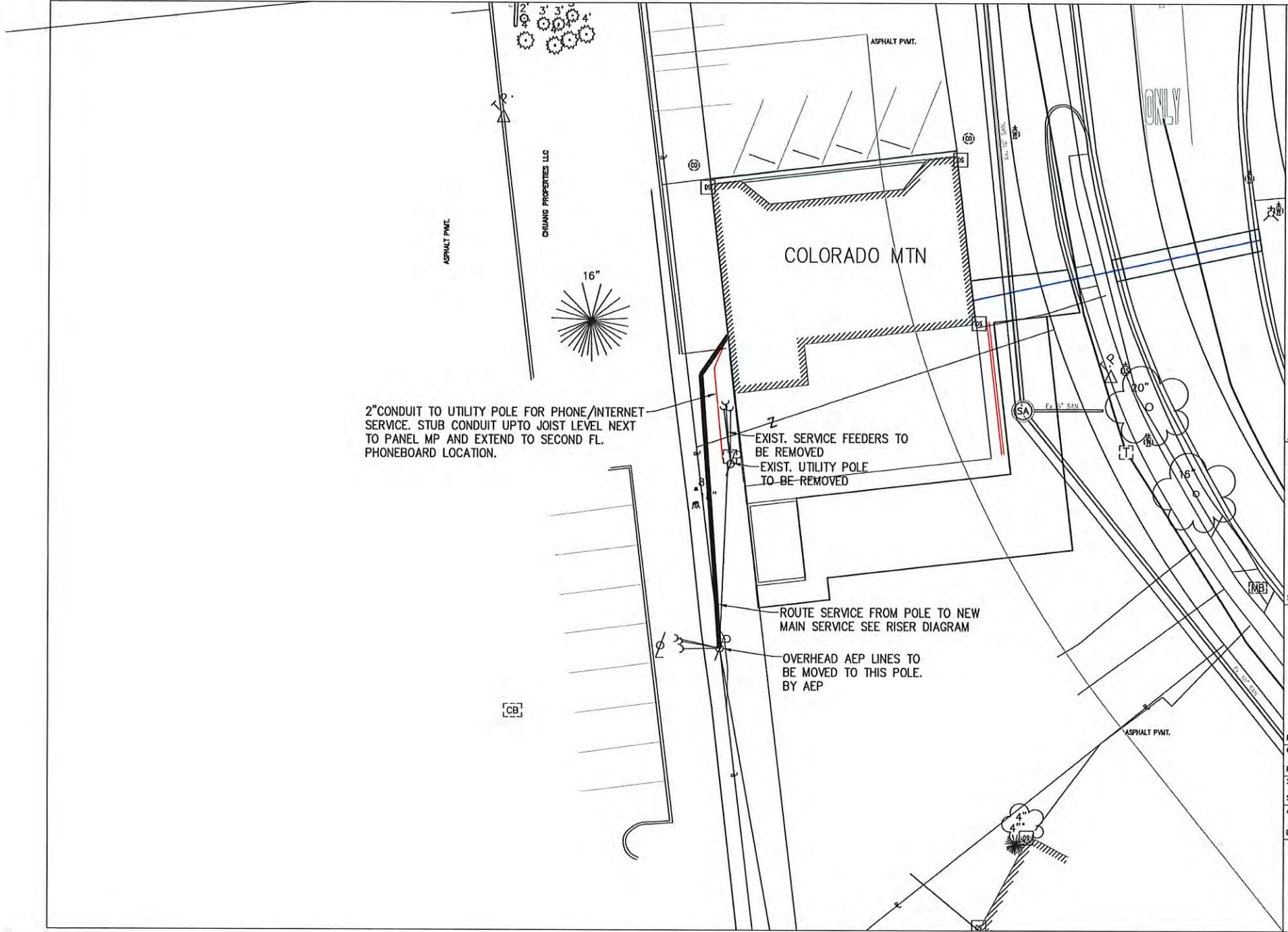
Seal / Signature



RYAN BILLING
E-71805
EXPIRES: 12.31.22

Project Name	COLORADO MTN SPORTS
Project Number	77-114485
Scale	1/4" = 1'-0"
Description	ROOF FLOOR PLAN

M3.0



**COLORADO
MTN SPORTS**

4445 Cemetery Rd. Hilliard,
OH 43026
Client: Marker
Address: 2011 Riverside Dr. Columbus, OH 43221



405 N Front St Columbus, OH 43215 Tel Do not enter
Fax Text here



PHONE: 614-755-4500
FAX: 614-755-4510

ROMANOFF ELECTRIC
1288 RESEARCH ROAD GAHANNA, OHIO 43230

△	Date	Description
	07/01/22	Construction Documents

Seal / Signature



David K. Anthony

Project Name
COLORADO MTN SPORTS

Project Number
22-01x

Scale
As Indicated

Description

**ELECTRICAL
SITE UTILITY PLAN
SU-1**

Development Plan – Cemetery Road Properties Located Between Leap & Lacon Roads
City of Hilliard
November 17, 2015 August 11, 2022

5.5 Area and Visibility

Visibility along the northern boundary of the subject site is excellent given this is a lineal segment of Cemetery Road that is free from major obstacles. Long-range visibility is somewhat hampered by the Cemetery Road underpass that is east of the site.

Intersections are found at Leap and Cemetery, Brown Park Drive and Cemetery, and Lacon and Cemetery.

The number of curb cuts along the northern side of Cemetery Road supports the access drive restriction for the subject site.

5.6 Proposed Development

The following narrative provides a description of those elements of the rezoning application that can be addressed at this time. As it has been previously stated, this application is the first step in the development review process for the subject properties. Details such as building configuration, etc., will be resolved prior to zoning clearance.

5.6.1 Permitted Uses

The proposed use of the subject site is as a commercial, office or mixed use development that is a single component and developed as a complex of structures or a single structure.

The following uses are included in this application as proposed uses:

- a. Retail business.
- b. Retail goods.
- c. Personal services.
- d. Business services.
- e. Offices and banks.
- f. Restaurants, except fast-food restaurants (as defined in item 3 below).

The following definitions apply only to the property located at 4657 Cemetery Road:

1. Full service restaurant: establishments engaged in providing food services to patrons who order and are served while seated (i.e. waiter/waitress service) and pay after eating.
 2. Limited service restaurant: establishments primarily engaged in providing food services where patrons generally order or select and pay before eating. Food may be consumed on premises, taken out, delivered to the customer's location, or provided through one drive-up window.
 3. Fast-food restaurant: all establishments that do not meet the definition of Full service or Limited service restaurant.
- g. Accessory uses.
 - h. Gasoline service stations, except automotive repair.
 - i. Child care facilities.

Development Plan – Cemetery Road Properties Located Between Leap & Lacon Roads
City of Hilliard
November 17, 2015 August 11, 2022

5.6.2 Prohibited Uses

The following uses are prohibited:

- a. Taverns.
- b. Adult entertainment.
- c. Convenience grocery.
- d. Video arcades.
- e. Fast-food restaurants.
- f. Roof-mounted satellite ground stations.
- g. Off-premises signage (billboards).
- h. Automotive repair.

5.6.3 Access

Access to the subject site is indicated on the Site Plan and shall only be provided by the following means. Actual pavement width and number of lanes shall meet the standards established by the City Engineer prior to issuance of any building permit.

- a. An access drive shall be provided opposite Brown Park Drive
- b. One access drive shall be provided along Lacon Road.
- c. Access shall be provided to Leap Road through extension of a private access drive.

All existing residential driveways located on the subject site shall be removed prior to issuance of any building permit. The curb and sidewalk shall be replaced at each of these locations and shall meet the City's design standards.

5.6.4 Screening, Buffering, and Landscaping

The Landscape Ordinance requirements will apply to the subject site. Specifically, the following provisions are proposed:

- a. An eight-foot wood privacy fence shall be installed along the property line adjacent to all residential properties. The building setback shall remain at 50 feet in these locations. Together this should provide a suitable screen for neighboring residents.
- b. Existing vegetation along Tudor Ditch on the subject site shall be maintained where such maintenance does not interfere with stormwater

Development Plan – Cemetery Road Properties Located Between Leap & Lacon Roads
 City of Hilliard
 November 17, 2015 August 11, 2022

drainage. Any area along the property line where such vegetation does not exist, four-foot evergreen shrubs shall be planted every four feet to provide a screen, except where such planting interferes with stormwater drainage.

5.6.5 Development Standards

The following development standards apply to the subject site.

- a. Double Frontage Lots – Any double frontage lots that will be developed on the subject site shall not have individual lot access directly onto a public road or right-of-way. Limited curb cuts shall be provided on-site to provide internal access only.
- b. Parking – There shall be no on-street parking either along public rights-of-way or within the subject site.
- c. Building Height – All buildings and structures shall not exceed two stories in height.
- d. Building Setbacks – The **minimum** building setbacks shall be 50 feet from the Cemetery Road right-of-way, 50 **20** feet from the Lacon Road right-of-way **for commercial uses, 30 feet from the Lacon Road and Lacon Circle rights-of-way for single-family residential uses, 10 feet from the side property line for properties with frontage on Lacon Road or Lacon Circle**, 10 feet from the rear property line, and 50 feet from all residential zoning districts.
- e. Vehicular Use Area Setbacks – The **minimum vehicular use area setbacks shall be 20 feet from any public right-of-way, and 20 feet from any single-family residential use. Vehicular use area interior and perimeter landscaping shall be consistent with the provisions of Hilliard Zoning Code.**

5.6.6 Signage

Signage and shall meet the requirements of the Hilliard graphics code and shall compliment the architectural treatment of the development. Corporate logos and trademarks shall not occupy more than 50 percent of the sign area of each individual sign.

5.6.7 Architectural Considerations

The architectural character of the development should build upon the themes found in the greater Cemetery Road corridor, in particular the Mill Run development, Brown Commerce Park, and U.S. Post Office. In addition:

- a. Rear Treatment – The rear treatment of the south facing building exteriors that are visible from any adjacent residential property, Lacon Road, and Tudor Ditch shall at a minimum be painted to compliment the structure's architectural treatment,

and 10 feet from
 any ~~residential~~
 non-residential use.

Development Plan – Cemetery Road Properties Located Between Leap & Lacon Roads
City of Hilliard
~~November 17, 2015~~ August 11, 2022

unless painting interferes with the material used to face such wall and such material does not visually set such wall apart from the other exterior walls.

- b. Building Exterior – Building exterior shall be comprised of brick, stone or similar materials that compliment the architectural treatment of each structure. If more than one structure or building is present on the subject site, all structures and buildings shall compliment on another relative to their building exteriors.
- c. Roofs – Roofs should be pitched to portray a residential character for all buildings. Air conditioning, ventilation, and heating equipment shall not be visible from adjacent ~~residential~~ properties ~~or rights-of-way~~.

RECORD OF ACTION



Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube

Thursday, August 11, 2022 | 7:00 pm

CASE 6: PZ-22-43 – COLORADO MOUNTAIN SPORTS – 4445 Cemetery Road

PARCEL NUMBER: 050-002824

APPLICANT: Cemetery Rd Holdings LLC, c/o Eric Bahgat, 4445 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of an application to rezone Lot 231 of Easthill Acres from B-1 to PUD under the provisions of Hilliard Code Chapter 1117; a modification of the Cemetery Road Properties Located Between Leap and Lacon Roads PUD by adding Lot 231 of Easthill Acres to the PUD, and revising development standards under the provisions of Hilliard Code Section 1117.08.

The Planning and Zoning Commission took the following action at this meeting:

MOTION 1 (REZONING):

Vice Chair Schneck made a motion to approve an application to rezone Lot 231 of Easthill Acres from B-1 to PUD under the provisions of Hilliard Code Chapter 1117.

Mr. Pannett seconded the motion.

VOTE:

Chairman Muether	Yes
Vice Chair Schneck	Yes
Mr. Gutknecht	Excused
Mr. Lewie	Yes
Ms. Nixon	Yes
Mr. Pannett	Yes
Mr. Uttley	Yes

STATUS:

Case #6: The rezoning request for PZ-22-43 was approved (6-0). A positive recommendation will be forwarded to City Council for the proposed rezoning.

MOTION 2 (PUD TEXT MODIFICATION):

Vice Chair Schneck made a motion to approve a modification of the “Cemetery Road Properties Located Between Leap and Lacon Roads” PUD by adding Lot 231 of Easthill Acres to the PUD, and revising development standards under the provisions of Hilliard Code Section 1117.08 with one condition:

- 1) That a revised PUD Development Text meeting the conditions of Planning and Zoning Commission approval is submitted prior to being scheduled on any Council agenda.

Chairman Muether seconded the motion.

VOTE:

Chairman Muether	Yes
Vice Chair Schneck	Yes
Mr. Gutknecht	Excused
Mr. Lewie	Yes
Ms. Nixon	Yes
Mr. Pannett	Yes
Mr. Uttley	Yes

STATUS:

Case #6: The PUD text modification for PZ-22-43 was approved (6-0) with one condition. A positive recommendation will be forwarded to City Council.

CERTIFICATION:



Carson Combs, Planning Manager/Acting Clerk
August 12, 2022

[END OF RECORD]

CASE 3: PZ-22-66 – SHOPPES BY WESTWOOD – 4055 MAIN STREET

PARCEL NUMBERS: 050-000188 & 050-000084

APPLICANT: Old Hilliard Ltd., c/o Andy Warnock, P.O. Box 1471, Hilliard, OH 43026.

REQUEST: Review & approval of a comprehensive signage plan consisting of wall signs, projecting signs, and A-frame signs for each tenant space.

BACKGROUND:

The site is 0.294-acre located on the western corner of Main Street and Norwich Street in Old Hilliard. The site is zoned OH-MD, Old Hilliard Mixed Use District, which allows for a wide range of residential and commercial uses. The one-story building is approximately 9,900 square feet in area and includes four tenant spaces with a mix of retail uses. The property also includes a plaza space along Main Street. On July 14, 2022, the Planning and Zoning Commission approved a plan for exterior awnings, lighting, and colors.

The applicant is now requesting approval of a Signage Plan for the overall site consisting of wall signs, projecting signs, and sandwich board signs for each tenant space.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner's predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Following approval by the Commission, the applicant is responsible for obtaining a sign permit prior to installation for each sign that conforms to the requirements and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposal, as amended in the conditions listed below, is consistent with the provisions of the Sign Code. Based on this finding, staff recommends approval of the Signage Plan with the following 5 conditions:

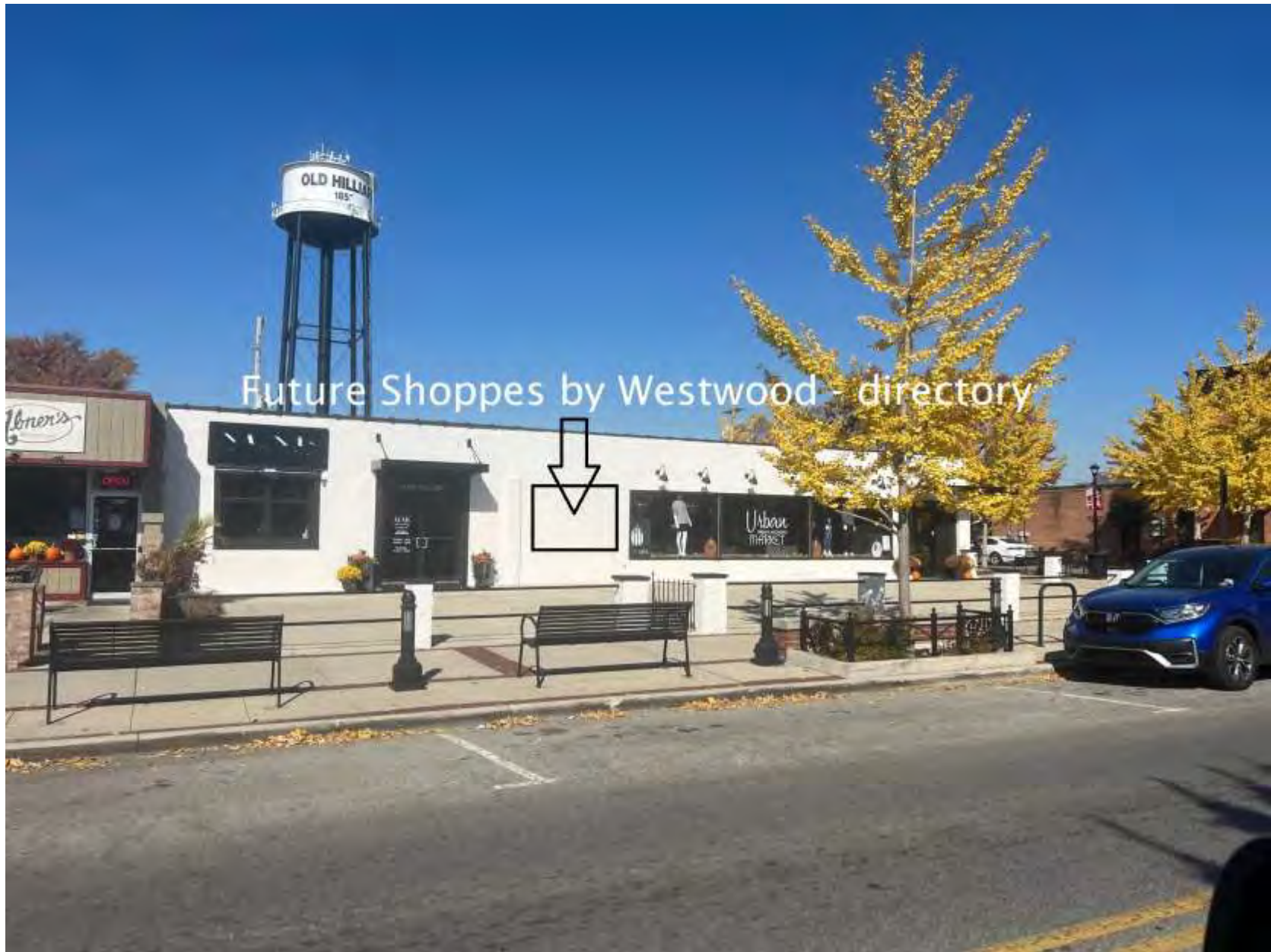
- 1) That each tenant is permitted to have not more than one sandwich board (A-frame) sign with dimensions not greater than 3 feet by 5 feet with not more than four colors;
- 2) That each tenant is permitted to have not more than one projecting sign with dimensions and location as specified by the Sign Code;
- 3) That each tenant is permitted to have wall signage consistent with the provisions of the Sign Code;
- 4) That final designs for any tenant directory signs be specifically approved by the Planning and Zoning Commission; and
- 5) That a sign permit is obtained prior to the installation of each sign.

CONSIDERATIONS:

- *Retail Spaces.* 4055 Main Street includes a total of four retail spaces or suites. The building includes one tenant with access facing Main Street, an additional tenant with corner access facing the intersection of Main and Norwich Streets, and two additional tenant spaces with access onto Norwich Street.
- *Wall Signs.* Wall signage for each tenant will be consistent with the provisions of the Sign Code. The Sign Code permits a maximum of one square foot of sign area for each linear foot of building wall facing the street for each tenant space. A maximum of ½ square foot of sign area for each linear foot of building wall facing a second street is permitted.
- *Projecting Signs.* A maximum of one projecting sign per tenant space will be permitted. The Sign Code permits a maximum projection of three feet from the building and requires the sign to be double faced and not less than eight feet above the sidewalk grade.
- *Sandwich Board.* A maximum of one sandwich board (A-frame) sign not larger than 3-feet-by-5-feet for each tenant would be permitted. The Sign Code permits a maximum of one sandwich board sign per *property* in Old Hilliard with a maximum size of 4 square feet. Sandwich board signs are not permitted on the sidewalk unless the building is located immediately adjacent to the sidewalk in which case the sign may be located subject to the City Engineer’s approval.
- *Tenant Directories.* Two tenant directory wall signs, one on each of the southeast and northeast building elevations is proposed. **Details for these signs have not been provided, and staff recommends that the signs be brought back to the Planning and Zoning Commission for future review.**

[END OF REPORT | PZ-22-66]



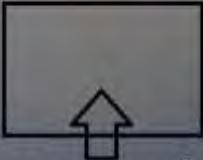




Future Birth Tree - sign



Future OHM - sign



Potential Shoppes by Westwood - directory



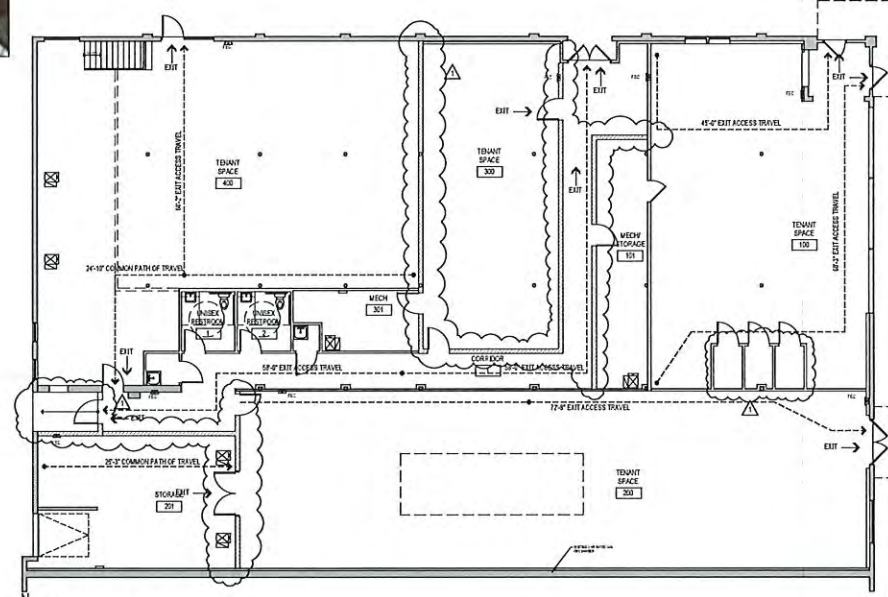
Orange frog Design Group
 411 Meditation Lane
 Columbus, Ohio 43235
 P 614.578.1707



N
 SITE PLAN
 SCALE 1" = 30'

TENANT IMPROVEMENT
 LOCATION

HILLIARD
 Building Standards Division
APPROVED
 PLR-22-29
 08/09/2022
 12:28 PM
 Not a Substitute of Plans
 Approval for details



EGRESS PLAN
 SCALE 1/4" = 1'-0"

HILLIARD RETAIL - TENANT IMPROVEMENT
 4055 MAIN STREET HILLIARD, OHIO 43026



Matthew D. Lepore
 1516659
 REGISTERED ARCHITECT
 STATE OF OHIO

NO.	DATE	REVISION
1	8.3.22	OWNER CHANGES

JOB NO.: 2022-01
 DATE: 5.24.2022

SITE PLAN &
 EGRESS PLAN

A002



Orange Frog Design Group
411 Meditation Lane
Columbus, Ohio 43235
P 614.578.1707

HILLIARD RETAIL - TENANT IMPROVEMENT
4055 MAIN STREET HILLIARD, OHIO 43026



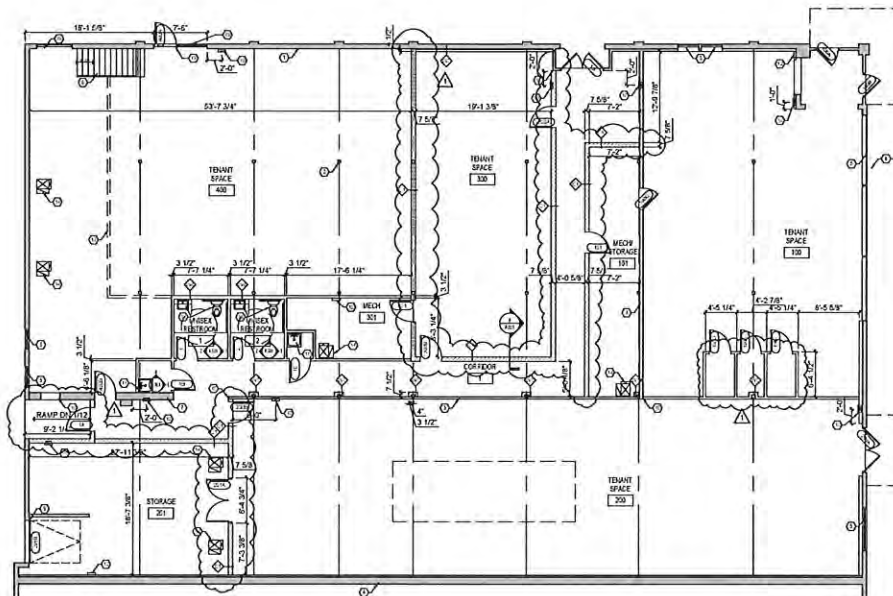
MATTHEW B. LOPEZ, LICENSE # 15105650
EXPIRATION: FEBRUARY 28, 2025

NO.	DATE	REVISION
1	8.3.22	OWNER CHANGES

JOB NO. : 2022-01
DATE : 5.24.2022

FLOOR PLAN

A301



FLOOR PLAN
SCALE: 1/8" = 1'-0"

- LEGEND:**
- DOOR TYPE - SEE SHEET A501
 - WALL TYPE - SEE SHEET A501
 - INTERIOR ELEVATION - SEE SHEET A501

- GENERAL PLAN NOTES:**
- A. ALL INTERIOR DIMENSIONS SHOWN ARE FROM FACE OF STUD. FACE OF MASONRY OR FINISH FACE OF EXISTING WALLS UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE FROM SHEATHING, MASONRY OR CONCRETE UNLESS OTHERWISE NOTED. VERIFY PERFECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
 - B. DASHED LINES ON FLOOR PLAN INDICATE ITEMS ABOVE FLOOR, SUCH AS SOFFIT FACES, CASEWORK, ETC.
 - C. SEE DOOR SCHEDULE FOR INFORMATION ON DOOR TYPES, TYPES, FRAMES AND HINGE SETS.
 - D. CONTRACTOR TO INSTALL SOLID BLOCKING FOR ALL CABINETS, SPECIALTY ITEMS, ETC.
 - E. ALL FIRE RATED PARTITIONS TO EXISTING WALL HEIGHT TO UNDERFACE OF STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.
 - F. SEE FINISH SCHEDULE FOR FINISH SCHEDULES UNLESS OTHERWISE NOTED.
 - G. PROVIDE SOLID BLOCKING AT ALL TOILET ACCESSORIES.
 - H. PAINT ALL HOLLOW METAL DOORS AND FRAMES, ELECTRICAL PANELS, ACCESS PANELS, MISC. TRIM, ETC. EXP. TO VIEW.
 - J. PROVIDE CLASS A FIRE RATED, FIRE RATED INSULATION IN DEMISING WALLS.

- FLOOR PLAN CODED NOTES:**
1. EXISTING STRUCTURE TO REMAIN UNCHANGED - UNLESS OTHERWISE NOTED
 2. EXISTING STRUCTURAL COLUMN TO REMAIN UNCHANGED
 3. EXISTING INTERIOR STUD WALL TO HAVE NEW 5/8" TYPE "X" DRYWALL INSTALLED
 4. EXISTING HOUR RATED CMU WALL TO REMAIN UNCHANGED
 5. EXISTING WINDOW BY STEM TO REMAIN UNCHANGED
 6. EXISTING STAIRS TO THE MECHANICAL LOWER LEVEL - THE LOWER LEVEL IS ON A BELOW GRADE SPACE AND THE REST OF THE BUILDING IS ON GRADE.
 7. EXISTING INTERIOR CMU WALL TO REMAIN UNCHANGED
 8. EXISTING EXTERIOR PART TO REMAIN UNCHANGED
 9. EXISTING OVERHEAD DOORS TO REMAIN UNCHANGED
 10. MULTIPURPOSE DRY-CHEMICAL WPB (A) SERIES FIRE EXTINGUISHER WITH LADDER AND STRUCTURAL HELPERS NEW PROVIDED - FIRE RATED CABINET (P. 5-27.03A)
 11. 2X4X8 WOP SINK WITH FRP ON ADJACENT WALLS - REFER TO THE INTERIOR ELEVATIONS FOR MORE INFORMATION
 12. ELECTRICAL PANELS - REFER TO THE ELECTRICAL DRAWINGS FOR MORE INFORMATION
 13. PLUMBING FIT TYPE - REFER TO MEP DRAWINGS
 14. HVAC EQUIPMENT - REFER TO MEP DRAWINGS
 15. ALIGH NEW WALL STUD WITH THE EXISTING STUD
 16. FILL WITH SAME SIZE CONCRETE BLOCK
 17. PROPOSED STORAGE ROOM WALL LOCATION
 18. NEW CMU BEAM - PAINT TO MATCH EXISTING BUILDING
 19. ALL MAIN STORE FRONT - FINISH 1400 TO BEETS WITH STANDARD SAGE P. 5 TILE DOORS

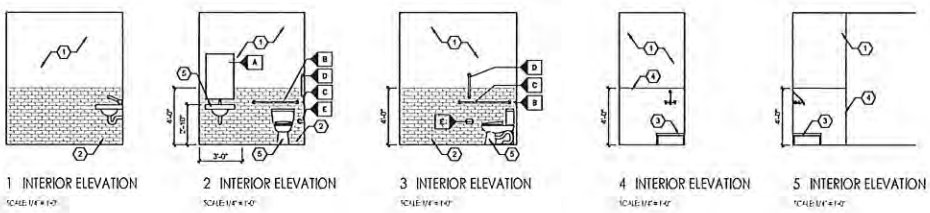
- INTERIOR ELEVATION CODED NOTES:**
1. PAINTED DRYWALL - REFER TO THE FINISH SCHEDULE
 2. SUBWAY TILE - REFER TO THE FINISH SCHEDULE
 3. 2X4X8 WOP SINK WITH FRP ON ADJACENT INTERIOR ELEVATIONS FOR MORE INFORMATION
 4. WHITE FRP BOARD
 5. PLUMBING FIT TYPE - REFER TO MEP DRAWINGS APPROVED



PLR-23-29
08/09/2023

RESTROOM ACCESSORY SCHEDULE

NO.	MODEL	DESCRIPTION	MANUFACTURER
A	U7118-2412	MIRROR W/WS FRAME	GRAND OR EQUAL
B	1100-30T	2" SQUARE BIN	GRAND OR EQUAL
C	1100-40T	4" SQUARE BIN	GRAND OR EQUAL
D	1100-10T	1" SQUARE BIN	GRAND OR EQUAL
E	7101T	TOILET PAPER DISPENSER	GRAND OR EQUAL
F	70-4FB	PAPER TOWEL DISP.	GRAND OR EQUAL
G	6010A	SOAP DISPENSER	GRAND OR EQUAL



1 INTERIOR ELEVATION SCALE: 1/8" = 1'-0"
2 INTERIOR ELEVATION SCALE: 1/8" = 1'-0"
3 INTERIOR ELEVATION SCALE: 1/8" = 1'-0"
4 INTERIOR ELEVATION SCALE: 1/8" = 1'-0"
5 INTERIOR ELEVATION SCALE: 1/8" = 1'-0"

RECORD OF ACTION



Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube

Thursday, July 14, 2022 | 7:00 pm

CASE 6: PZ-22-37 – OLD HILLIARD, LTD – 4055 Main Street
PARCEL NUMBERS: 050-000084, 050-000188
APPLICANT: Old Hilliard, LTD, PO Box 1471 Hilliard, OH 43026; c/o Andrew Warnock, 3523 Goldenrod Street, Hilliard, OH 43026
REQUEST: Approval of an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115.05 for exterior modifications that include metal awnings.

The Planning and Zoning Commission took the following action at this meeting:

MOTION:

Chairman Muether made a motion to approve an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115.05 for exterior modifications that include metal awnings with one condition:

- 1) That required building and electrical permits and inspections be obtained.

Mr. Uttley seconded the motion.

VOTE:

Chairman Muether	Yes
Vice Chair Schneck	Yes
Mr. Gutknecht	Yes
Mr. Lewie	Yes
Ms. Nixon	Yes
Mr. Pannett	Yes
Mr. Uttley	Yes

STATUS:

Case #6: PZ-22-36 was approved (7-0) with one condition*.

CERTIFICATION:



Carson Combs, Planning Manager/Acting Clerk
July 15, 2022

**The Commission cautioned the applicant to follow Code requirements and to obtain necessary approvals and permits in the future.*

[END OF RECORD]

CASE 4: PZ-22-68 – KIMES RESIDENCE – 5190 NORWICH STREET

PARCEL NUMBERS: 050-000321 & 050-000293

APPLICANT: Hayden & Chelsea Kimes, 5190 Norwich Street, Hilliard, OH 43026.

REQUEST: Review & approval of an Old Hilliard District Plan under the provisions of Hilliard Code Chapter 1115 to permit a 3,970-square-foot building addition.

BACKGROUND:

The site consists of two parcels totaling 0.54 acre located on the northeast side of Norwich Street approximately 200 feet southeast of Hamilton Road. The Franklin County Auditor records indicate the 2,210-square-foot house was constructed in 1900. The site also includes a ±980-square-foot detached garage. The applicant is now requesting approval of an Old Hilliard District Plan to permit an addition to the existing dwelling.

COMMISSION ROLE:

The Commission is to review the Old Hilliard District Plan proposal for conformance to the general design criteria as specified in Code Section 1115.05 to determine whether the proposed Old Hilliard District Plan achieves the following criteria:

- Whether the project conforms to neighborhood development goals and the recommendations of the Comprehensive Plan.
- Whether the project is complementary to the historic character of the District.
- Whether the project harmoniously relates to and enhances adjacent structures and public spaces with respect to scale, building materials, setbacks and similar design elements.
- Whether the proposal accommodates and promotes pedestrian activity through wide sidewalks, linkages to surrounding uses and public spaces and minimal conflicts with vehicular access.
- Whether the project contributes to the area's sense of place, reinforce Old Hilliard's unique character and enhance the people-oriented setting.
- Whether the proposal places special emphasis on creating people-oriented facades along Main and Norwich Streets and are facades in scale with pedestrian activity and movement with entrances that are well-defined and inviting.
- Whether the proposed plan addresses specific design requirements for architecture, building materials, color, roof forms, windows, mechanicals, awnings, landscaping, screening, parking, utilities, maintenance and signage as provided for in Section 1115.05.

Following approval by the Commission, the applicant may submit for permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposal is consistent with the provisions of the Zoning Code and furthers the goals of the Hilliard Comprehensive Plan and generally meet the criteria for an Old Hilliard District Plan. Based on these findings, staff recommends approval of the proposal with the following four conditions:

- 1) That a variance to reduce the minimum side yard from 5 feet to 3.5 feet is obtained from the Board of Zoning Appeals;
- 2) That the garage is located not less than 50 feet from the Norwich Street right-of-way line;
- 3) That exterior materials and colors are consistent with those proposed, subject to staff approval; and
- 4) That a building permit is obtained prior to construction.

CONSIDERATIONS:

- The site is zoned OH-RD, Old Hilliard Residential District. Single-family residence is a permitted use in this zoning district. The Hilliard Comprehensive Plan recommends the site for medium-density residential housing. New infill development should follow the residential and architectural pattern that exists. Parking should be located as to not dominate the front of the structure and side-loaded or detached garages are preferred. Front porches and patios are strongly encouraged in this area.
- According to Hilliard Code Section 1115.05, the architectural design of buildings must create and enhance the community image. Variations in façade elements shall be incorporated into all sides of the principal building to minimize the perceived mass and scale. The width of a principal building façade along a public street shall be a minimum of 60 percent of the lot width. Colors shall be neutral and natural tones with low reflectivity. Accent and trim colors must complement the effect of the primary building color. Bold, brash, intense, bright, fluorescent, black or metallic accent colors are prohibited, unless approved by the Planning and Zoning Commission for very limited application. All exterior colors should be subdued, with strong colors such as reds, blues, and golds, etc., should only be applied to trim and accent being avoided. Roof colors shall be muted and compatible with the dominant building color. Sloped roofs shall be a minimum 6/12 pitch and a maximum 12/12 pitch.
- Development standards in the OH-RD zoning district include a front setback of 0 to 25 feet, minimum 5-foot side yard on one side, minimum 12-foot total side yards, minimum 25-foot rear yard, maximum 35-foot building height, and minimum 1,300-square-foot floor area.
- The proposal includes the demolition of the rear half of the existing house and the existing detached garage. The proposed addition consists of a new front porch, new first and second floors at the rear of the house, and a 3-car garage on the southeast side of the house. With the proposed addition, setbacks will be 25.5 feet from the Norwich Street right-of-way line, 26.8 feet from the northwest property line, 3.5 feet from the southeast property line, and approximately 158 feet from the rear property line. It should be noted that the garage will be set back approximately 58 feet from the Norwich Street right-of-way line to not dominate the front of the house consistent with the recommendations in the Comprehensive Plan. **The applicant has applied to the Board of Zoning Appeals seeking a variance to reduce the required side yard from 5 feet to 3.5 feet for the proposed addition. The application is scheduled on the December 15, 2020, Board of Zoning Appeals agenda.**
- The proposed two-story building addition includes 1,163 square feet on the first floor, 1,826 square feet on the second floor, and, on the southeast side of the house, a 981-square-foot attached garage and a new chimney. A new front porch is proposed along the entire front of the house and along a portion of the northwest side and will feature a standing seam metal roof. Exterior materials for the proposed addition include horizontal composite board siding (Hardie Plank 8-inch exposure – Sherwin Williams SW 7008 “Alabaster”) in combination with composite board shingle siding (Hardie Shingle Siding SW 7008 “Alabaster”), standing seam metal roofing (Galvanized color) on the front porch and a portion of the rear elevation, and asphalt shingles (CertainTeed Landmark Pro “Moire Black”). The chimney is shown with cultured stone (Dutch Quality “Kentucky Limestone” or “Tuscan Ridge”). The proposed roof pitch is 10/12, except on the front porch which ranges from 3/12 to 4.5/12. Proposed windows are white double-hung 2-over-2 panels consistent with those on the existing dwelling. The front door and side porch door are red (Sherwin Williams SW 7587 “Antique Red”), and all other exterior doors including the garage door are white (Sherwin Williams SW 7008 “Alabaster”). Shutters are blue (Sherwin Williams SW 6244 “Naval Blue”) and gutters and downspouts are white. Exterior trim and soffits will match the siding color.

[END OF REPORT | PZ-22-68]





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ANY DISCREPANCIES BETWEEN WORK SHOWN ON THIS SET OF DRAWINGS AND THE EXISTING CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE INFORMATION PROVIDED AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES BEFORE THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES BEFORE THE COMMENCEMENT OF CONSTRUCTION.

C.K. MEAS. CD22
(213566)

KIMES RESIDENCE - PHASE 2
580 WOODCHURCH STREET
HILLIARD, OHIO 43026
AS-BUILT/DEMO FOUNDATION PLAN

NOTE:

1. VERIFY ALL WALLS WITH PROPOSED FLOOR PLANS. ADDITIONAL TEAR OUT NOT SHOWN ON PLAN MAY BE NEEDED TO INSTALL PROPS AND COLUMNS FOR NEW POINT LOADS.
2. BUILDER TO VERIFY ALL NEW AND EXISTING POINT LOADS TRANSFER DOWN TO FOUNDATION.
3. VERIFY EXISTING STRUCTURE IS ACCURATE AND AS IN THESE DRAWINGS. VARIATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR ENGINEER AS SOON AS THEY ARE IDENTIFIED.

GENERAL MAINTENANCE NOTES:

1. REPLACE EXISTING DOORS AND WINDOWS AS NEEDED. VERIFY FIT SAME WITH OWNER/BUILDER.
2. REMOVE EXISTING CORNER BOARDS, FREEZE BOARDS, FASCIA'S, BRACKETS AND WINDOW DOOR TRIM. ITEMS TO BE REPLACED WITH NEW BRACKETS PER OWNER/BUILDER SPECIFICATIONS. ALL CORNER BOARDS, FREEZE BOARDS, FASCIA'S, BRACKETS AND WINDOW DOOR TRIM TO BE REPAIRED OR REPLACED AS NEEDED. VERIFY FITS WITH BUILDER/OWNER.
3. REMOVE AND REPLACE EXISTING GUTTERS AND DOWN SPOUTS WITH NEW EQUIVALENTS.
4. CONTRACTOR SHALL INVESTIGATE EXISTING STRUCTURE OF HOUSE SO AS TO RESPONDING ANY APPROPRIATE ACTION NEEDED TO ENSURE THE INTEGRITY OF THE EXISTING STRUCTURES.
5. ELECTRICAL CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL SYSTEMS AND RECOMMEND IMPROVEMENTS TO SAFE.

DESCRIPTION OF WORK:

- A. UNCOVER WORK TO PROVIDE FOR INSTALLATION OF NEW WORK OR REPAIR OR BOTH.
- B. REMOVE EXISTING WALLS, FLOORS, CEILING'S WHERE SHOWN ON PLANS OR AS NEEDED TO ACCOMMODATE INSTALLATION OF THE NEW WORK.

QUALITY ASSURANCE:

- A. PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL CODES AND SPECIFICATIONS.
- B. USE ADEQUATE NUMBERS OF SKILLED WORKERS WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY TRADES AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF WORK.

NOTICES TO RESIDENTIAL DESIGNER:

ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS IN THE NOTES, DIMENSIONS AND/OR DRAWINGS CONTAINED ON THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES THE ACCEPTANCE OF THESE CONDITIONS AND ANY DISCREPANCIES, ERRORS, OR OMISSIONS EXCEPT THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

REUSING AND SAVING MATERIAL:

- A. PRIOR TO DEMOLITION, CONTRACTOR AND OWNER SHALL WALK THROUGH THE PROJECT SITE AND CREATE A LISTEN LIST OF MATERIALS AND LANDSCAPING THAT ARE TO BE SAVED, OR REMOVED AND SAVED FOR USE BY OWNER, REMOVED AND SAVED FOR REINSTALLATION BY THE CONTRACTOR, AND/OR REMOVED AND SAVED FOR REUSE. ALL OTHER MATERIALS NOT SO LISTED SHALL BE REMOVED FROM THE SITE IN AN APPROPRIATE AND SAFE MANNER IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- B. ANY ITEM ON THE "SAVE LIST" INADVERTENTLY REMOVED AND NOT SAVED OR OTHERWISE DAMAGED OR LOST BY CONTRACTOR SHALL BE REPLACED, RESTORED OR REPAIRED, AT NO ADDITIONAL COST TO OWNER.

MATERIALS:

- A. FOR REPLACEMENT WORK AND ALL NEW WORK, USE MATERIALS WHICH MATCH EXISTING MATERIALS OR ALTERNATE MATERIALS WITH THE APPROVAL OF THE OWNER.
- B. ALL OTHER MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR PROPER AND COMPLETE INSTALLATION OF THE WORK OF THE SECTION SHALL BE SELECTED BY THE CONTRACTOR SUBJECT TO APPROVAL BY THE OWNER.

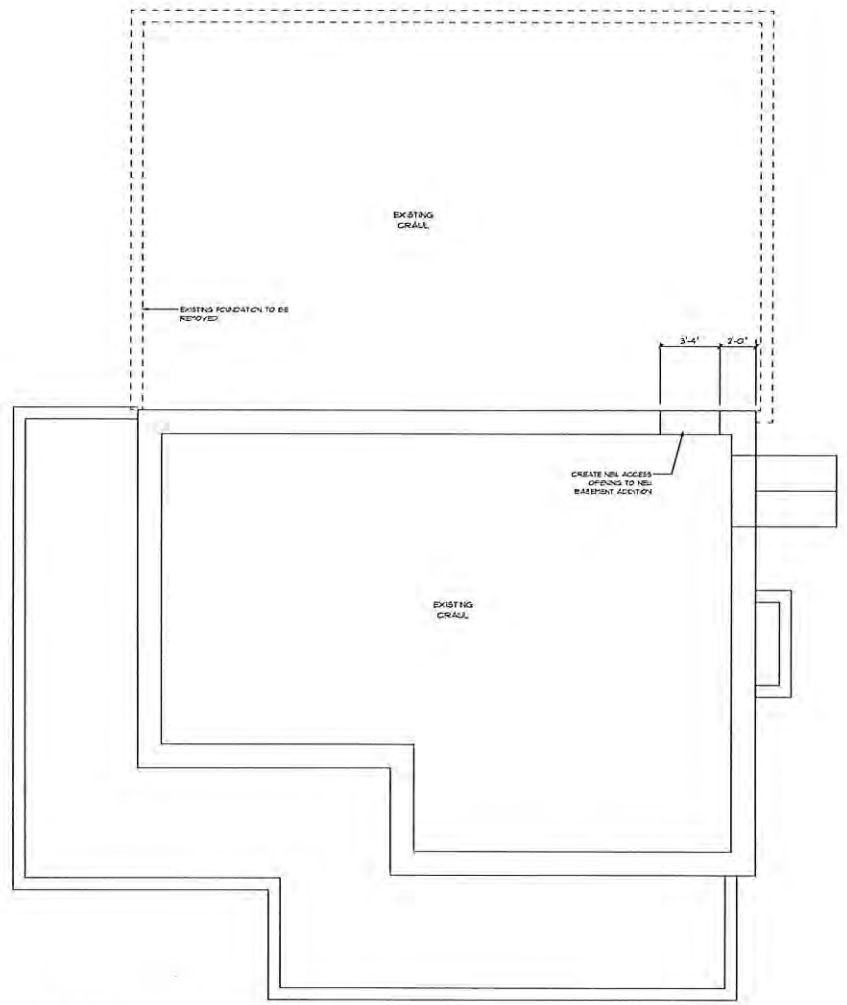
INSPECTION:

- A. INSPECT EXISTING CONDITIONS INCLUDING ELEMENTS SUBJECT TO POVERTMENT OR DAMAGE DURING CUTTING, EXCAVATING, BACK FILLING, PATCHING AND OTHER RELATED DEMOLITION WORK.
- B. AFTER UNCOVERING THE WORK, INSPECT CONDITIONS AFFECTING INSTALLATION OF NEW WORK.
- C. IF UNCOVERED CONDITIONS ARE NOT ANTICIPATED, IMMEDIATELY NOTIFY THE DESIGNER AND SECURE NEEDED DIRECTIONS. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED.
- D. PROVIDE ALL REQUIRED PROTECTION INCLUDING, BUT NOT NECESSARILY LIMITED TO, SIGNAGE, BRACING AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF THE WORK AND ANY ADJACENT STRUCTURES, PROTECTION FROM DAMAGE TO ALL LANDSCAPING NOT DESIGNATED FOR REMOVAL, PROTECTION TO ALL PUBLIC WALKWAYS AND STREETS.
- E. PERFORM ALL REQUIRED EXCAVATING AND BACK FILLING AS REQUIRED. PERFORM CUTTING, REMOVAL AND DEMOLITION WORK BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER PORTIONS OF THE WORK AND ADJACENT PUBLIC AND PERSONAL AND REAL PROPERTY, AND WILL PROVIDE PROPER ENCLOSURES TO RECEIVE INSTALLATION OF REPAIR AND NEW WORK.

NOTE:

1. ALL HALF TONE DAMAGED WALLS TO BE REMOVED WITH CAUTION TO MAKE WAY FOR NEW WALLS AND/OR CORNER BRACKETS.
2. VERIFY ALL WALLS WITH PROPOSED FLOOR PLANS. ADDITIONAL TEAR OUT NOT SHOWN ON PLAN, MAY BE NEEDED TO INSTALL PROPS AND COLUMNS FOR NEW POINT LOADS.
3. BUILDER TO VERIFY ALL NEW AND EXISTING POINT LOADS TRANSFER DOWN TO FOUNDATION.
4. VERIFY EXISTING STRUCTURE IS ACCURATE AND AS IN THESE DRAWINGS. VARIATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR ENGINEER AS SOON AS THEY ARE IDENTIFIED.

NOTE TO CONTRACTOR AND FELLOW SUB-CONTRACTORS:
IT IS VERY DIFFICULT TO CORRECT EXACT EXISTING, PRESENT ARCHITECTURAL CONDITIONS SUCH AS ROOF PITCHES, TOPOGRAPIES, ENCLOSED STRUCTURAL MATERIALS AND EXISTING MECHANICAL AND PLUMBING CONDITIONS. IF DISCREPANCIES OR CONFLICTS BETWEEN NEWLY ISSUED SPACES AND EXISTING PORTIONS APPEAR, NOTIFY RESIDENTIAL DESIGNED SOLUTIONS IMMEDIATELY AND BEFORE CONTINUING CONSTRUCTION. CONTINUING COULD LEAD TO ADDITIONAL AND POTENTIALLY EXPENSIVE ACCUMULATIVE CIRCUMSTANCES OCCURRING.



AS-BUILT/DEMO FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

DATE: 02/11/11
SCALE: 1/4" = 1'-0"
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT: 10221011

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ANY DISCREPANCIES, ERRORS, OMISSIONS, AND/OR CONFLICTS IN THE NOTES, DIMENSIONS, AND/OR DRAWINGS CONTAINED ON THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES THE ACCEPTANCE OF THESE DOCUMENTS AND ANY DISCREPANCIES, ERRORS, OR OMISSIONS BECOME THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

C.K.HES.CD292
(2/2016)

KIMES RESIDENCE - PHASE 2
 890 NORTONVILLE STREET
 HILLIARD, OHIO 43026
AS-BUILT/DEMO FIRST FLOOR PLAN

DATE	BY	REVISED

AS.2.0

NOTE:
VERIFY EXISTING FLOOR
SUPPORT AT DEPICED WALLS.

NOTE:
1. VERIFY ALL WALLS WITH PROPOSED FLOOR PLANS. ADDITIONAL TEAR OUT, NOT SHOWN ON PLAN, MAY BE NEEDED TO INSTALL FRAMING AND COLLARS FOR NEW FRONT LOADS.
2. BUILDER TO VERIFY ALL NEW AND EXISTING POINT LOADS TRANSFER DOWN TO FOUNDATION.
3. VERIFY EXISTING STRUCTURE IS ADEQUATE AND AS NEEDED, THESE DRAWINGS VARIATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR ENGINEER AS SOON AS THEY ARE IDENTIFIED.

GENERAL MAINTENANCE NOTES:

1. REPLACE EXISTING DOORS AND WINDOWS AS NEEDED. VERIFY SIZES WITH OWNER/BUILDER.
2. REMOVE EXISTING CORNER BOARDS, PRISSE BOARDS, PASCALS, RAKES BEAMS AND WINDOW DOOR TRIM. BEAMS TO BE REPLACED WITH VINYL BEAMS PER OWNER BUILDER SPECIFICATIONS. ALL CORNER BEARDS, PRISSE BOARDS, PASCALS, RAKES, AND WINDOW DOOR TRIM TO BE REPAIRED OR REPLACED AS NEEDED. VERIFY SIZES WITH BUILDER/OWNER.
3. REMOVE AND REPLACE EXISTING GUTTERS AND DOWN SPOUTS WITH NEW EQUIVALENTS.
4. CONTRACTOR SHALL INVESTIGATE EXISTING STRUCTURE ON HOUSE SO AS TO RECOMMEND ANY APPROPRIATE ACTION NEEDED TO ENSURE THE INTEGRITY OF THE EXISTING STRUCTURES.
5. ELECTRICAL CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL SYSTEMS AND RECOMMEND IMPROVEMENTS TO BATH.

DESCRIPTION OF WORK:

- A. UNCOVER WORK TO PROVIDE FOR INSTALLATION OF NEW WORK OR REPAIR OR BOTH.
- B. REMOVE EXISTING WALLS, FLOORS, CEILINGS WHERE SHOWN ON PLANS OR AS NEEDED TO ACCOMMODATE INSTALLATION OF THE NEW WORK.

QUALITY ASSURANCE:

- A. PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL CODES AND SPECIFICATIONS.
- B. USE ADEQUATE NUMBER OF SKILLED WORKERS WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF WORK.

NOTICES TO RESIDENTIAL DESIGNER:

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REUSING AND SAVING MATERIAL:

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- B. ANY ITEM ON THE "SAVE LIST" AND/VERTICALLY REMOVED AND NOT SAVED OR OTHERWISE DAMAGED OR LOST BY CONTRACTOR SHALL BE REPLACED, RESTORED OR REPAIRED AT NO ADDITIONAL COST TO OWNER.

MATERIALS:

- A. FOR REPLACEMENT WORK AND ALL NEW WORK, USE MATERIALS WHICH MATCH EXISTING MATERIALS OR ALTERNATE MATERIALS WITH THE APPROVAL OF THE OWNER.
- B. ALL OTHER MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR PROPER AND COMPLETE INSTALLATION OF THE WORK OF THE SECTION SHALL BE SELECTED BY THE CONTRACTOR SUBJECT TO APPROVAL BY THE OWNER.

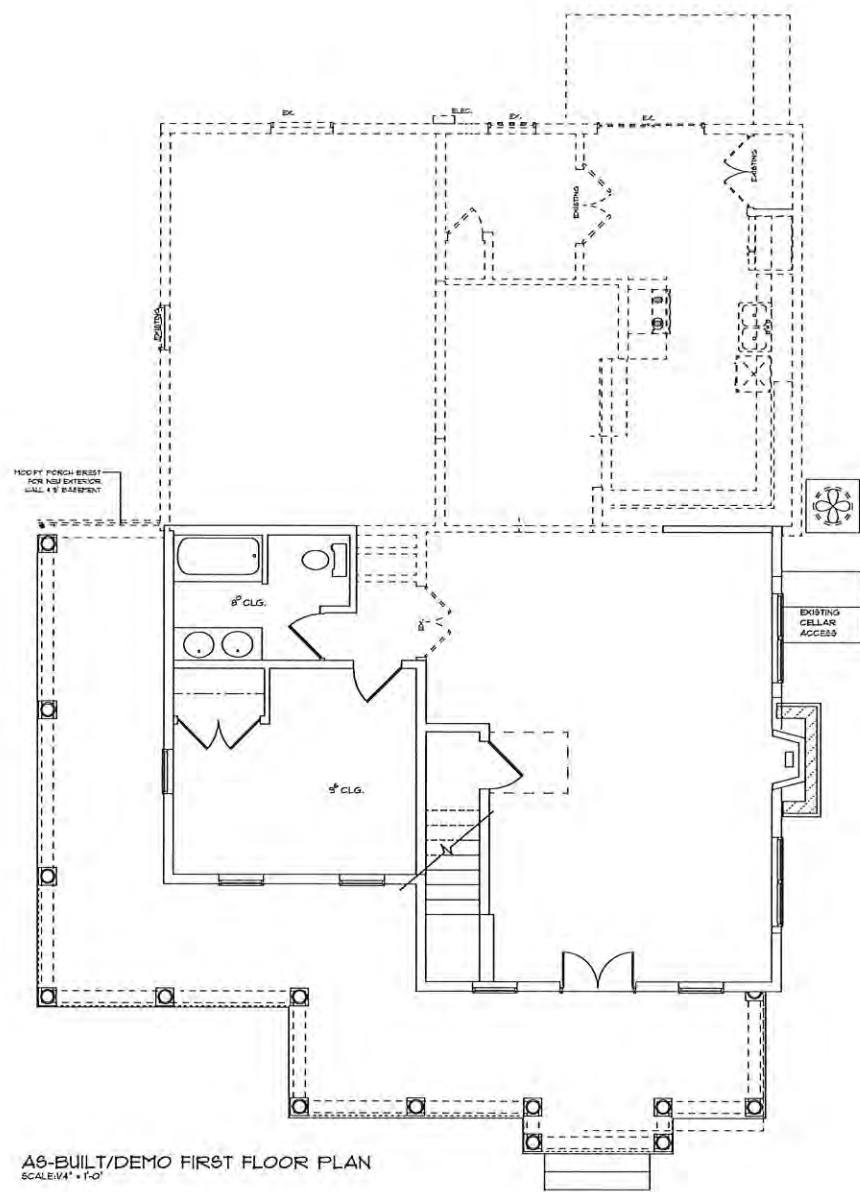
INSPECTION:

- A. INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO PREVENT OR DAMAGE DURING CUTTING, EXCAVATING, BACK FILLING, PATCHING AND OTHER RELATED DEMOLITION WORK.
- B. AFTER UNCOVERING THE WORK, INSPECT CONDITIONS AFFECTING INSTALLATION OF NEW WORK.
- C. UNDESIRABLE CONDITIONS ARE NOT ANTICIPATED. IMMEDIATELY NOTIFY THE DESIGNER AND RECORD NEEDED DIRECTIONS. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED.
- D. PROVIDE ALL REQUIRED PROTECTION INCLUDING, BUT NOT NECESSARILY LIMITED TO, BRACING, BRACING AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF THE WORK AND ANY ADJACENT STRUCTURES; PROTECTION FROM DAMAGE TO ALL LANDSCAPING NOT DESIGNATED FOR REMOVAL; PROTECTION TO ALL PUBLIC CALCULATES AND STREETS.
- E. PERFORM ALL REQUIRED EXCAVATING AND BACK FILLING AS REQUIRED. PERFORM CUTTING, REMOVAL AND DEMOLITION WORK BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER PORTIONS OF THE WORK AND SURROUNDING PUBLIC AND PERSONAL AND REAL PROPERTY AND WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIR AND NEW WORK.

NOTE:

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NOTE TO CONTRACTOR AND FELLOW SUB-CONTRACTORS:
IT IS VERY DIFFICULT TO CAPTURE EXACT EXISTING PHYSICAL ARCHITECTURAL CONDITIONS SUCH AS ROOF PITCHES, TOPOGRAPHIES, ENCLOSED STRUCTURAL MATERIALS AND EXISTING MECHANICAL AND PLUMBING CONDITIONS. IF DISCREPANCIES OR CONFLICTS BETWEEN NEWLY DESIGNED BRACES AND EXISTING CONDITIONS APPEAR, NOTIFY RESIDENTIAL DESIGNED SOLUTIONS IMMEDIATELY AND BEFORE CONTINUING CONSTRUCTION. CONTINUING COULD LEAD TO ADDITIONAL AND POTENTIALLY EXPENSIVE ACCUMULATIVE CROSS-BRACES GOING DOWN.



AS-BUILT/DEMO FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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FOR CONTRACTS OTHER THAN ONE ON OTHER THAN THE STATE OF OHIO, THE DESIGNER AND/OR ARCHITECT ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR SYSTEM OR FOR THE ACCURACY OF THE INFORMATION AND DOCUMENTS PROVIDED BY THE CLIENT OR CONTRACTOR. THE DESIGNER AND/OR ARCHITECT ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR SYSTEM OR FOR THE ACCURACY OF THE INFORMATION AND DOCUMENTS PROVIDED BY THE CLIENT OR CONTRACTOR.

C.K.M.E.S., C.D.S.
 (713) 564

KIMES RESIDENCE - PHASE 2
 5700 NORWICH STREET
 HILLIARD, OHIO 43126
 AS-BUILT/DEMO SECOND FLOOR PLAN

DATE	BY
2022.10.11	
2022.10.11	
2022.10.11	
2022.10.11	

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NOTE:

1. VERIFY ALL WALLS WITH PROPOSED FLOOR PLANS. ADDITIONAL TEAR OUT, NOT SHOWN ON PLAN, MAY BE NEEDED TO INSTALL STUDS AND COLUMN FOR NEW POINT LOADS.
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GENERAL MAINTENANCE NOTES:

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DESCRIPTION OF WORK

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QUALITY ASSURANCE

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NOTICES TO RESIDENTIAL DESIGNER

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REMOVING AND SAVING MATERIAL

- A. PRIOR TO DEMOLITION, CONTRACTOR AND OWNER SHALL WALK THROUGH THE PROJECT SITE AND CREATE A WRITTEN LIST OF MATERIALS AND LANDSCAPING THAT ARE TO BE SAVED, OR REMOVED AND SAVED FOR USE BY OWNER. REMOVED AND SAVED FOR RENOVATION BY THE CONTRACTOR. ANY AND ALL MATERIALS NOT ON LISTED SHALL BE REMOVED FROM THE SITE IN AN APPROPRIATE AND SAFE MANNER IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
- B. ANY ITEM ON THE "SAVE LIST" INADVERTENTLY REMOVED AND NOT SAVED OR OTHERWISE DAMAGED OR LOST BY CONTRACTOR SHALL BE REPLACED, RESTORED, OR REPAIRED AT NO ADDITIONAL COST TO OWNER.

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- B. ALL OTHER MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR PROPER AND COMPLETE INSTALLATION OF THE WORK OF THE SECTION SHALL BE SELECTED BY THE CONTRACTOR SUBJECT TO APPROVAL BY THE OWNER.

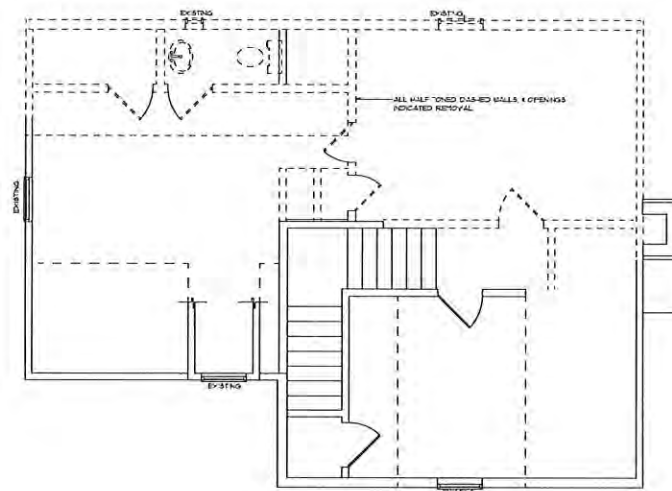
INSPECTION

- A. INSPECT EXISTING CONDITIONS INCLUDING ELEMENTS SUBJECT TO COVERUP OR DAMAGE DURING CUTTING, EXCAVATING, BACK FILLING, PAINTING AND OTHER RELATED DEMOLITION WORK.
- B. AFTER UNCOVERING THE WORK, INSPECT CONDITIONS AFFECTING INSTALLATION OF NEW WORK.
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- D. PROVIDE ALL REQUIRED PROTECTION INCLUDING, BUT NOT NECESSARILY LIMITED TO, BRACING, SHORING, AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF THE WORK AND ANY ADJACENT STRUCTURES. PROTECTION FROM DAMAGE TO ALL LANDSCAPING NOT DESIGNATED FOR REMOVAL PROTECTION TO ALL PUBLIC WALKWAYS AND STREETS.
- E. PERFORM ALL REQUIRED EXCAVATING AND BACK FILLING AS REQUIRED. PERFORM CUTTING, REMOVAL AND DEMOLITION WORK BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER PORTIONS OF THE WORK AND BRACINGS PUBLIC AND PERSONAL AND REAL PROPERTY AND WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIR AND NEW WORK.

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NOTE TO CONTRACTOR AND FELLOW SUB-CONTRACTORS:
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AS-BUILT/DEMO SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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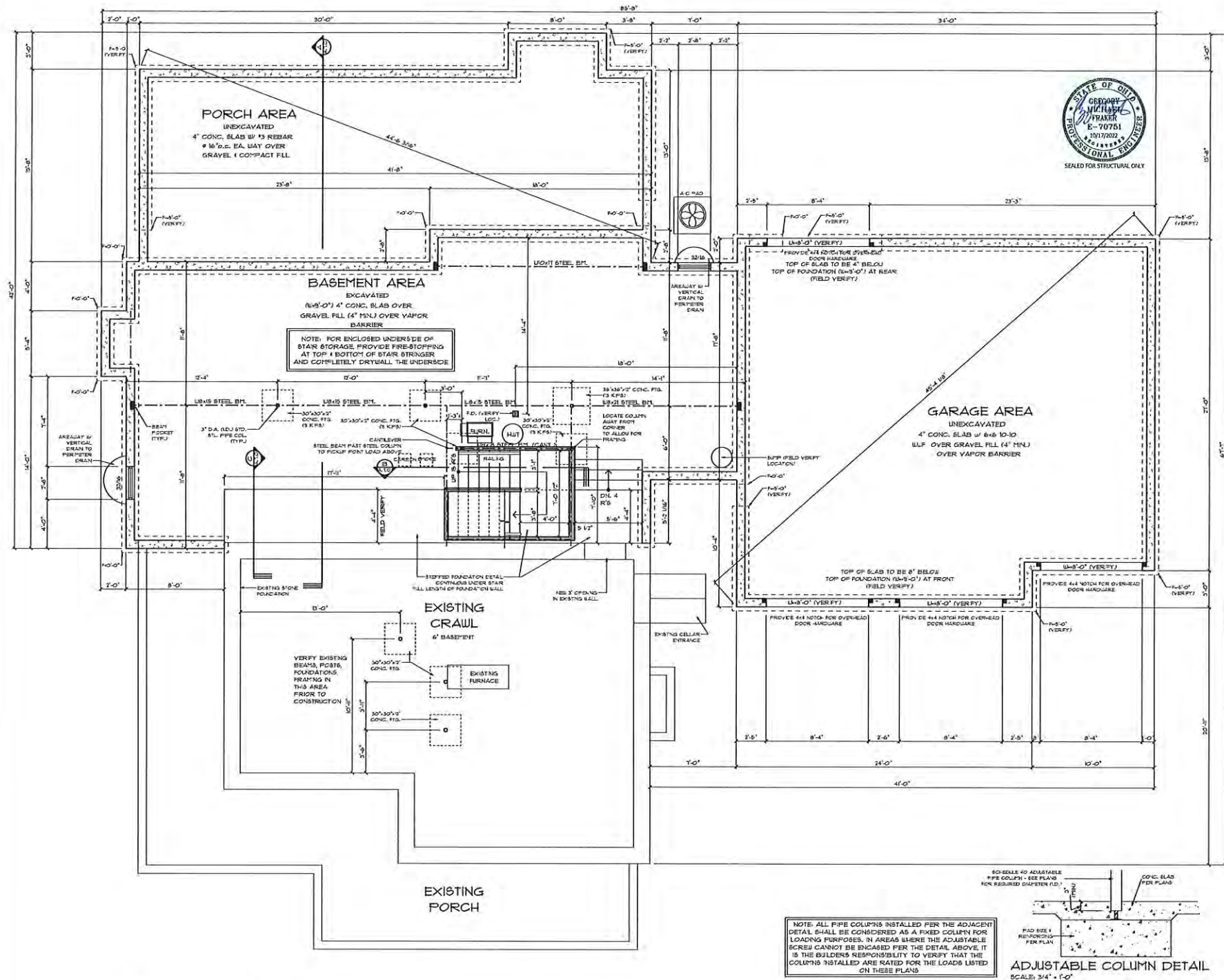
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AIBD AMERICAN INSTITUTE OF BUILDING DESIGNERS

NARI NATIONAL ASSOCIATION OF RESIDENTIAL RENOVATORS

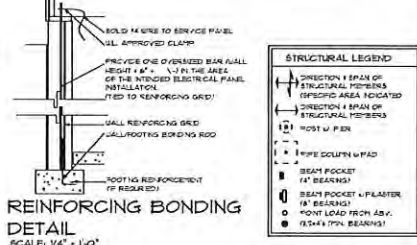
DATE	BY	REV.



NOTE: REFER TO SHEET C&L.O FOR GENERAL FRAMING NOTES.

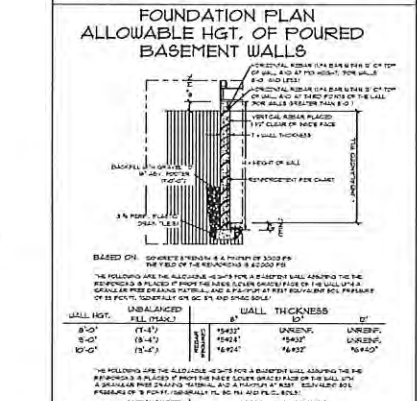
FOUNDATION NOTES:

- REFER TO GENERAL NOTES AND GENERAL CODE REQUIREMENTS ON SHEET C&L.O.
- ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8" x 8" CONTINUOUS POURED CONCRETE FOOTING.
- ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8" x 8" CONTINUOUS POURED CONCRETE FOOTING.
- CONCRETE FOOTING TO BE REINFORCED AS FOLLOWS: 30#30#2 (1) #3 @ 18" ON C, (2) #3 @ 18" ON S, (3) #3 @ 18" ON W, (4) #3 @ 18" ON E.
- ANCHOR BOLTS TO BE PROVIDED PER MANUFACTURERS RECOMMENDED SPACING 18" ON C, (2) #3 @ 18" ON S, (3) #3 @ 18" ON W, (4) #3 @ 18" ON E.
- ALL STEEL COLUMNS NOTED ON PLANS ARE TO BE 40#50#40 (40#50#40) ALL STEEL COLUMN 8" DIA ON PLANS ARE INTERIOR DIAMETER (I.D.)
- ALL PRECAST CONCRETE LINTELS AT FOOTING LEVEL, CHANGES SHALL HAVE 8" DIA #3 BEAMS AT EACH END.
- ALL STEEL BEAMS ARE DESIGNED FOR 30 KSI STEEL.
- WHEN REBAR IS INSTALLED IN THE FOOTING WALL REINFORCING SHALL BE BENDED TO THE FOOTING REINFORCING.
- WHEN REBAR IS INSTALLED IN THE FOOTING, PER 5095 N.E.C. ARTICLE (20.20), ALL HORIZONTAL REINFORCING RODS IN THE FOOTING WHICH ARE GREATER THAN 20 SHALL BE BENDED TO THE SERVICE PANEL WITH THE SAME U.L. LISTED CLAMP USED FOR THE GROUND ROD. 1/4" SOLID COPPER LONG SHOULD BE INSTALLED AT THE SERVICE PANEL. CONNECTION OF THE INSTALLATION SHALL BE DONE AT THE TIME OF FOOTING INSPECTION.
- WINDOW WELLS WITH A VERTICAL DEPTH MORE THAN 44" SHALL BE EQUIPPED WITH A PERMANENTLY ATTACHED LADDER OR STEPS USABLE WITH THE WINDOW. THE FULLY OPEN POSITION LADDER OR STEPS SHALL HAVE AN INCH BENCH OF AT LEAST 6". SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 6" ON VERTICALLY FOR THE HEIGHT OF THE WINDOW WELL.
- DRAINS SHALL BE PROVIDED AROUND ALL CONCRETE OR MASONRY FOUNDATIONS THAT RETAIN EARTH AND THROUGH HABITABLE OR USABLE SPACES BELOW GRADE. APPROVED DRAINAGE SYSTEMS OR MATERIALS SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR PRESSURE INTO AN APPROVED DRAINAGE SYSTEM. GRAVEL OR CRUSHED STONE SHALL BE USED AT LEAST 1 FOOT BELOW THE OUTSIDE EDGE OF THE FOOTING AND 4 INCHES ABOVE THE TOP OF THE FOOTING AND BE PROTECTED WITH FILTER FABRIC. FILTER FABRIC SHALL BE PLACED ON 2 INCHES MINIMUM OF WASHED GRAVEL OR CRUSHED ROCK AT LEAST ONE INCH LARGER THAN THE TILE JOINT OPENING ON FOOTING AND COVERED WITH NOT LESS THAN 6 INCHES OF THE SAME MATERIAL.
- FIELD VERIFY THE FINISHED FOUNDATION WALL HEIGHT AT ALL EXTERIOR PORTIONS TO PROVIDE A MINIMUM 1/4" (1/4") PLUMB SLOPE AT EXTERIOR CORNERS AND AT THE FOUNDATION WALL HEIGHT AT PORTIONS AS REQUIRED TO ALLOW FOR DESIRED FINISHES AND/OR DETAILS.



NOTE: HABITABLE SPACES IN EXISTING BASEMENTS SHALL HAVE A CEILING HEIGHT NOT LESS THAN 6'-8". OBSTRUCTIONS MAY PROJECT TO WITHIN 6'-4" OF THE BASEMENT FLOOR.

PLEASE NOTE: IF ANOTHER SEALED FOUNDATION REINFORCEMENT DETAIL IS ATTACHED TO THIS PLAN SET IT WILL SUPERSEDE THE BELOW SEALED DETAIL. THE ENGINEER OF RECORD FOR THIS CONSTRUCTION DOCUMENT THEN ASSUMES ABSOLUTE LIABILITY FOR THE FOUNDATION WALL REINFORCEMENT DESIGN HIS ABILITY TO CARRY SPECIFIC DESIGN LOADS.



NOTE: ALL PIPE COLUMNS INSTALLED FOR THE ADJACENT DETAIL SHALL BE CONSIDERED AS A FIXED COLUMN FOR LOADING PURPOSES. IN AREAS WHERE THE ADJUSTABLE SCREWS CANNOT BE ENGAGED PER THE DETAIL ABOVE, IT IS THE BUILDERS RESPONSIBILITY TO VERIFY THAT THE COLUMNS INSTALLED ARE RATED FOR THE LOADS LISTED ON THESE PLANS.

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

KIMES RESIDENCE - PHASE 2
5810 NORWICH STREET
HILLIARD, OHIO 43026

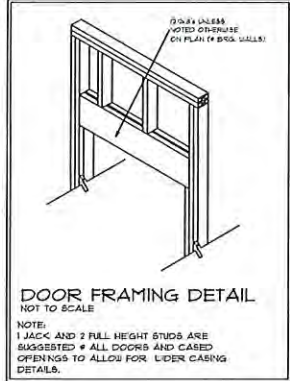
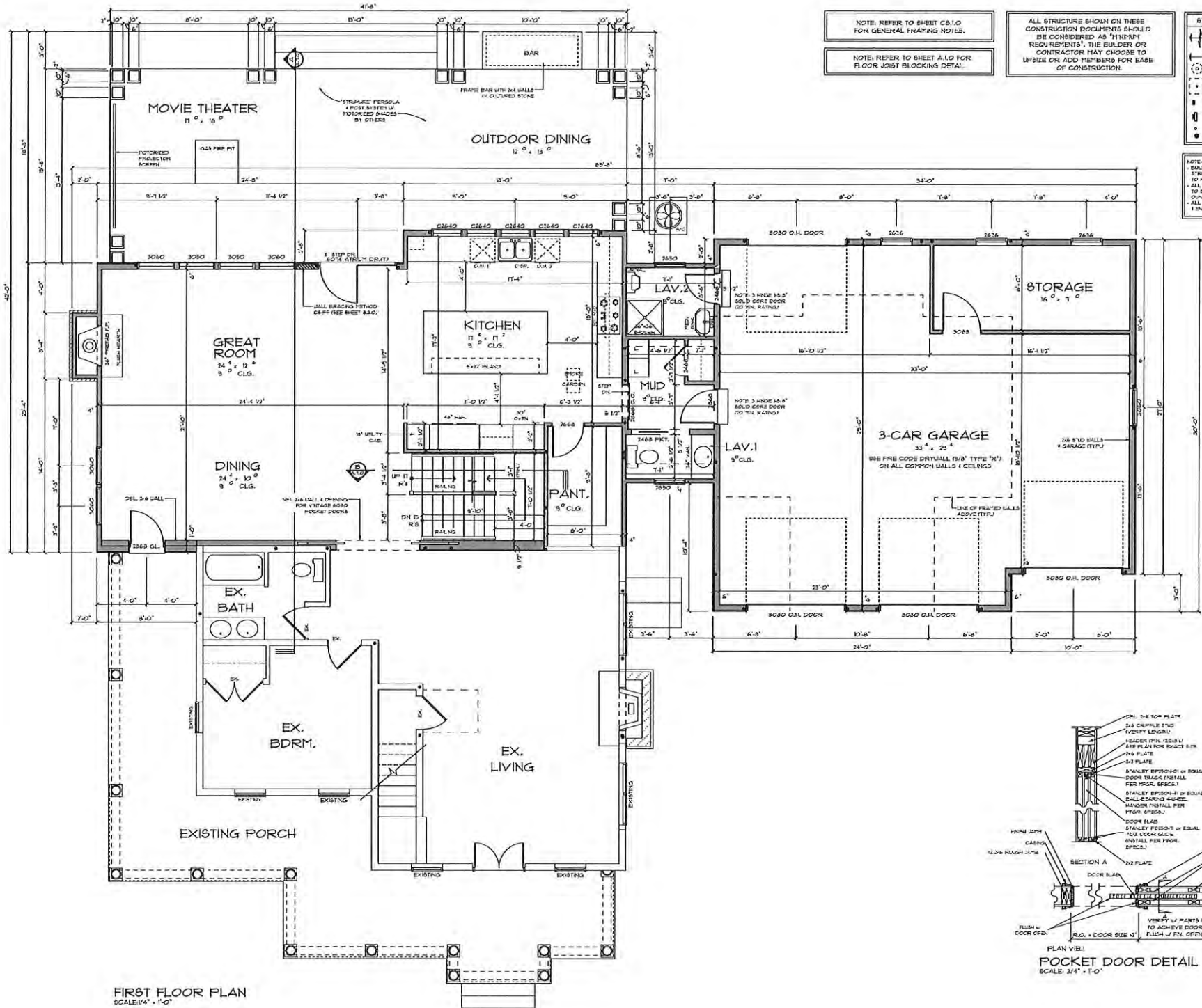
FOUNDATION PLAN

C.K.H.M.S. CD 02 (2024)

DATE: 02/20/24

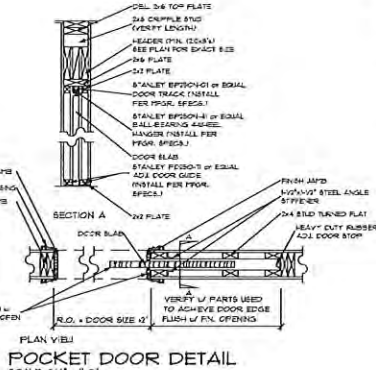
SCALE: 1/4" = 1'-0"

A.1.0



- FLOOR PLAN NOTES:**
- REFER TO GENERAL NOTES AND GENERAL CODE REQUIREMENTS ON SHEET C8.1.0.
 - ALL WALLS ARE EXPANDED STUD-TO-WALL.
 - ALL INTERIOR WALLS ARE 5'-0" EXTERIOR WALLS ARE 4" UNLESS OTHERWISE NOTED.
 - ALL ANGLED WALLS ARE 48 UNLESS OTHERWISE NOTED. THIS MEANS THAT BOTH SIDES OF THE SQUARE OR THE ANGLE ARE EQUAL. EVEN IF ONLY ONE SIDE IS DIMENSIONED.
 - ALL OPENINGS IN EXTERIOR AND LOAD BEARING WALLS SHALL HAVE A MINIMUM LEVEL OF FINISH 8" MIN. PLYWOOD BRACE. APPLY GULLE TO THE FULL FINISH SURFACE OF BOTH SIDES AND HOLD TOGETHER PER THE FASTENING SCHEDULE ON SHEET L. ALL OTHER LABELS SHALL BE SHOWN IN THE SAME MANNER.
 - ALL POINTS SHALL BE A FINISH OF 5/8" WITH GULLE APPLIED ON THE FULL FINISH SURFACE AND WALLED PER THE FASTENING SCHEDULE ON SHEET C8.1.0.
 - FLOOR JOISTS SHALL BE GRADED BEFORE PLACEMENT AND SHALL BE DOUBLED UNDER ALL PARALLEL WALLS.
 - REFER TO THE ANCHOR NOTES ON THIS SHEET.
 - ENGINEER'S CARBON MONOXIDE DETECTORS SHALL BE HANDICAPPED & INTERCONNECTED TO BATTERY BACKUP.
 - CONTRACTOR SHALL 5/8" ALL EXT. DOOR THRESHOLDS 3/4" VERIFY WITH BUILDER PRIOR TO COMMENCEMENT.
 - THE GARAGE SHALL BE SEPARATED FROM ITS ATTIC AREA BY 5/8" TYPE "X" DRYPALL APPLIED TO THE CEILING OF THE GARAGE. UNDER THE SEPARATION IS A FLOOR/CILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE "X" DRYPALL.

- FROM DATA:**
- 1ST FLOOR TO 2ND FLOOR:**
- 1 RISER = 7 1/8" x 12" 5/8" x 1 1/2"
 - 2 TREADS = 10" x 12" 5/8" x 1 1/2"
- 1ST FLOOR TO LOWER LEVEL:**
- 1 RISER = 7 1/8" x 8" 5/8" x 1 1/2"
 - 2 TREADS = 10" x 12" 5/8" x 1 1/2"
- STAIR REQUIREMENTS:**
- MINIMUM TREAD DEPTH 10"
 - MINIMUM RISER HEIGHT 7"
 - MINIMUM WALKWAY WIDTH 36"
 - MINIMUM HEADROOM HEIGHT AT STAIR ANGLE 6'8"
 - MINIMUM BALUSTRADE HEIGHT 36"
 - MINIMUM BALUSTRADE SPACING 4"
 - MINIMUM BALUSTRADE SPACING (CLEAR OPENING) 4"
 - MINIMUM STAIR WIDTH EXCLUDING WALL HANDRAIL 3'-0"
 - MINIMUM STAIR WIDTH INCLUDING WALL HANDRAIL 3'-0"
 - HANDRAILS SHALL EXTEND TO THE END OF THE LAST RISER AND RETURN TO WALL ON NEARLY POOR PER RISER.
 - SEE SECTION 318 FOR CODES ON LINDER STAIRS.
 - SEE SECTION 318.9 FOR CODES ON CIRCULAR STAIRS.
- WINDOW NOTES:**
- ALL WINDOW SIZES SHOWN ARE FOR NOMINAL SIZED WINDOWS.
 - WINDOW SIZES REQUIREMENTS:
 - MINIMUM NET CLEAR OPENING HEIGHT: 44"
 - MINIMUM NET CLEAR OPENING WIDTH: 24"
 - MINIMUM NET CLEAR OPENING HEIGHT & NET CLEAR OPENING WIDTH: 54" x 54"
 - MINIMUM NET CLEAR OPENING HEIGHT & NET CLEAR OPENING WIDTH: 54" x 54"
 - MINIMUM NET CLEAR OPENING HEIGHT & NET CLEAR OPENING WIDTH: 54" x 54"
 - IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT THE CODES FOR ALL WINDOW AREAS ARE MET AS ABOVE WITHIN REQUIREMENTS.



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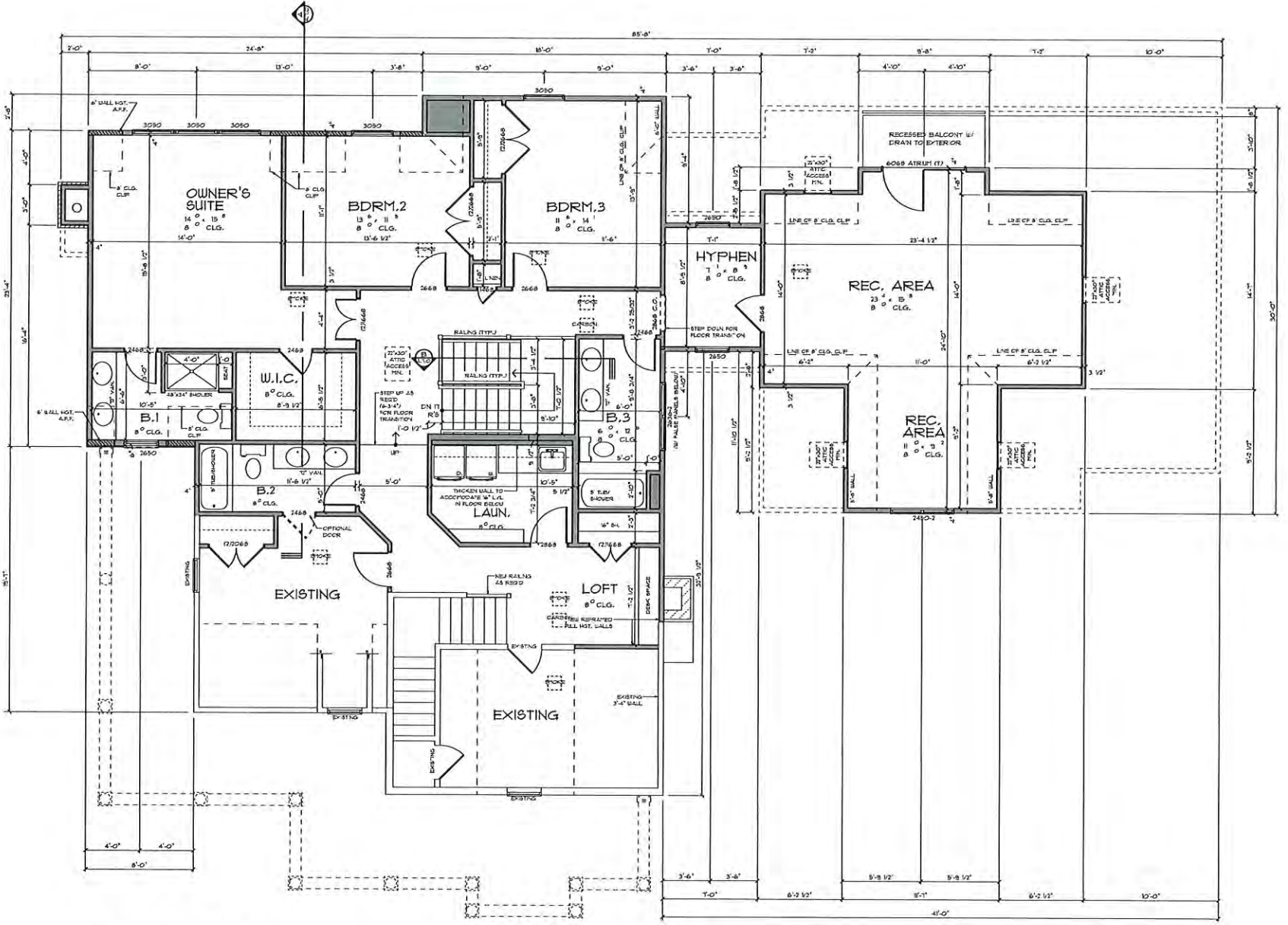
C.K.M.E.S. CD02 (12/26)

KIMES RESIDENCE - PHASE 2
5180 NORWICH STREET
HILLIARD, OHIO 43026

FIRST FLOOR PLAN

A.2.0

NOTE: REFER TO SHEETS C.A.1.0 & A.2.0 FOR GENERAL FRAMING NOTES, SEE SHEET A.2.0 FOR WINDOW REQUIREMENTS AND STAIR CALCULATIONS & REQUIREMENTS



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

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FAX 614.490.1013

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DATE	BY	REV.

ANY CONTRACTOR, ARCHITECT, ENGINEER, OR OTHER PROFESSIONAL PERSON WHOSE SERVICES ARE REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AGENCIES AND AGENCIES OF THE STATE OF OHIO. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND THE PREPARATION OF THE CONTRACT DOCUMENTS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE CONTRACTOR.

G.K.M.E.S.C.D.S2
(71356)

KIMES RESIDENCE - PHASE 2
5150 NORWICH STREET
HILLIARD, OHIO 43026
SECOND FLOOR PLAN

DATE	BY	REV.
2022.11.14		
2022.10.14		
2022.10.14		
2022.10.11		

A.3.0

NO.	REVISION	DATE

TRUSS MANUFACTURER SHALL VERIFY ALL HELL CUTS W/ ACCORD FIELD CONDITIONS - ADJUST HELL AS NEEDED TO ALLOW FOR ELEVATION DETAILS
BRICK - FINISHES FINISHED AT BRIDGE FROM VENEER JAMB BY 3/4"
- ADJUST HELL ACCORDINGLY - ALL FASCIA / FREEZE BOARDS SHALL ALLOW FOR ELEVATIONS - CONTACT DESIGNER IMMEDIATELY WITH ANY QUESTION / ADVISORY ISSUES

GENERAL NOTES:
1. ALL TRIM BOARDS TO BE BACKED W/ 1/2" OSB FOR STUCCO WALLS.
2. CORNER BOARDS TO BE DRYED W/ STUCCO.
3. FINISH / QUANTITY OF ROOF VENTS TO BE DETERMINED BY BUILDER ADHERE TO LOCAL CODE REQUIREMENTS.

NOTE:
GRADE SHALL FALL 6" (MIN) WITHIN FIRST 10' FROM BUILDING PERIMETER.

HAZARDOUS LOCATIONS
THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:

- GLAZING IN BATHING DOORS EXCEPT JALOUSIES.
- GLAZING IN FIBER AND ALUMINUM PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND FIBER CLOSET DOOR ASSEMBLIES.
- GLAZING IN STORE DOORS.
- GLAZING IN ITEM 8 IN WALLS FINISHING COLLAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET (914 MM) OR LESS IN DEPTH. APPLICATIONS SHALL COMPLY WITH ITEM 1.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, SAUNAS, POOLS, SAUNAS, STEAM ROOMS, SHOWER AND SHOWER GLAZING IN ANY PART OF A BUILDING SHALL INCLUDING THESE COMPONENTS WHERE THE BOTTOM EDGES OF THE GLAZING IS LESS THAN 40 INCHES (1016 MM) ABOVE THE FLOOR AND 36 INCHES (914 MM) HORIZONTALLY FROM THE NEISE EDGE OF THE FLOOR OR COMPONENT.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR UNLESS THE SHARPEST VERTICAL EDGE IS WITHIN 24 INCHES (610 MM) OF THE DOOR IN A CLOSED POSITION AND WHERE BOTTOM EDGE IS LESS THAN 40 INCHES (1016 MM) ABOVE THE FLOOR OR GLAZING SURFACE.
- GLAZING ON AN INDIVIDUAL FIXED OR OPERABLE PANEL OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 8 AND 6 ABOVE THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
11. EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 5 SQUARE FEET (464 CM²).
12. BOTTOM EDGE LESS THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
13. TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
14. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE GLAZING.
- ALL GLAZING IN WALKING SURFACES OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE. WALKING SURFACES ARE STRUCTURAL BALUSTRA PANELS AND IDENTICAL RAIL PANELS.
- GLAZING IN WALLS AND FINISHES INCLUDING INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS UNLESS THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 40 INCHES (1016 MM) ABOVE A WALKING SURFACE AND WITHIN 40 INCHES (1016 MM) HORIZONTALLY OF THE WATER'S EDGE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANELS IN MULTIPLE GLAZING.
- GLAZING ADJACENT TO STAIRWAYS, LADDERS AND RAMPS WITHIN 36 INCHES (914 MM) HORIZONTALLY OF WALKING SURFACE UNLESS THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 40 INCHES (1016 MM) ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- GLAZING ADJACENT TO STAIRWAYS WITHIN 40 INCHES (1016 MM) HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 40 INCHES (1016 MM) ABOVE THE NOSE OF THE TREAD.

EXCEPTIONS: THE FOLLOWING PRODUCTS, MATERIALS AND LEAS ARE EXEMPT FROM THE ABOVE HAZARDOUS LOCATIONS:

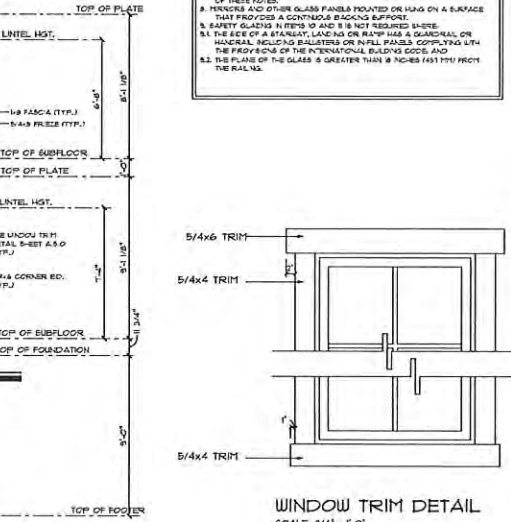
- OPENINGS IN DOORS THROUGH WHICH A 3/8" (9.5 MM) SPHERE IS USABLE TO PASS.
- DECORATIVE GLASS IN ITEMS 8 OR 1.
- GLAZING IN ITEM 8 IN WALLS FINISHING COLLAR ON OTHER PERMANENT BARRIERS BETWEEN THE DOOR AND THE GLAZING.
- GLAZING IN ITEM 8 IN WALLS FINISHING COLLAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET (914 MM) OR LESS IN DEPTH. GLAZING IN THESE APPLICATIONS SHALL COMPLY WITH ITEM 1.
- GLAZING IN ITEMS 1 AND 10 UNLESS A PROTECTIVE BARR IS INSTALLED ON THE ACCESSIBLE REVER OF THE GLAZING 36 INCHES (914 MM) HORIZONTALLY ABOVE THE FLOOR. THE BARR SHALL BE CAPABLE OF WITHSTANDING A HORIZONTAL LOAD OF 50 POUNDS PER LINEAR FOOT (7.3 KG / M) WITHOUT CONTACTING THE GLASS AND BE A MINIMUM OF 8 INCHES (203 MM) IN HEIGHT.
- OUTDOOR PANELS IN RELATING GLASS UNITS AND OTHER MULTIPLE GLAZED PANELS WITHIN 36 INCHES (914 MM) ABOVE THE BOTTOM EDGE OF THE GLASS IS 36 FEET (10970 MM) OR MORE ABOVE GRADE, A ROOF, WALKING SURFACE OR OTHER HORIZONTAL SURFACE AS DESCRIBED IN 11) RADI) OF HORIZONTAL SURFACE ADJACENT TO THE GLASS BOTTOM COR.
- LOWEVED WINDOWS AND JALOUSIES COMPLYING WITH THE REQUIREMENTS OF THESE NOTES.
- MIRRORS AND OTHER GLASS PANELS MOUNTED OR HUNG ON A SURFACE THAT PROVIDES A CONTINUOUS BACKING SUPPORT.
- SAFETY GLAZING IN ITEMS 8 AND 9 IS NOT REQUIRED WHERE:
8.1 THE FACE OF A BALUSTRA, LANDING OR RAIL PANELS COMPLYING WITH THE PROVISIONS OF THE INTERNATIONAL BUILDING CODES AND
8.2 THE PLANE OF THE GLASS IS GREATER THAN 36 INCHES (914 MM) FROM THE RAILS.



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



WINDOW TRIM DETAIL
SCALE: 3/4" = 1'-0"

REFER TO SHEET A.5.0 FOR ELEVATION NOTES & REQUIREMENTS

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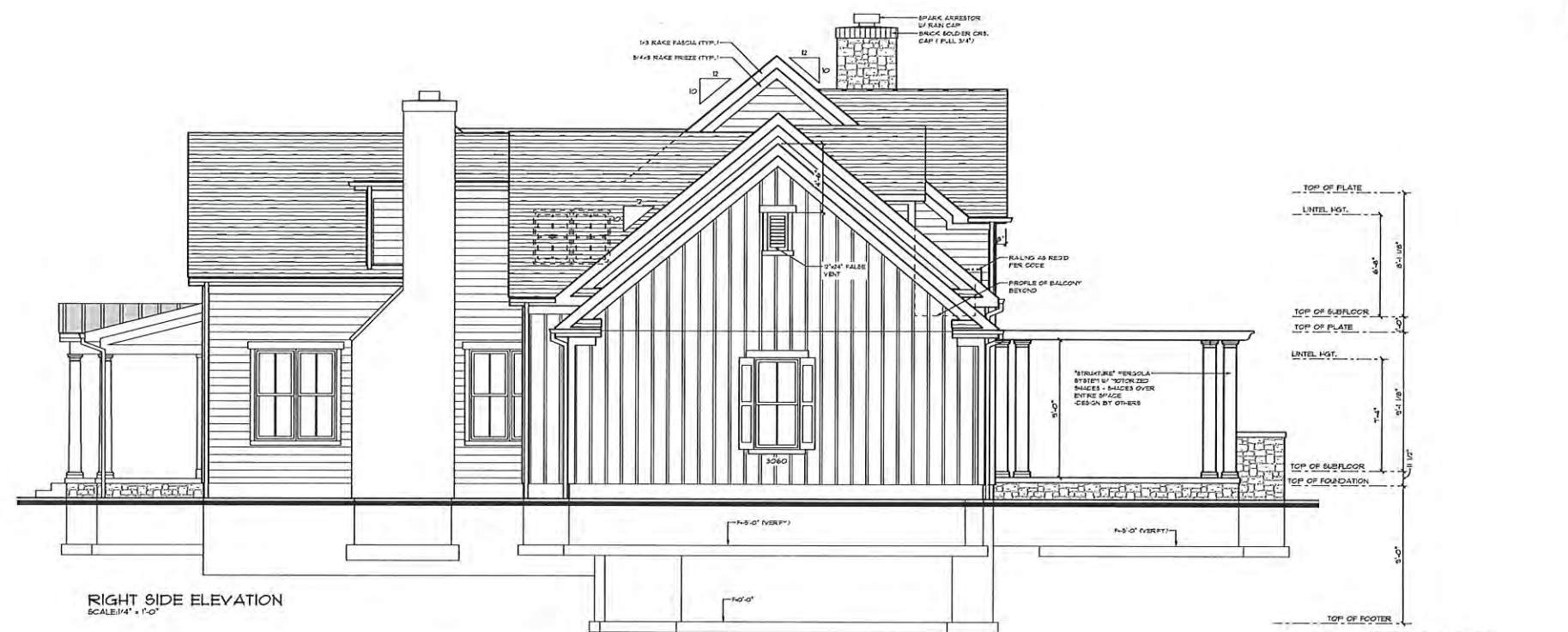


DATE	BY	REV

BY PROFESSIONAL DESIGNER, THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

C.K.M.E.S., C.D.S.
(21586)

KIMES RESIDENCE - PHASE 2
5180 WOODRICH STREET
HILLIARD, OHIO 43026
EXTERIOR ELEVATIONS



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

CONTRACT NO. 2021119

DATE	2021.11.19
DATE	2022.01.14
DATE	2022.02.04
DATE	2022.02.11
DATE	2022.02.11

SHEET: **A.6.0**

REFER TO SHEET A.5.0 FOR ELEVATION NOTES & REQUIREMENTS

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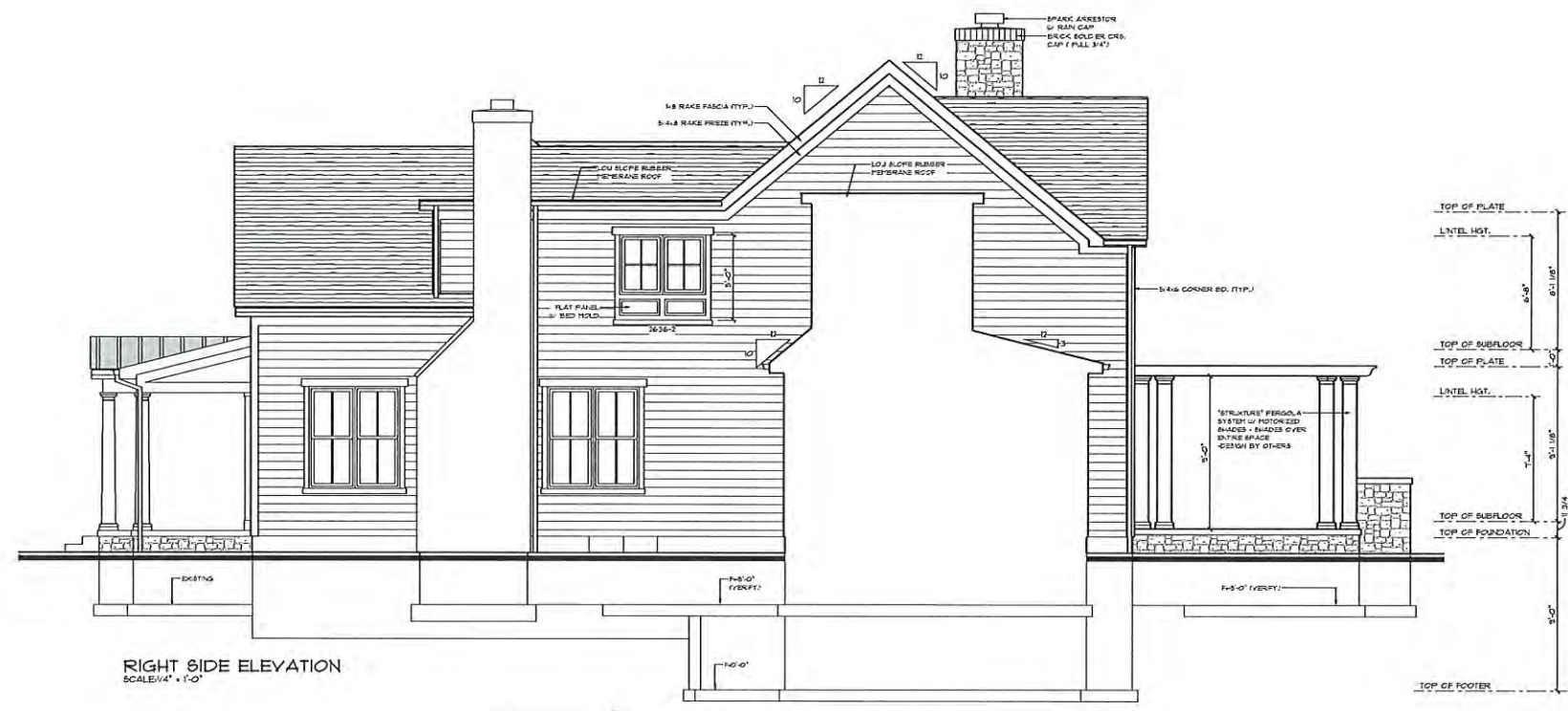


DATE	BY	REV.

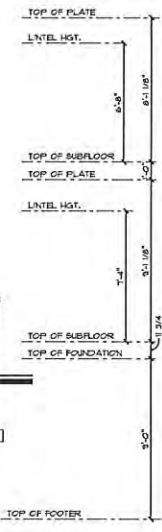
IT IS THE POLICY OF THIS OFFICE TO PROVIDE A SET OF SPECIFICATIONS AND TO PROVIDE CONSULTING SERVICES TO THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND FOR THE ACCURACY OF THESE SPECIFICATIONS AND FOR THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

C. KIMES, CDS2
(71556)

KIMES RESIDENCE - PHASE 2
5150 NORWICH STREET
HILLIARD, OHIO 43026
EXTERIOR ELEVATION



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



DATE	BY	REV.
2022.11.15		
2022.11.15		
2022.10.11		
2022.10.11		

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DATE: 11/11/2021

NO.	REV.	DATE	BY

ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF EXISTING CONDITIONS AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

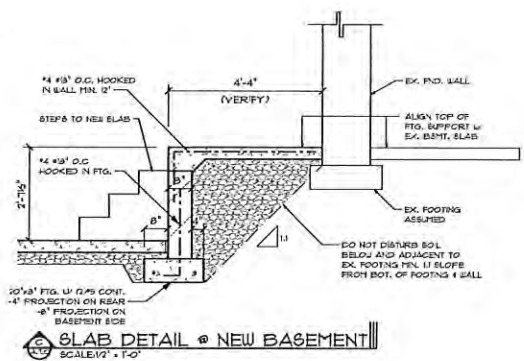
C.K. MEASUREMENTS (21556)

KIMES RESIDENCE - PHASE 2
850 WINDSOR STREET
HILLIARD, OHIO 43026
BUILDING & TYP. WALL SECTIONS, LVE

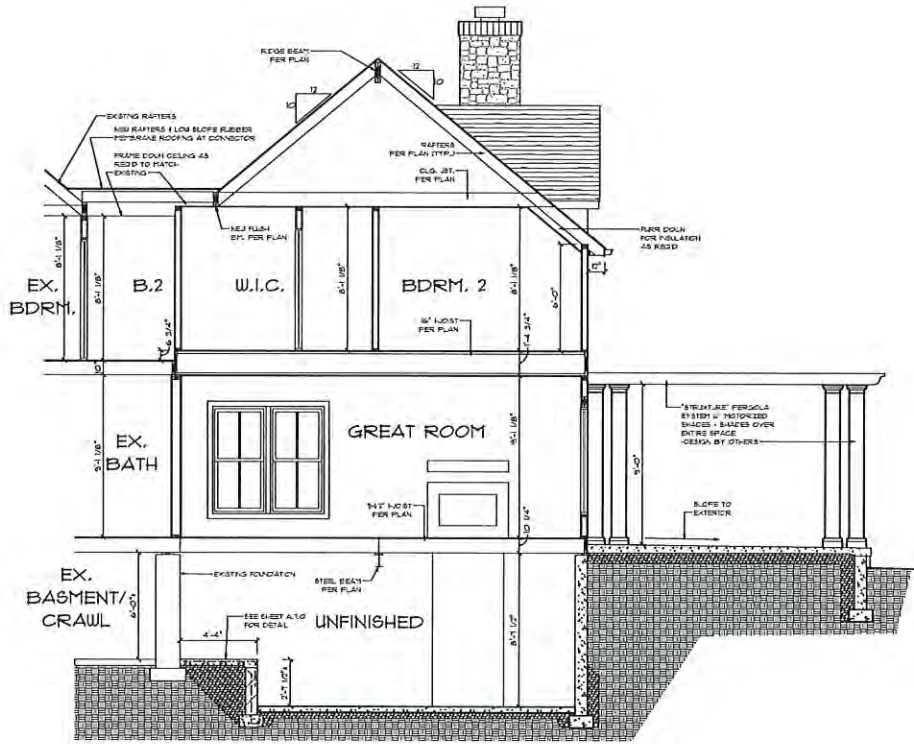
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DESIGNER: C.K. MEASUREMENTS
DATE: 11/17/2021
SCALE: AS SHOWN
A.7.0

LIGHT, VENT, and EGRESS SCHEDULE												
MANUFACTURER: Based on Pella Products												
ROOM	ROOM S.F.	TYPE	MODEL # (see notes 1&3)	QTY	OPERABLE	TEMP GLAZ	UNIT S.F. GLAZING	TOTAL S.F. GLAZING	S.F. GLAZ. REED.	UNIT S.F. VENT	TOTAL S.F. VENT	S.F. EGRESS (see note 2)
LOWER LEVEL												
UNFINISHED	N/A	UTILITY	3218	1	2				N/A			N/A
FIRST FLOOR PLAN												
KITCHEN	318.00	CASEMENT	2640	1	5	Y	7.00	35.00	25.20	7.50	37.50	17.80
GREAT ROOM	548.00	AFRAMEL DCL	4974	1	1	Y	36.00	36.00	43.64	20.00	20.00	21.92
		DOUBLE HUNG	3203	1	8	Y	11.40	88.40		7.80	43.60	7.80
		CL. DOOR	2563	1	1	Y	32.00	32.00		17.00	17.00	
TRD BRK	N/A	S.C. DOOR	2563	1	1	Y			N/A			N/A
LAV. 1	N/A	DOUBLE HUNG	2450	1	1	Y			N/A			N/A
LAV. 2	N/A	DOUBLE HUNG	2450	1	1	Y			N/A			N/A
SECOND FLOOR PLAN												
DYNNER'S SUITE	220.00	DOUBLE HUNG	3050	1	3	Y	11.70	35.10	17.60	6.20	18.80	6.20
BEDROOM 2	153.00	DOUBLE HUNG	3050	1	1	Y	11.70	11.70	12.32	6.20	6.20	6.18
BEDROOM 3	152.00	DOUBLE HUNG	3050	1	1	Y	11.70	11.70	12.96	6.20	6.20	6.43
HYPHEN	N/A	DOUBLE HUNG	2450	1	2	Y			N/A			
REG AREA	440.00	DOUBLE HUNG	2450	2	1	Y	8.80	17.60	35.20	4.10	9.80	17.60
BATH 3	N/A	DOUBLE HUNG	6023	1	1	Y	35.00	35.00		20.00	20.00	N/A
BATH 3	N/A	DOUBLE HUNG	2536	2	1	Y			N/A			20.00

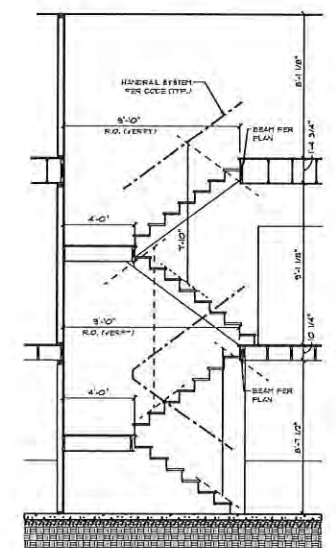
1) SCHEDULE INFORMATION SHOWN FOR MULTIPLE UNITS REFLECTS INDIVIDUAL UNIT SIZE.
2) EGRESS FOR ONE WINDOW ONLY OF UNFINISHED UNIT.
3) WHEN 2 OR MORE UNITS ARE VALUED TOGETHER, ONLY THE END MOST UNITS SHALL BE OPERABLE, UNLESS NOTED OTHERWISE.
NOTE:
EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO FULL CLEAR OPENING WITHOUT THE USE OF ANY KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 42" ABOVE FINISHED FLOOR LEVEL. SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20". THE MINIMUM GLAZING AREA SHALL BE 8% OF THE HABITABLE FLOOR AREA AND THE MINIMUM VENTILATION SHALL BE 1/8" OF THE HABITABLE FLOOR AREA.
NOTES:
THE GLAZED AREAS MAY BE OMITTED IN ROOMS WHERE THE OPENING IS NOT REQUIRED AS DESCRIBED ABOVE AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 3 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OR 15 CUBIC FEET PER MINUTE (CFM) PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM AND VENTILATION LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 5 FOOT CANDLES (5 FC) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES (762mm) ABOVE THE FLOOR LEVEL.



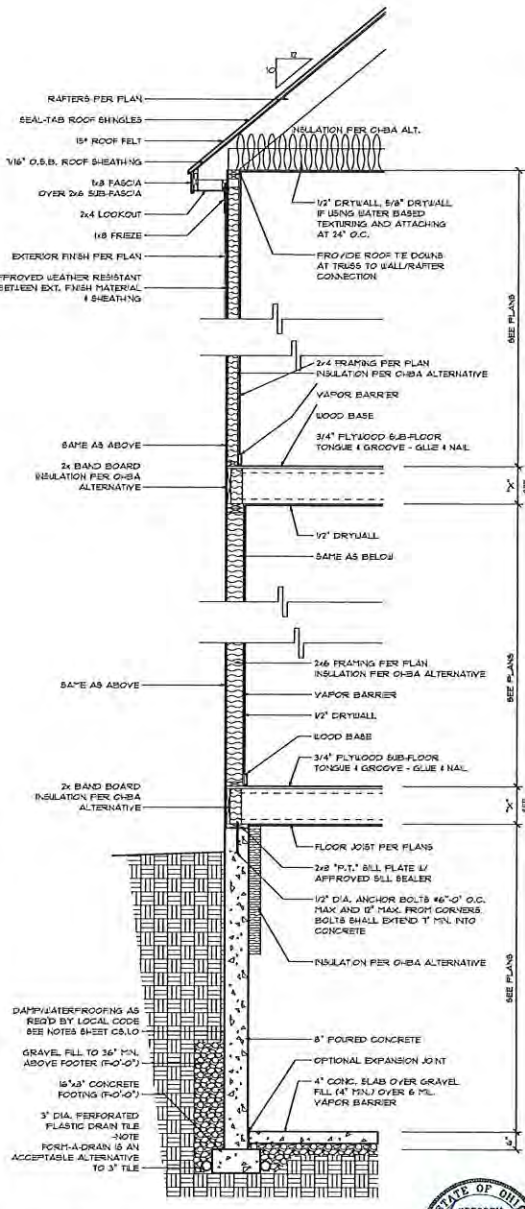
SLAB DETAIL @ NEW BASEMENT
SCALE: 1/2" = 1'-0"



SECTION THRU GREAT ROOM / BEDROOM 2
SCALE: 1/4" = 1'-0"



SECTION THRU STAIR
SCALE: 1/4" = 1'-0"



TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"



SEALED FOR STRUCTURAL ONLY

THIS DOCUMENT PROVIDES GENERAL INFORMATION AND IS NOT TO BE USED AS A CONSTRUCTION SPECIFICATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THAT ALL REQUIREMENTS ARE MET. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THAT ALL REQUIREMENTS ARE MET. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THAT ALL REQUIREMENTS ARE MET.

C. KIMES CD82
(12/26/17)

KIMES RESIDENCE - PHASE 2
5810 NORBROUGH STREET
HILLIARD, OHIO 43026

FOUNDATION FRAMING PLAN

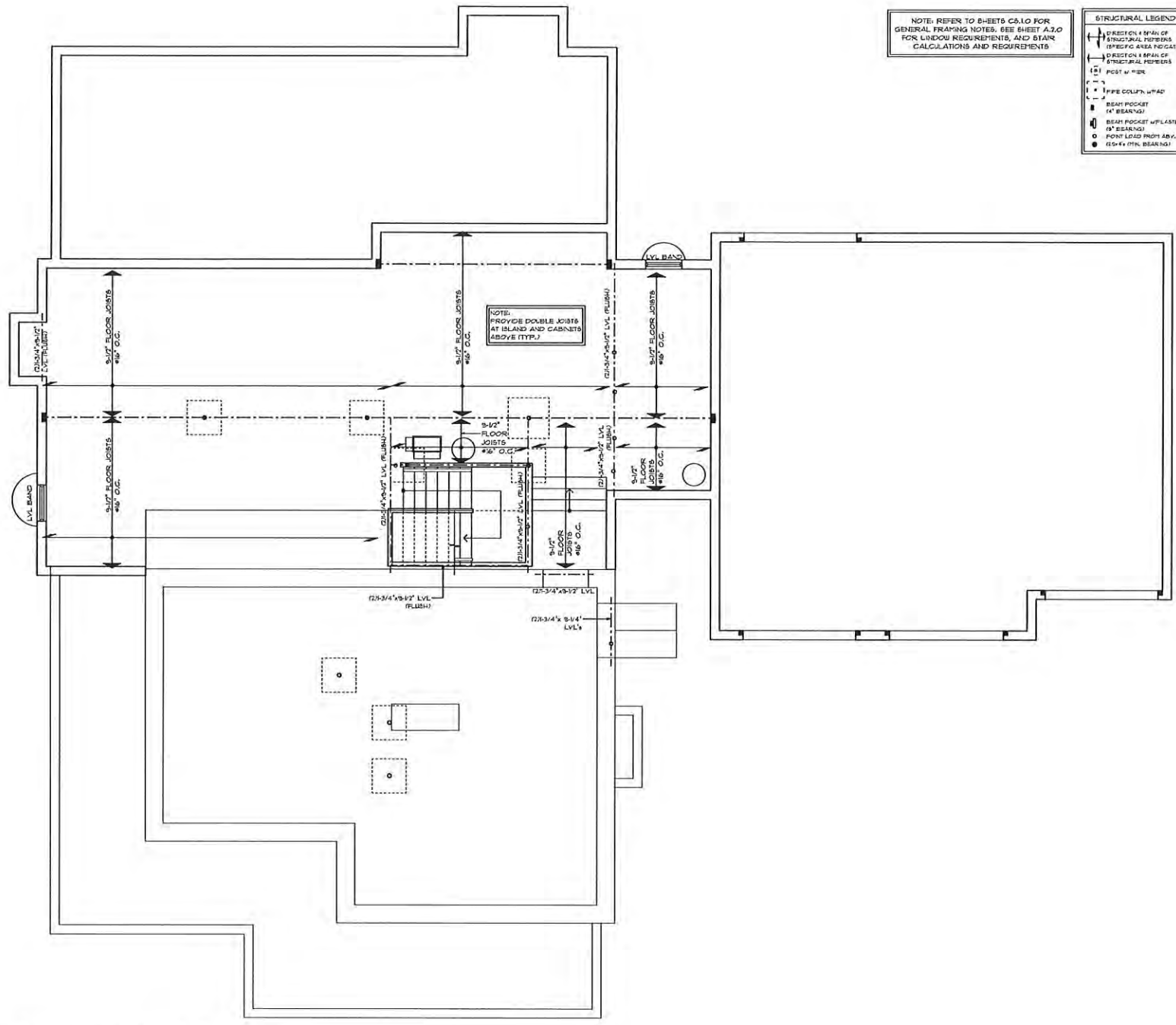
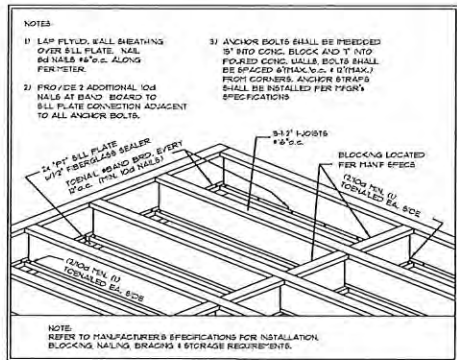
609" X 908" 302

DATE	02/01/21
REVISION	
DATE	02/01/21
REVISION	
DATE	02/01/21
REVISION	

NOTE: REFER TO SHEETS CS.1.0 FOR GENERAL FRAMING NOTES, SEE SHEET A.1.0 FOR WINDOW REQUIREMENTS, AND STAIR CALCULATIONS AND REQUIREMENTS

STRUCTURAL LEGEND

- DIRECTION & SPAN OF STRUCTURAL MEMBERS (SPECIFIC AREA INDICATED)
- DIRECTION & SPAN OF STRUCTURAL MEMBERS
- POST W/ BEAR
- PIPE COLUMN W/ PAD
- BEAM POCKET W/ PLASTER (IF BEARING)
- POINT LOAD FROM ABV.
- (15"x15") MIN. BEARING



FOUNDATION FRAMING PLAN
SCALE: 1/4" = 1'-0"



NOTE:
THE EXTERIOR WALLS OF THIS STRUCTURE ARE METHOD OSB WITH ZIP SYSTEM. ALL INTERIOR BEATED WALLS METHOD OSB WITH OSB AS NOTED.
OSB TO COMPLY WITH THE BRIDGE WALL REQUIREMENTS USING METHOD OSB. ANY WALL AREAS THAT REQUIRE ALTERNATE BRACING METHODS WILL BE INDICATED AND LABELED WITH THE SPECIFIC METHOD REQUIRED.
ALL HORIZONTAL JOINTS IN THE SHEATHING WILL BE BLOCKED TO ACCOMMODATE FASTENING REQUIREMENTS. BRACE ARE 2"x4" AT THE EDGES AND 2"x4" IN THE FIELD. MIN. 2' DIA. VERTICAL NAILS AND TRUSS NAILS OVER 2"x4" SHALL HAVE THE OSB EXTENDED UP TO THE UNDERSIDE OF THE BRACKET TAIL AND FASTENED IN THE SAME MANNER. TRUSS NAILS BEATINGING PLAT BRAN ACROSS THE TOP PLATES AND EXTEND DOWN THE WALL AT LEAST 2'.

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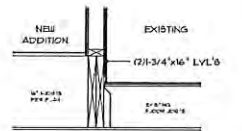


STATE OF OHIO
PROFESSIONAL ENGINEER
GREGORY MICHAEL FRANKER
E-70751
10/17/2002

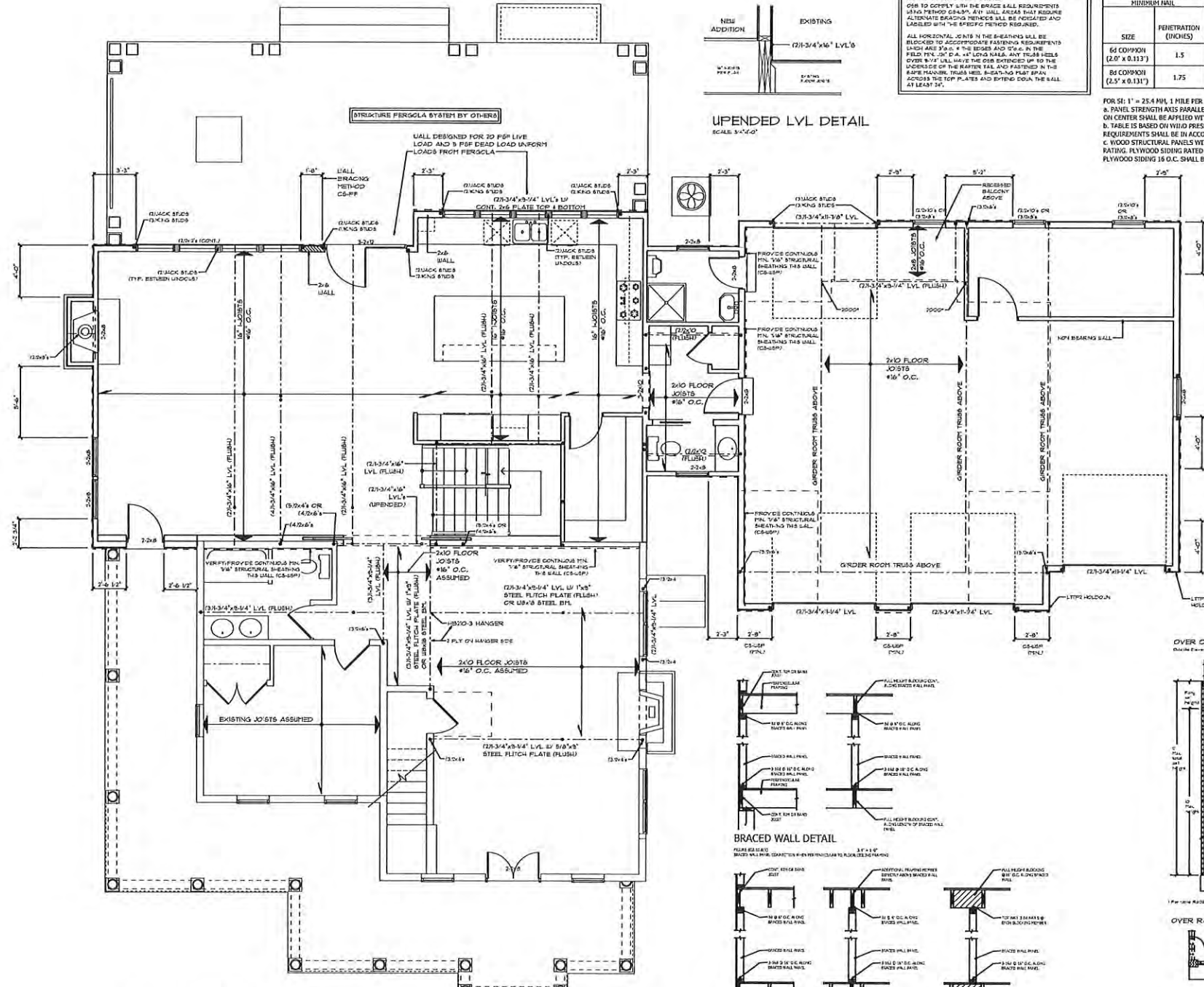
TABLE 602.3(3)
REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WINDY PRESSURES

SIZE	PENETRATION (INCHES)	MINIMUM WOOD STRUCTURAL PANEL RATING	MINIMUM NOMINAL PANEL THICKNESS (INCHES)	MAXIMUM WALL STUD SPACING (INCHES)		MAXIMUM WIND SPEED (MPH)			
				6	12	B	C	D	
6d COMMON (2.0" x 0.131")	1.5	24/9	3/8	16	6	12	150	115	110
8d COMMON (2.5" x 0.131")	1.75	24/16	7/16	16	6	12	170	140	135
				24	6	12	140	115	110

FOR SL: 1" = 24.4 MPH, 1 MILE PER HOUR = 0.447 MPH
 a. PANEL STRENGTH AXIS PARALLEL OR PERPENDICULAR TO SUPPORTS. THREE-PLY PLYWOOD SHEATHING WITH STUDS SPACED MORE THAN 16 INCHES ON CENTER SHALL BE APPLIED WITH PANEL STRENGTH AXIS PERPENDICULAR TO SUPPORTS
 b. TABLE IS BASED ON WIND PRESSURES ACTING TOWARD AND AWAY FROM BUILDING SURFACES PER SECTION 301.2 LATERAL BRACING REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION 602.10
 c. WOOD STRUCTURAL PANELS WITH SPAN RATINGS OF WALL-16 OR WALL-24 SHALL BE PERMITTED AS AN ALTERNATE TO PANELS WITH A 24/9 SPAN RATING. PLYWOOD SIDING RATED 16 O.C. OR 24 O.C. SHALL BE PERMITTED AS AN ALTERNATE TO PANELS WITH A 24/16 SPAN RATING. WALL-16 AND PLYWOOD SIDING 16 O.C. SHALL BE USED WITH STUDS SPACED A MAXIMUM OF 16 INCHES O.C.



UPENDED LVL DETAIL
SCALE: 3/4"=1'-0"



FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

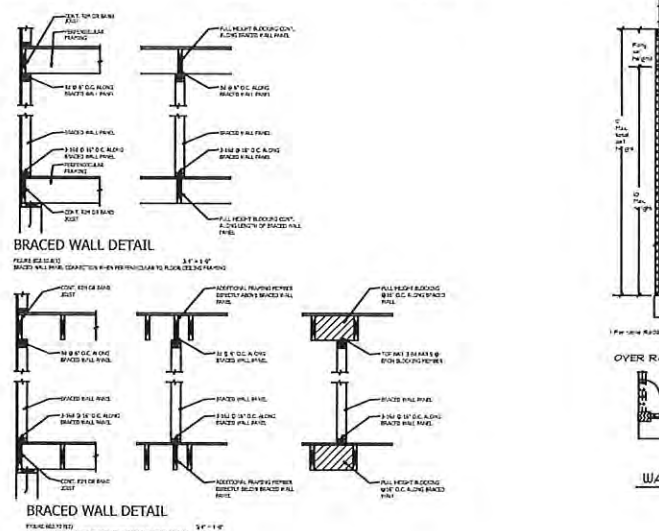
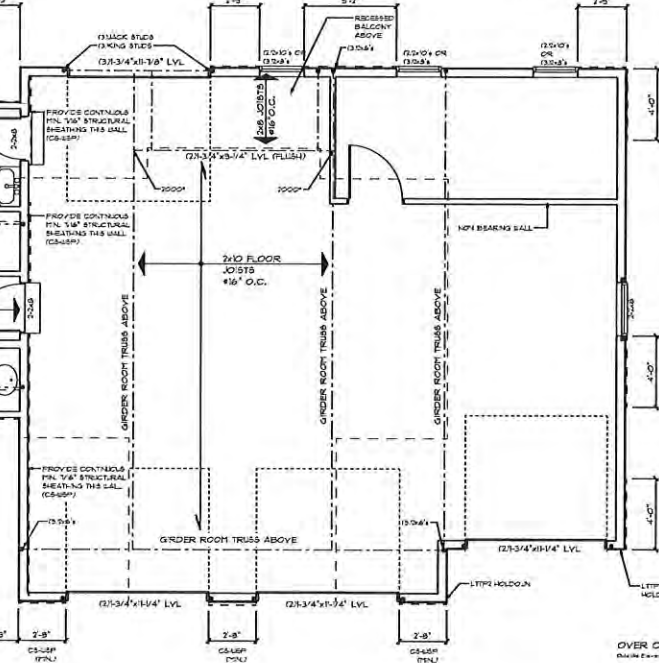


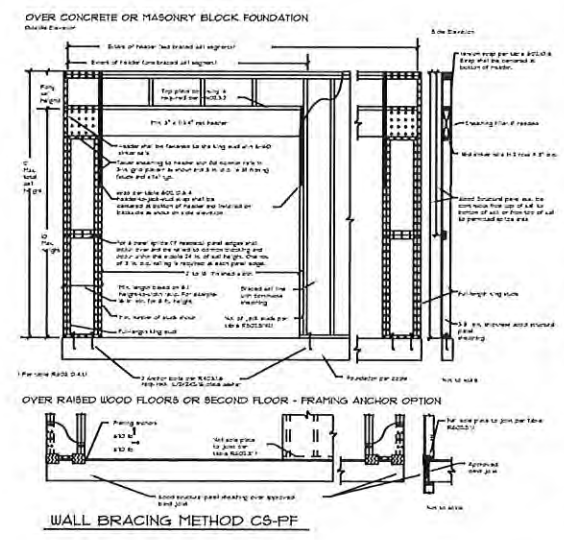
TABLE 602.3(4)
TENSION STRAP CAPACITY FOR RESISTING WIND PRESSURES PERPENDICULAR TO MEMBERS PFL, PFD AND CS-PF BRACED WALL PANELS*

MAXIMUM WALL STUD PENETRATION (INCHES) AND GRADE	MAXIMUM JOIST WALL HEIGHT (FEET)	MAXIMUM JOIST SPACING (INCHES)	MAXIMUM OPENING WIDTH (INCHES)	TENSION STRAP CAPACITY REQUIRED (pounds)							
				Ultimate Design Wind Speed, V, mph							
				110	114	118	122	126	130		
2 x 4 No. 3 Grade	0	10	18	1,050	1,050	1,050	1,050	1,050	1,050		
				9	1,050	1,050	1,050	1,050	1,050		
				16	1,050	1,050	2,000	2,000	2,000		
	1	10	18	9	1,050	1,275	2,375	2,400	2,450	DR	
					16	1,050	1,050	1,475	1,500	1,875	3,125
					12	1,050	1,050	1,475	1,500	1,875	3,125
	2	10	18	9	1,175	2,175	3,325	3,350	4,125	DR	
					16	1,175	2,175	3,325	3,350	3,975	DR
					12	1,175	2,175	3,325	3,350	3,975	DR
	3	12	18	9	1,325	3,375	DR	DR	DR	DR	
					16	1,325	3,375	DR	DR	DR	DR
					12	1,325	3,375	DR	DR	DR	DR
4	12	18	9	2,275	2,750	DR	DR	DR	DR		
				16	2,275	2,750	DR	DR	DR	DR	
				12	2,275	2,750	DR	DR	DR	DR	
2 x 6 Stud Grade	2	12	9	1,600	1,600	1,700	1,700	1,800	1,800		
				16	1,825	2,150	3,225	3,225	3,675	DR	
				18	2,500	2,500	3,325	3,350	DR	DR	
4	12	18	9	1,450	1,750	2,700	2,725	3,125	DR		
				16	2,050	2,400	DR	DR	DR	DR	
				18	3,350	3,675	DR	DR	DR	DR	

*For SL: 1" = 24.4 MPH, 1 Mile = 0.447 MPH, 1 mile per hour = 0.447 MPH
 DR = Design Required
 A. Steps shall be detailed in accordance with manufacturer's recommendations.



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WALL BRACING METHOD CS-PF

KIMES RESIDENCE - PHASE 2
5100 NORWICH STREET
HILLIARD, OHIO 43026
FIRST FLOOR FRAMING PLAN

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DATE	22/01/19
DATE	22/02/19
DATE	22/02/19
DATE	22/02/19

S.2.0

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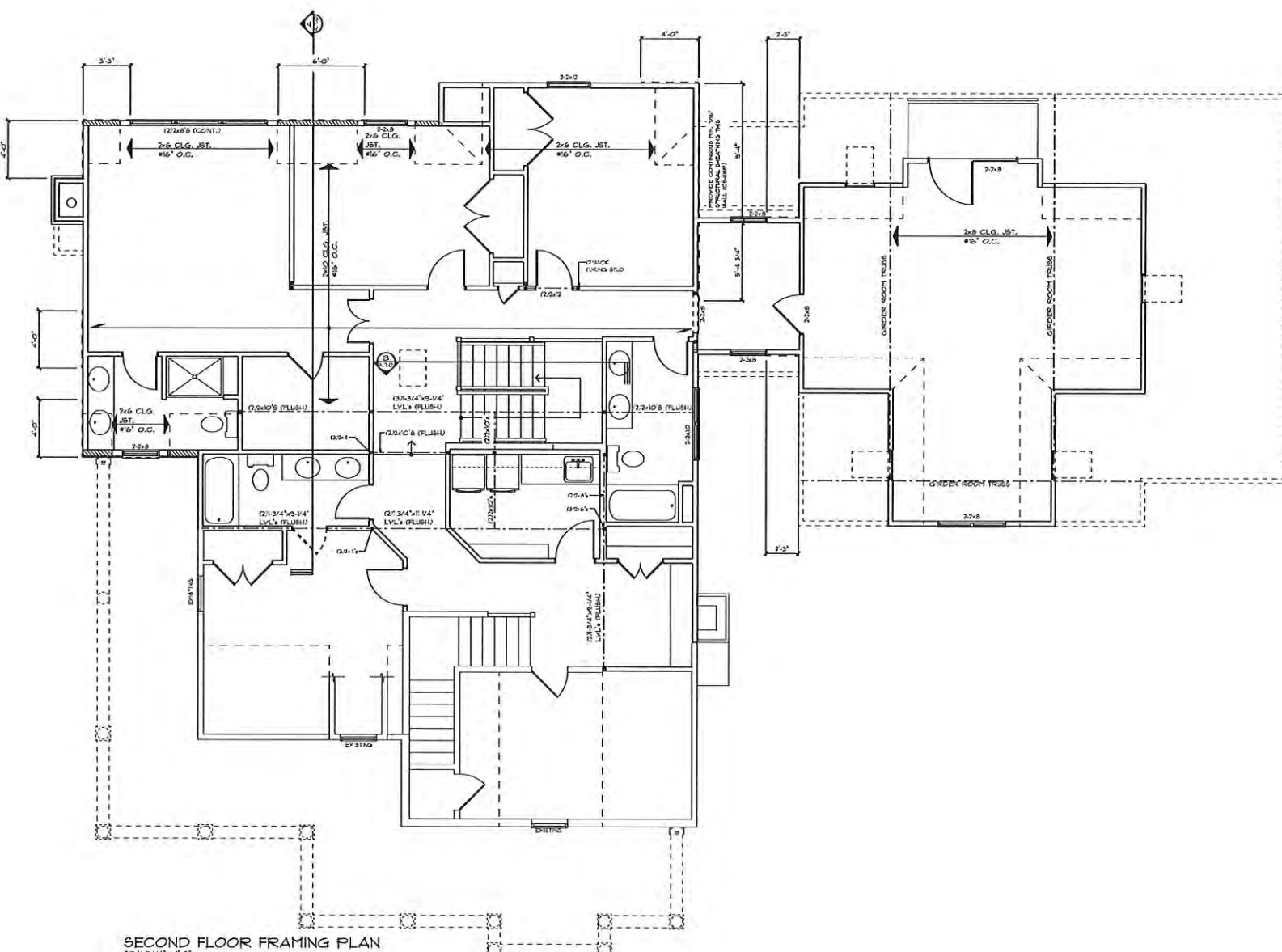


DATE	BY	REV.

ALL DIMENSIONS SHOWN UNLESS OTHERWISE NOTED TO THE CONTRARY. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

C.K.M.B.A. CD 82
(21966)

KIMES RESIDENCE - PHASE 2
580 NOSHURU STREET
HILLIARD, OHIO 43026
SECOND FLOOR FRAMING PLAN



SECOND FLOOR FRAMING PLAN
SCALE 1/4\"/>



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NOTE:
THE EXTERIOR WALLS OF THIS STRUCTURE ARE METHOD CM-UHP OR CM-UH SYSTEM. ALL INTERIOR SHEET-ROCK WALLS METHOD CM-UHP OR CM-UH AS NOTED.
CHECK TO CORRELATE WITH THE BRIDGE WALL REQUIREMENTS USING METHOD CM-UHP. ANY WALL AREAS THAT REQUIRE ALTERNATE BRIDGE WALLS SHALL BE INDICATED AND LABELED WITH THE SPECIFIC METHOD REQUIRED.
ALL HORIZONTAL JOISTS IN THE BEARINGS SHALL BE BEARINGS TO ACCOMMODATE FASTENING REQUIREMENTS WHICH ARE 3\"/>

NO.	DATE	DESCRIPTION
1	2/20/2024	ISSUED FOR PERMIT
2	2/22/2024	ISSUED FOR CONSTRUCTION
3	2/22/2024	ISSUED FOR CONSTRUCTION

S.3.0



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COLUMBUS, OHIO 43235
614-490-0027
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DATE: 10/25/24

NO.	REV.	DATE	DESCRIPTION

BY PROFESSIONAL DESIGNER OR ARCHITECT IN THE STATE OF OHIO THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.

C. KIMES, C.D.S.
(21358)

KIMES RESIDENCE - PHASE 2
830 WOODRIDGE STREET
MILLICAN, OHIO 43046
ROOF FRAMING PLAN

CONTRACT NO. 2024-01
DATE: 10/25/24
SCALE: 1/8" = 1'-0"

DATE	2024.10
SCALE	1/8" = 1'-0"
PROJECT	KIMES RESIDENCE
NO.	001

S.4.0

RAFTER MANUFACTURER SHALL VERIFY ALL MEEL CUTS W/ ACTUAL FIELD CONDITIONS - ADJUST MEEL AS REQUIRED TO ALLOW FOR ELEVATION DETAILS ABOVE - INCREASE OVERHANGS AT BRICKS STONE VENEER WALLS BY 2" - ADJUST MEEL ACCORDINGLY - ALL FRAMING / FREE BOARDS SHALL ALLOW FOR ELEVATIONS - CONTACT DESIGNER IMMEDIATELY WITH ANY QUESTIONS AND/OR DESIGN ISSUES

NOTE: REFER TO SHEETS C6.0 & A.2.0 FOR GENERAL FRAMING NOTES, AND STAIR CALCULATIONS AND REQUIREMENTS

- ROOF NOTES:
- PLEASE REFER TO THE GENERAL NOTES ON SHEET C6.0
 - PLEASE REFER TO THE FASTENING SCHEDULE ON SHEET C6.0
 - ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS THE BEARING EVIDENCE CALLS WHERE JOIST'S ARE PARALLEL TO THE RAFTERS. UNLESS NOT PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE LOCATED AS NEAR THE PLATE AS PRACTICAL. RAFTER TIES SHALL BE SPACED NOT MORE THAN 4'-0" ON CENTER. RAFTERS SHALL BE FINISHED TO RIDGE BOARD OR TO EACH OTHER WITH GIBBET PLATES AS A TIE.
 - ROOF BOARDS SHALL BE AT LEAST 1" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF THE RAFTER EXCEEDS 1/4" THE RIDGE BOARD SHALL BE CONSTRUCTED OF A SOLID 2X3 WITH AN ADDITIONAL 2X (AS REQUIRED) NAILLED TO THE BOTTOM EDGE OF THE BOARDS.
 - VALLEY AND HP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT ENDS OF THE RAFTERS.
 - HP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION WALL OR BE DESIGNED TO CARRY DOWN THE RESPECTIVE LOAD AT THAT POINT.

- ENDS OF CEILING JOISTS SHALL BE LAPPED OR BUTTED OVER BEARING PARTITIONS OR BEAM AND ISHALLED TO THE BEARING MEMBER. WHEN CEILING JOISTS ARE USED TO PROVIDE RESISTANCE TO RAFTER THRUST, LAP JOISTS SHALL BE GATED AND NAILED TOGETHER AND BUTTED JOISTS SHALL BE TIED TOGETHER IN A MANNER TO RESIST RUSH THRUST.
- ALL INTERIORS EXTERIOR AND LOAD BEARING INTERIOR WALLS SHALL BE A MINIMUM OF 2X6'S GLEUED AND NAILED UNLESS OTHERWISE NOTED.
- ALL FLOORS SHALL BE A MINIMUM OF 2X6'S GLEUED AND NAILED UNLESS OTHERWISE NOTED.
- ALL RAFTER AND CEILING JOISTS NEEDED FOR MINIMUM ALLOWABLE MEMBER BUILDUP MAY VARY MEMBERS FOR FRAMING EASE.
- AN ICE BARRIER THAT CONSISTS OF AT LEAST 2 LAYERS OF UNDERLAYMENT COMBINED TOGETHER OR A SELF-ADHERING POLYMER ENHANCED SHEET SHALL BE USED IN LINE OF ROOF UNDERLAYMENT AND EXTENDED FROM THE EAVES EDGE TO A POINT AT LEAST 1'-0" ABOVE THE FINISH INTERIOR WALL LINE OF THE BUILDING. UNDERLAYMENT SHALL COVER UP TO 1/4" ABOVE THE FINISH LINE.

2415.0 S.F. ATTIC SPACE

WHEN DETERMINED NECESSARY BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE INTERIOR OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENING PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATION AREA SHALL BE NOT LESS THAN 1/300 OF THE AREA OF SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1/1 TO 300, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVES OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVES OR CORNICE VENT. THE NET FREE CROSS VENTILATION AREA MAY BE NOT LESS THAN 1/1000 OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAS A TRANSMISSION RATE NOT EXCEEDING 1 PERCENT IS INSTALLED ON THE WARMER SIDE OF THE CEILING.

2415.0 S.F. / 300 = 8.05 / 2 = 4.03 SQ. FT. OF FREE FLOW REQUIRED IN UPPER 1/3 OF ROOF AND 4.03 OF FREE FLOW REQUIRED AT EAVES.

PROVIDE RIDGE VENTS OR ROOF VENTS: 15'x6" = 61 S.I. (NEED 10) SOFFIT VENTS: 16'x8" = 64 S.I. (NEED 9)

STRUCTURAL LEGEND

- SECTION & SPAN OF PRINCIPAL RAFTERS
- SECTION & AREA DESIGNATED
- SECTION & SPAN OF PRINCIPAL TRUSSES
- POST # PER
- PPF COLUMN - PAD
- BEAM POCKET (2' BEARING)
- BEAM POCKET W/ PLASTER (4' BEARING)
- POINT LOAD FROM ADV.
- 2X4 (17'N BEARING)

NOTE:

- TRUSS CHIPS TO BE USED TO CONNECT TOP WALL PLATES TO TRUSS TO ACCOMMODATE TRUSS LIFT.
- 2" X 4" POSTS SET ON ALL INTERIOR WALL CONNECTIONS USE BRUSHING 1224 ON TIED ON EXTERIOR WALLS WITH BEARING TRUSSES DO NOT NAIL TRUSSES TO TOP PLATE OF WALLS.
- 4" DETAIL ON CEILING TO HAVE DETAIL CHIPS AT ALL EXTERIOR WALLS - DETAIL COVERED TO ALL SURFACES EXCEPT GLAZED ON ALL WALLS.
- USE BRUSHING ON DETAIL STOPS WHEN APPLYING TO CEILING - HOLD EDGE BOARD 4" AWAY IN CEILING DETAIL 6" FROM ALL WALLS.

NOTE TO FRAMING CONTRACTOR AND BUILDER

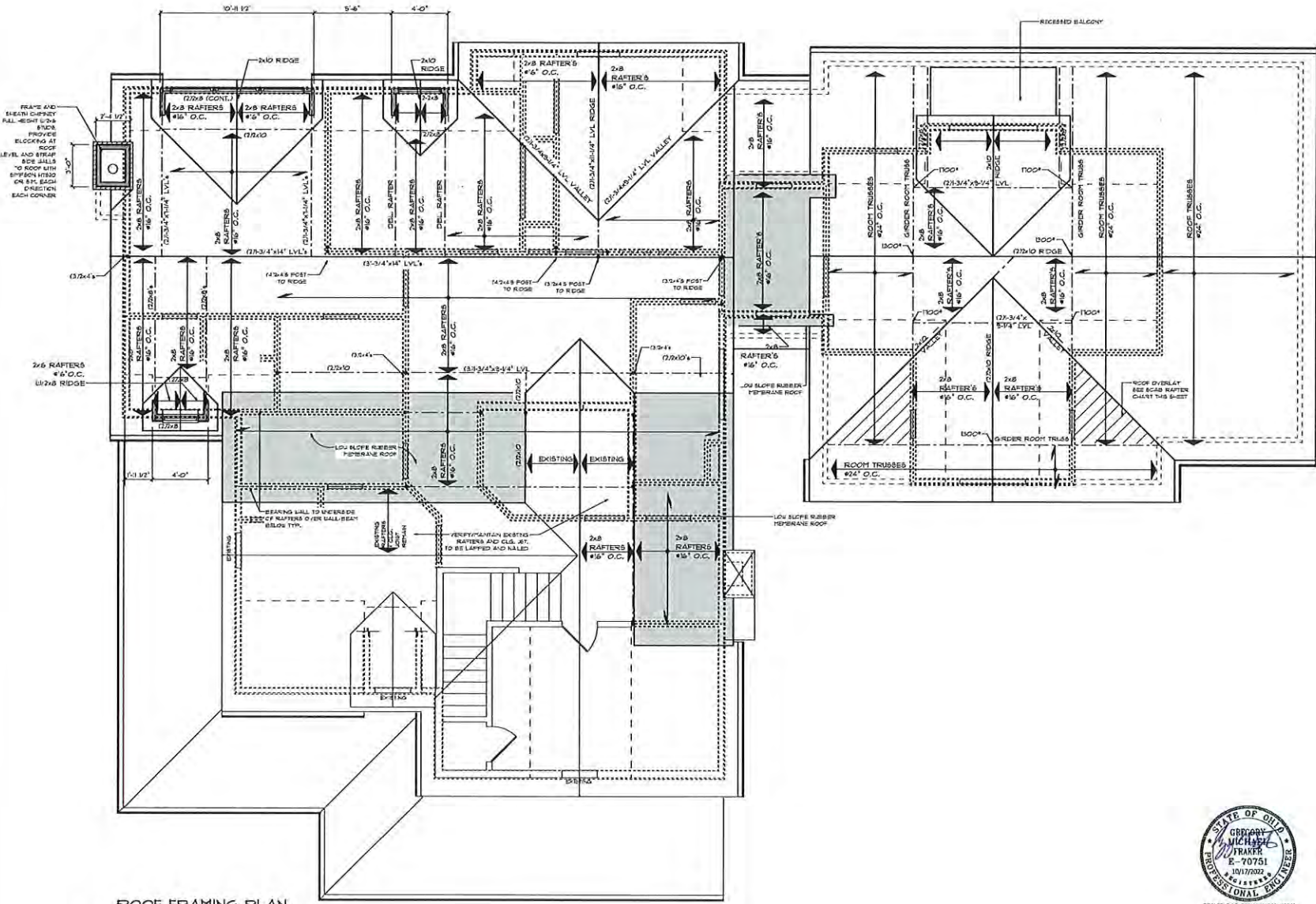
BECAUSE IT IS IMPOSSIBLE TO KNOW HOW EACH CONTRACTOR WOULD PREFER TO FRAME THE ROOF OF EACH HOUSE WE HAVE STANDARDIZED ON PROVIDING THE "MINIMUM" 2X STRUCTURAL MEMBER THAT WILL MEET THE NEEDS OF EACH SITUATION AS REQUIRED BY THE STRUCTURAL ENGINEER. WE CONSULT WITH THE FIELD TEAM THAT YOU WILL HAVE A LARGER HP MEMBER THAN THE ADJACENT RAFTERS AND SOME ADJUSTMENTS IN PLATE HEIGHT AND OR MEEL CUTS SHOULD BE ANTICIPATED. UPDATING MEMBERS FOR ALIGNMENT OR EASE OF CONSTRUCTION IS YOUR CHOICE.

ON ROOFS THAT HAVE UNEVEN FINISHES USING THE EAVES AS A VAPOR BARRIER, THE PLATE HEIGHT LABELS IS NORMAL. YOU WILL NEED TO ADJUST EAVES FOR THE FIT THROUGH EITHER YOUR BEAT CUT OR PLATE HEIGHT.

VALS OPENING & DOORWAYS COLUMNS AND OTHER SPANAL FEATURES SHOULD NOT BE FRAMED AS A BEAM ON THE ROOF. THE BEAM SHOULD BE FRAMED DOWN INTO THE ROOF TO CEILING JOIST LEVEL AND STRUCTURALLY TIED INTO THE ADJACENT RAFTERS AND CEILING JOISTS OR TRUSSES. THE EXTERIOR BEARING WALLS EXTENDING DOWN TO THIS LEVEL OTHER THAN WHERE A PERAL FILE NEEDS TO GO THROUGH THE FREEDOM.

SCAB RAFTER CHART

2x4 SCAB	6'-0"	24' O.C.
2x6 SCAB	9'-0"	24' O.C.
2x8 SCAB	12'-0"	24' O.C.
2x10 SCAB	15'-0"	24' O.C.



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



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DATE BY REV. 02/1

ALL DIMENSIONS SHOWN UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE OF WALLS AND CEILING SHALL BE TO THE CENTERLINE OF WALLS AND CEILING UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE OF DOORS SHALL BE TO THE CENTERLINE OF DOORS UNLESS OTHERWISE NOTED.

G.K.M.B.S.C.D.2
(1/15/16)

KIMES RESIDENCE - PHASE 2
590 NORWICH STREET
HILLIARD, OHIO 43026
LOWER LEVEL ELECTRICAL PLAN

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ALL DIMENSIONS AND NOTATIONS ARE APPROXIMATE. VERIFY CONDITIONS ON THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND NOTATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND NOTATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND NOTATIONS.

DATE	2/22/16
BY	G.K.M.B.S.C.D.
REV.	02/22/16
REV.	02/22/16
REV.	02/22/16

E.1.0

ELECTRIC SYMBOLS

- | | | | |
|----|---|---|---|
| 1 | SINGLE POLE SWITCH | ○ | OWNER SELECTED BALL MOUNTED FIXTURE |
| 3 | 3 WAY SWITCH | □ | CEILING RECESSED FIXTURE |
| 4 | 4 WAY SWITCH | □ | NOTE RECESSED CAN TO BE 3/4" MAX 30" HALOGEN BULBS SHORT NECK |
| 15 | ANY SWITCH WITH DIMMER | ■ | CEILING RECESSED (ADJUSTABLE PLATE) |
| 17 | MOTION ACTIVATED SWITCH/SENSOR | ○ | CEILING EXHAUST IS REMOTE FAN EVENT LOCATION |
| 18 | 10V DUPLEX RECEPTICAL | ○ | NOTOR IN ATTIC - VERIFY LOCATION IN BUILDER |
| 19 | 20V SINGLE RECEPTICAL | ○ | CEILING EXHAUST FAN - TYPICAL 01 SERIES |
| 20 | 10V DUPLEX FLUT RECEPTICAL | ○ | COMBINATION CEILING EXHAUST FAN AND LIGHT FIXTURE - NOTES 01 SERIES |
| 21 | SPECIAL OUTLET | ○ | SERVICE PANEL |
| 22 | TELEPHONE OUTLET | ○ | MAY BE RECESSED OR SURFACE MOUNTED |
| 23 | CABLE OUTLET | ○ | EXTERIOR FLOOD LIGHTS |
| 24 | DATA PORT (COMPUTER JACK) | ○ | FLUORESCENT FIXTURE |
| 25 | GROUND FAULT CIRCUIT INTERRUPTER | ○ | UNDER CABINET PROVIDED (CULVERT) |
| 26 | LEAD-RESISTANT | ○ | TRACK LIGHTS |
| 27 | JUNCTION BOX | ○ | CEILING FAN |
| 28 | OWNER SELECTED GLO. MOUNTED FIXTURE | ○ | COMBINATION CEILING FAN AND LIGHT FIXTURE |
| 29 | OWNER SELECTED GLO. MOUNTED FIXTURE (INSTALL FAN BOX) | ○ | STAR LIGHT |

ALL BASEMENT RECEPTACLES (FINISHED OR UNFINISHED AREAS) TO HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION.

ALL ELECTRICAL SERVICE TO HOMES ARE REQUIRED TO HAVE A SURGE PROTECT DEVICE INSTALLED. THIS APPLIES TO NEW AND REMODELED HOMES.

TAMPER RESISTANT OUTLETS SHALL BE INSTALLED IN THE DUELLING AREAS (SPECIFIED IN NEC 20.1.9 (B))

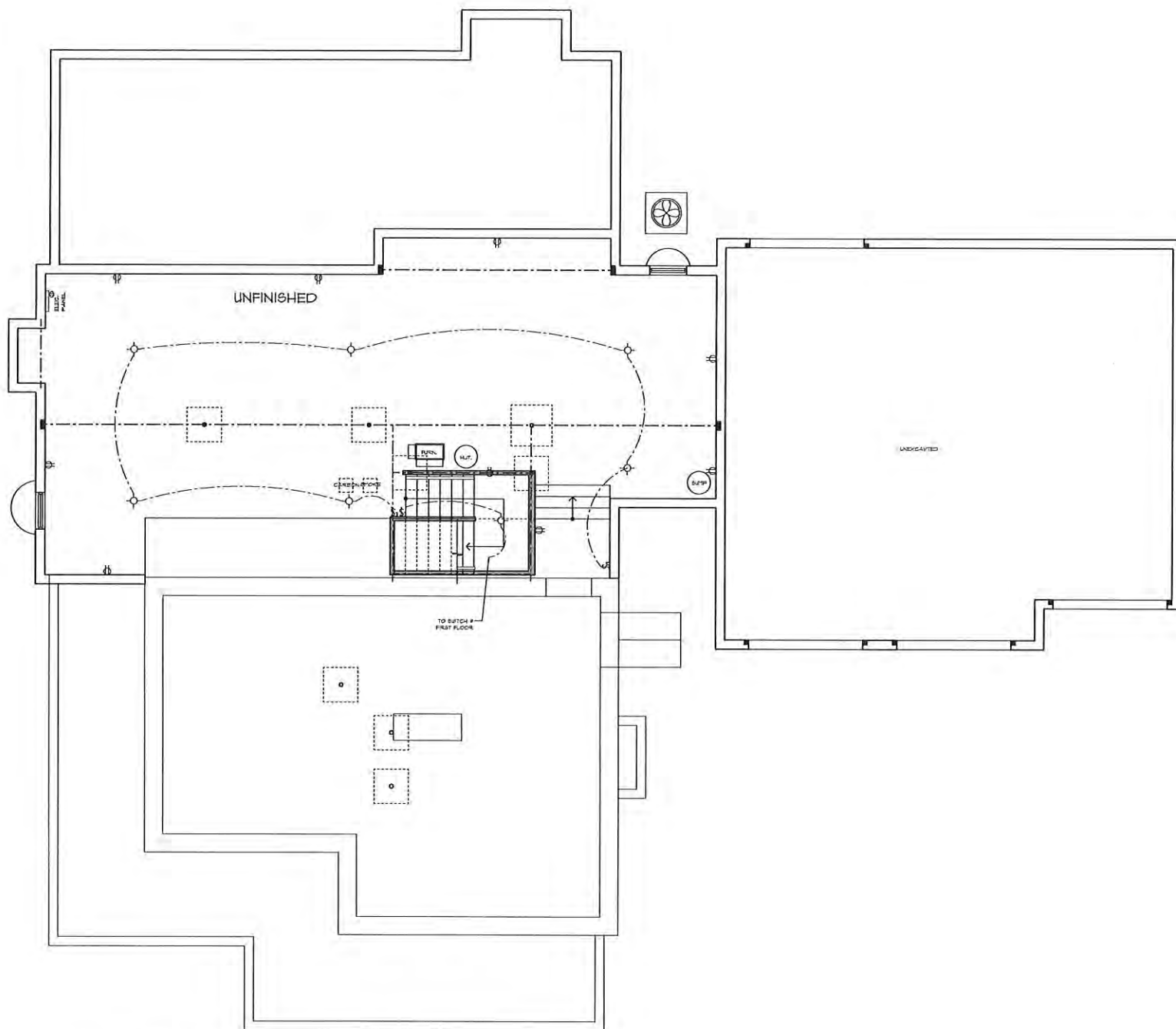
ALL ONE- AND TWO-FAMILY HOMES ARE REQUIRED TO HAVE A LABELLED ELECTRICAL DISCONNECT IN A READILY ACCESSIBLE OUTDOOR LOCATION.

RECEPTACLES SERVING 250-VOLT APPLIANCES SHALL HAVE GFCI PROTECTION WHEN LOCATED IN AREAS CALLED OUT IN SECTION 20.8(A) OF THE NEC.

NOTE: ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION FOR THE ENTIRE BRANCH CIRCUIT. EXCLUDED WILL BE BRANCH CIRCUITS FOR UNFINISHED BASEMENTS, GARAGES, EXTERIOR OUTLETS, & BATHS.

GROUNDING ELECTRODE SYSTEM INSTALLATION

- (A) ROD, PIPE AND PLATE ELECTRODES SHALL MEET THE REQUIREMENTS OF NEC 250.52(A)(1)
- (B) IF PRACTICABLE, ROD, PIPE AND PLATE RELATED ELECTRODES SHALL BE BRIDGED BELOW PERMANENT MOISTURE LEVEL. ROD, PIPE AND PLATE ELECTRODES SHALL BE FREE FROM NON-CONDUCTIVE COATINGS SUCH AS PAINT OR ENAMEL.
- (C) A SINGLE ROD, PIPE OR PLATE ELECTRODE SHALL BE SUPPLEMENTED BY AN ADDITIONAL ELECTRODE OF A TYPE SPECIFIED IN 250.52(A)(2) THROUGH (A)(5). THE SUPPLEMENTAL ELECTRODE SHALL BE PERMITTED TO BE BOND TO ONE OF THE FOLLOWING:
 - 1) ROD, PIPE OR PLATE ELECTRODE
 - 2) GROUNDING ELECTRODE CONDUCTOR
 - 3) GROUNDING SERVICE ENTRANCE CONDUCTOR
 - 4) NONFERROUS GROUNDING SERVICE RACEWAY
 - 5) ANY GROUNDING SERVICE ENCLOSURE
- (D) IF MULTIPLE ROD, PIPE OR PLATE ELECTRODES ARE INSTALLED TO MEET THE REQUIREMENTS OF THIS SECTION, THEY SHALL NOT BE LESS THAN 6 FEET APART.
- (E) WHERE MORE THAN ONE OF THE ELECTRODES OF THE TYPE SPECIFIED IN 250.52(A)(2) OR (A)(5) ARE USED, EACH ELECTRODE OF ONE GROUNDING SYSTEM (INCLUDING THAT USED FOR SURGE TERMINATION DEVICES) SHALL NOT BE LESS THAN 6 FEET FROM ANY OTHER ELECTRODE OF ANY OTHER GROUNDING SYSTEM. TWO OR MORE GROUNDING ELECTRODES THAT ARE BONDED TOGETHER SHALL BE CONSIDERED A SINGLE GROUNDING ELECTRODE SYSTEM.
- (F) THE BONDING JUNCTIONS USED TO CONNECT THE GROUNDING ELECTRODES TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 250.66 AND SHALL BE CONNECTED IN THE MANNER SPECIFIED IN 250.70.



LOWER LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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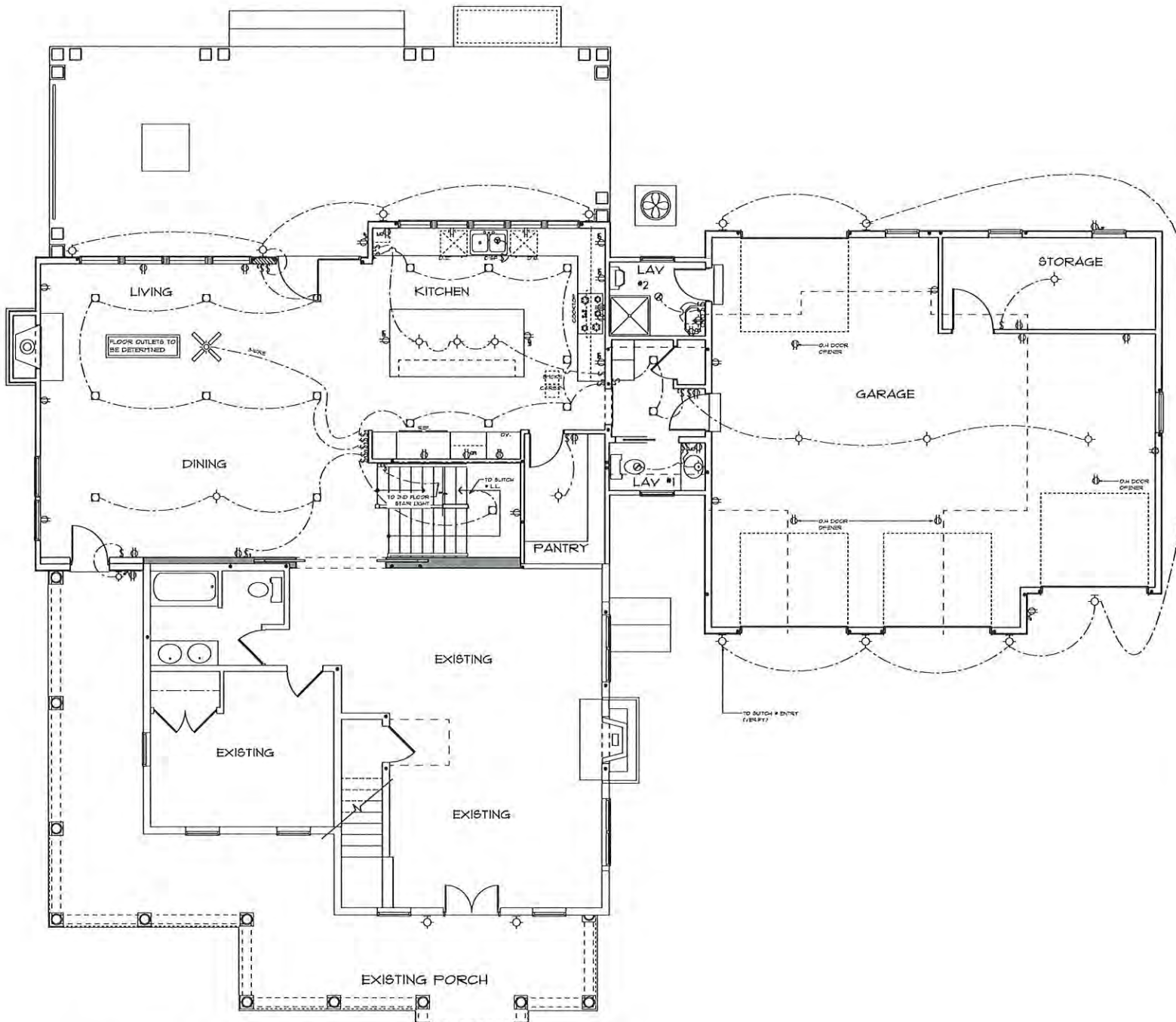
ALL ELECTRICAL SYMBOLS AND NOTATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING ELECTRICAL SYMBOLS AND NOTATION BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING ELECTRICAL SYMBOLS AND NOTATION BEFORE BEGINNING WORK.

C.K.M.E.S. CD52
(21356)

KIMES RESIDENCE - PHASE 2
5910 NORWICH STREET
HILLIARD, OHIO 43026
FIRST FLOOR ELECTRICAL PLAN

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DATE	01/15/12
REV	01/15/12
REV	01/15/12
REV	01/15/12
REV	01/15/12



ELECTRIC SYMBOLS

- 1 SINGLE POLE SWITCH
- 2 3 WAY SWITCH
- 3 4 WAY SWITCH
- 4 ANY SWITCH WITH DIPPER
- 5 MOTION ACTIVATED SWITCH/SENSOR
- 6 10Y DUPLEX RECEPTICAL
- 7 20Y ANGLE RECEPTICAL
- 8 10Y DUPLEX 3-PRONG RECEPTICAL
- 9 SPECIAL OUTLET
- 10 TELEPHONE OUTLET
- 11 CABLE OUTLET
- 12 DATA PORT (COMPUTER JACK)
- 13 GFI (GROUND FAULT CIRCUIT INTERRUPTER)
- 14 LEAK-PROOF
- 15 JUNCTION BOX
- 16 OWNER SELECTED CLG. POINTED FIXTURE
- 17 OWNER SELECTED CLG. POINTED FIXTURE (INSTALL FAN BOX)
- 18 STAR LIGHT
- 19 OWNER SELECTED BALL POINTED FIXTURE
- 20 CEILING RECESSED FIXTURE
- 21 NOTE RECESSED CAVIS TO BE 3/4" MAX 30 W/ALUMEN BALLS (SHOW HOOK)
- 22 CEILING RECESSED (ADJUSTABLE (PLATE))
- 23 CEILING EXHAUST (UP REPORTS FAN (VENT LOCATION) MOTOR IN ATTIC - VERIFY LOCATION @ BULKHEAD
- 24 CEILING EXHAUST FAN - "NITE" 0" SERIES
- 25 COMBINATION CEILING EXHAUST FAN AND LIGHT FIXTURE - "NITE" 0" SERIES
- 26 SERVICE PANEL (MAY BE RECESSED OR SURFACE MOUNTED)
- 27 EXTERIOR FLOOD LIGHTS
- 28 FLUORESCENT FIXTURE
- 29 UNDER CABINET MOUNTED (K/GALRY)
- 30 TRACK LIGHTS
- 31 CEILING FAN
- 32 COMBINATION CEILING FAN AND LIGHT FIXTURE

ALL BASEMENT RECEPTICALS (FIN SHED OR UN-FINISHED AREAS) TO HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION.

ALL ELECTRICAL SERVICE TO HOMES ARE REQUIRED TO HAVE A SURGE PROTECT DEVICE INSTALLED. THIS APPLIES TO NEW AND REMODELED HOMES.

TAMPER RESISTANT OUTLETS SHALL BE INSTALLED IN THE DWELLING AREAS SPECIFIED IN NEC 20.0.2 (B)

ALL ONE AND TWO-FAMILY HOMES ARE REQUIRED TO HAVE A LABELLED ELECTRICAL DISCONNECT IN A READILY ACCESSIBLE OUTDOOR LOCATION.

RECEPTICALS SERVING 250-VOLT APPLIANCES SHALL HAVE GFCI PROTECTION WHEN LOCATED IN AREAS CALLED OUT IN SECTION 20.0.8(A) OF THE NEC.

NOTE: ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, B AND 20 AMPERE OUTLETS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION FOR THE ENTIRE BRANCH CIRCUIT. EXCLUDED WILL BE BRANCH CIRCUITS FOR UN-FINISHED BASEMENTS, GARAGES, EXTERIOR OUTLETS, 4 BATHS.

GROUNDING ELECTRODE SYSTEM INSTALLATION

- (A) ROD, PIPE AND PLATE ELECTRODES SHALL MEET THE REQUIREMENTS OF NEC 250.53(A)(1)
- (B) IF PRACTICABLE, ROD, PIPE AND PLATE RELATED ELECTRODES SHALL BE PROVIDED BELOW PERMANENT MOISTURE LEVEL. ROD, PIPE AND PLATE ELECTRODES SHALL BE FREE FROM NON-CONDUCTIVE COATINGS SUCH AS PAINT OR ENAMEL.
- (C) A SINGLE ROD, PIPE OR PLATE ELECTRODE SHALL BE SUPPLEMENTED BY AN ADDITIONAL ELECTRODE OF A TYPE SPECIFIED IN 250.53(A)(2) THROUGH (A)(8). THE SUPPLEMENTAL ELECTRODE SHALL BE PERMITTED TO BE SIZES TO ONE OF THE FOLLOWING:
 - 1) ROD, PIPE OR PLATE ELECTRODE
 - 2) GROUNDING ELECTRODE CONDUCTOR
 - 3) GROUNDING SERVICE ENTRANCE CONDUCTOR
 - 4) NONFLEXIBLE GROUNDING SERVICE RACEWAY
 - 5) ANY GROUNDING SERVICE ENCLOSURE
- (D) IF MULTIPLE ROD, PIPE OR PLATE ELECTRODES ARE INSTALLED TO MEET THE REQUIREMENTS OF THIS SECTION, THEY SHALL NOT BE LESS THAN 6 FEET APART.
- (E) WHERE MORE THAN ONE OF THE ELECTRODES OF THE TYPE SPECIFIED IN 250.53(A)(2) OR (A)(4) ARE USED, EACH ELECTRODE OF ONE GROUNDING SYSTEM (INCLUDING THAT USED FOR STRIKE TERMINATION DEVICES) SHALL NOT BE LESS THAN 6 FEET FROM ANY OTHER ELECTRODE OF ANY OTHER GROUNDING SYSTEM. TWO OR MORE GROUNDING ELECTRODES THAT ARE BONDED TOGETHER SHALL BE CONSIDERED A SINGLE GROUNDING ELECTRODE SYSTEM.
- (F) THE BONDING APPARATUS USED TO CONNECT THE GROUNDING ELECTRODES TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 250.66 AND SHALL BE CONNECTED IN THE MANNER SPECIFIED IN 250.70.

FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

DATE	BY	REV

C. KIMES, CDS2
(3136)

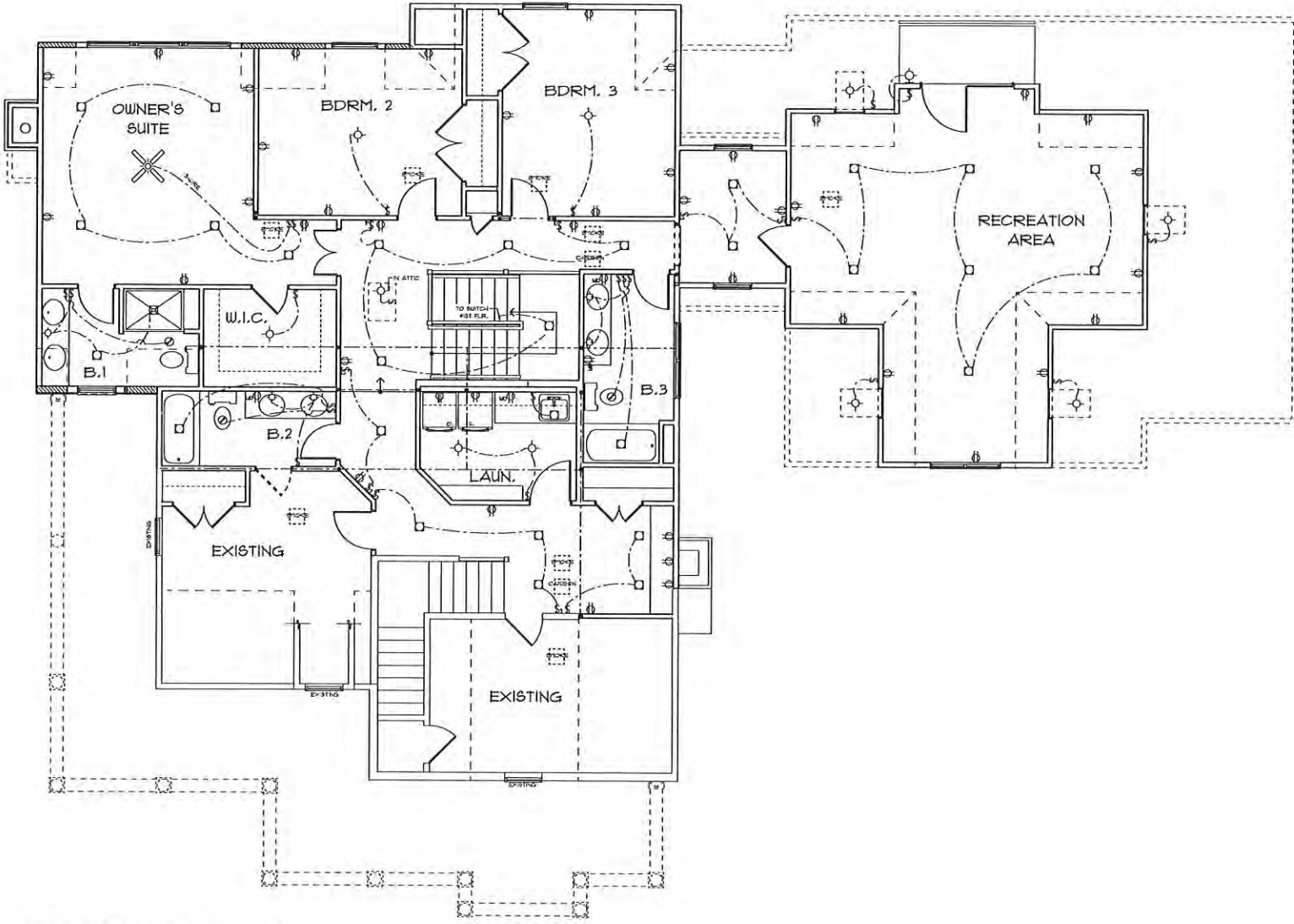
KIMES RESIDENCE - PHASE 2
850 NORWICH STREET
HILLIARD, OHIO 43026

SECOND FLOOR ELECTRICAL PLAN

DATE: 02/11/10
 LOT: 2022-10-1
 SHEET: 2022-10-1
 TOTAL SHEETS: 2022-10-1

ELECTRIC SYMBOLS

- | | |
|---|---|
| ⊕ SINGLE POLE SWITCH | ⊗ OTHER SELECTED CLG. MOUNTED FEATURE |
| ⊕ 3 WAY SWITCH | □ CEILING RECESSED FEATURE |
| ⊕ 4 WAY SWITCH | NOTE: RECESSED CASE IS TO BE THE FAN 30 HALOGEN BULBS BUILT IN CASE |
| ⊕ DIM. SWITCH WITH DIMMER | ⊕ CEILING RECESSED (ADJUSTABLE DISPLAY) |
| ⊕ MOTION ACTIVATED SWITCH SENSOR | ⊕ CEILING EXHAUST FAN - REPORT FAN (FAN) LOCATION: MOTION IN ATTIC - VERIFY LOCATION W. BUILDER |
| ⊕ 100V DUPLEX RECEPTICAL | ⊕ CEILING EXHAUST FAN - TURN OFF BIKES |
| ⊕ 200V SINGLE RECEPTICAL | ⊕ COORDINATION CEILING EXHAUST FAN AND LIGHT FEATURE - NOTE OF BIKES |
| ⊕ 100V DUPLEX SPLIT RECEPTICAL | ⊕ SERVICE PANEL (CAY BE RECESSED OR SURFACE MOUNTED) |
| ⊕ SPECIAL OUTLET | ⊕ EXTERIOR OR FLOOD LIGHTS |
| ⊕ TELEPHONE OUTLET | ⊕ FLUORESCENT FEATURE |
| ⊕ CABLE OUTLET | ⊕ UNDER CABINET MOUNTED MODULAR |
| ⊕ DATA PORT (COMPUTER JACK) | ⊕ TRACK LIGHTS |
| ⊕ GROUND FAULT CIRCUIT INTERRUPTER | ⊕ CEILING FAN |
| ⊕ LEATHERPROOF | ⊕ COORDINATION CEILING FAN AND LIGHT FEATURE |
| ⊕ ANTIION BOX | |
| ⊕ OTHER SELECTED CLG. MOUNTED FEATURE | |
| ⊕ OTHER SELECTED CLG. MOUNTED FEATURE (INSTALL FAN BOX) | |
| ⊕ STEIN LIGHT | |



ALL BASEMENT RECEPTACLES (FINISHED OR UNFINISHED AREAS) TO HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION.

ALL ELECTRICAL SERVICE TO HOMES ARE REQUIRED TO HAVE A BURGE PROTECT DEVICE INSTALLED. THIS APPLIES TO NEW AND REMODELED HOMES.

TAMPER RESISTANT OUTLETS SHALL BE INSTALLED IN THE DUELING AREAS SPECIFIED IN NEC 210.12 (B)

ALL ONE- AND TWO-FAMILY HOMES ARE REQUIRED TO HAVE A LABELLED ELECTRICAL DISCONNECT IN A READILY ACCESSIBLE OUTDOOR LOCATION.

RECEPTACLES SERVING 250-VOLT APPLIANCES SHALL HAVE GFCI PROTECTION WHEN LOCATED IN AREAS CALLED OUT IN SECTION 210.8(A) OF THE NEC.

NOTE: ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE PHASE IS AND 20 AMPERE OUTLETS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION FOR THE ENTIRE BRANCH CIRCUIT, EXCLUDED WILL BE BRANCH CIRCUITS FOR UNFINISHED BASEMENTS, GARAGES, EXTERIOR OUTLETS, & BATHS.

GROUNDING ELECTRODE SYSTEM INSTALLATION

(A) ROD, PIPE AND PLATE ELECTRODES SHALL MEET THE REQUIREMENTS OF NEC 250.53(A)(3)

(B) IF PRACTICABLE, ROD, PIPE AND PLATE RELATED ELECTRODES SHALL BE EMBEDDED BELOW PERMANENT FINISH LEVEL. ROD, PIPE AND PLATE ELECTRODES SHALL BE FREE FROM NON-CONDUCTIVE COATINGS SUCH AS PAINT OR ENAMEL.

(C) A SINGLE ROD, PIPE OR PLATE ELECTRODE SHALL BE SUPPLEMENTED BY AN ADDITIONAL ELECTRODE OF A TYPE SPECIFIED IN 250.53(A)(1) THROUGH (A)(3). THE SUPPLEMENTAL ELECTRODE SHALL BE PERMITTED TO BE BOND TO ONE OF THE FOLLOWING:

- 1) ROD, PIPE OR PLATE ELECTRODE
- 2) GROUNDING ELECTRODE CONDUCTOR
- 3) GROUNDING SERVICE ENTRANCE CONDUCTOR
- 4) NONFLEXIBLE GROUNDING SERVICE RACEWAY
- 5) ANY GROUNDING SERVICE ENCLOSURE

(D) IF MULTIPLE ROD, PIPE OR PLATE ELECTRODE ARE INSTALLED TO MEET THE REQUIREMENTS OF THIS SECTION, THEY SHALL NOT BE LESS THAN 6 FEET APART.

(E) WHERE MORE THAN ONE OF THE ELECTRODES OF THE TYPE SPECIFIED IN 250.53(A)(1) OR (A)(3) ARE USED, EACH ELECTRODE OF ONE GROUNDING SYSTEM (INCLUDING THAT LAID FOR STRIKE TERMINATION DEVICES) SHALL NOT BE LESS THAN 6 FEET FROM ANY OTHER ELECTRODE OF ANY OTHER GROUNDING SYSTEM. TWO OR MORE GROUNDING ELECTRODES THAT ARE BONDED TOGETHER SHALL BE CONSIDERED A SINGLE GROUNDING ELECTRODE SYSTEM.

(F) THE BONDING JUNCTION USED TO CONNECT THE GROUNDING ELECTRODES TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 250.66 AND SHALL BE CONNECTED IN THE MANNER SPECIFIED IN 250.10.

SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



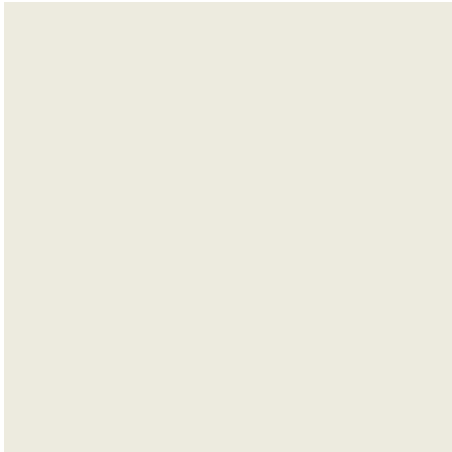
November 28, 2022

Project: Residential Renovation and Addition
Street Address: 5190 Norwich Street, Hilliard, OH 43026
Owner: Mr. & Mrs. Hayden Kimes
Designer: Residential Designed Solutions, Inc.

MATERIAL SELECTIONS

Siding 1

Horizontal Siding
Hardie Plank Siding
8" Lap Exposure – Select Cedarmill
Sherwin Williams SW 7008 Alabaster



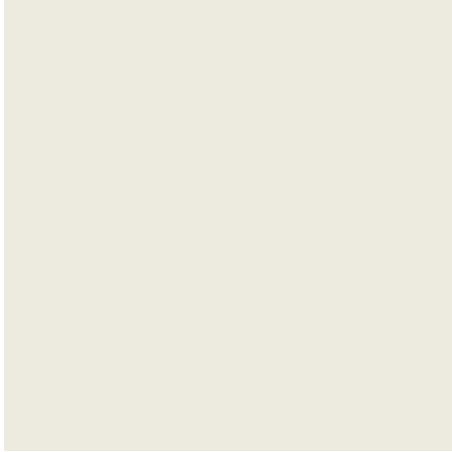
Siding 2

Shake Siding

Hardie Shingle Siding - Staggered Edge Panel

Sherwin Williams SW 7008 Alabaster

(areas to be determined as accent material on elevations)



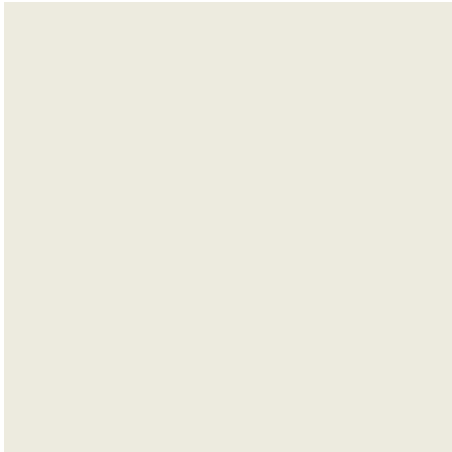
Siding 2

Shake Siding

Hardie Shingle Siding - Straight Edge Panel (alt. selection)

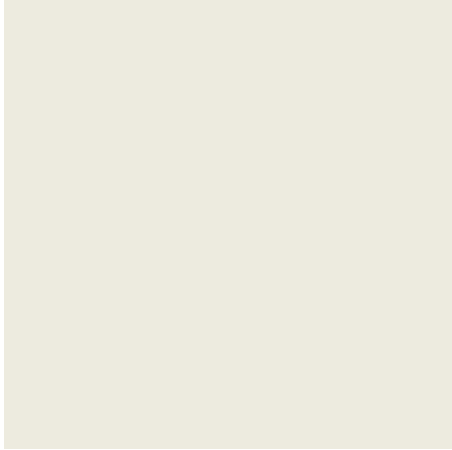
Sherwin Williams SW 7008 Alabaster

(areas to be determined as accent material on elevations)



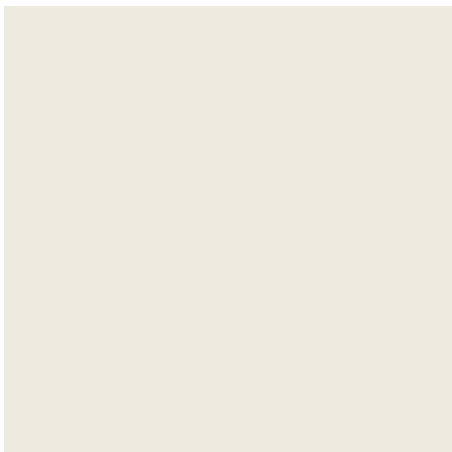
Exterior Trim & Soffits

LP Smartside trim
Woodgrain finish
Sherwin Williams SW 7008 Alabaster



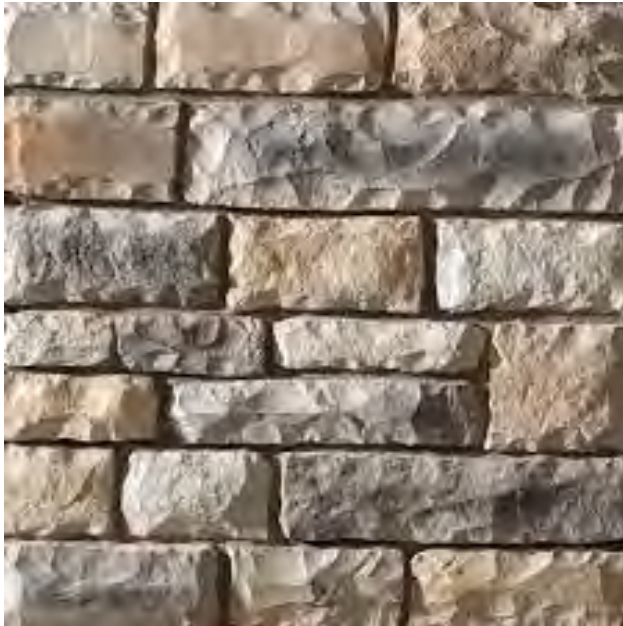
Window & Door Trim

LP Smartside trim
Woodgrain finish
Sherwin Williams SW 7008 Alabaster



Cultured Stone

Dutch Quality – Kentucky Limestone



Dutch Quality – Tuscan Ridge (Winter Point) (alt. selection)



DESIGN SERVICES: Custom Homes Remodeling Interiors Neighborhoods Pre-Designed House Plans

Roofing

Certainteed Landmark Pro
Moire Black



Metal Roofing

Manufacturer: To be determined
Galvanized color



DESIGN SERVICES: Custom Homes Remodeling Interiors Neighborhoods Pre-Designed House Plans

7844 Flint Road, Columbus, OH 43235 † 614 430 0027 f 614 430 8071 www.rdshomedesign.com

Windows

White double hung windows with farmhouse grille
Manufacturer: To be determined



Doors

Front Door

Antique Salvage Vintage double door
Sherwin Williams SW 7587 Antique Red
(see plans for illustration)



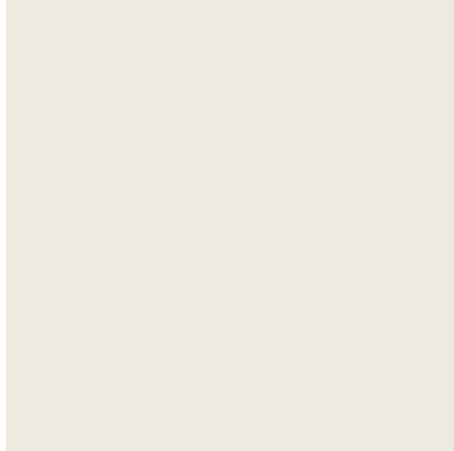
Side Porch Door

Full light glass door
Sherwin Williams SW 7587 Antique Red



All other exterior doors

Sherwin Williams SW 7008 Alabaster

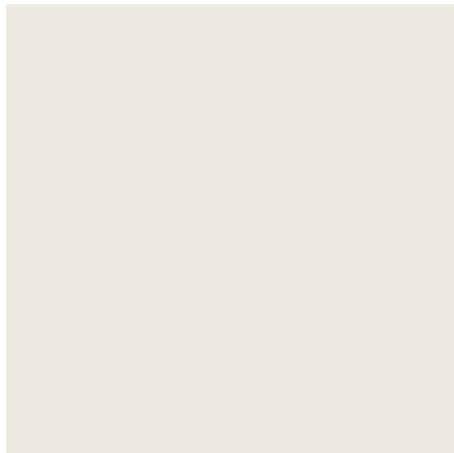


Garage Doors

Manufacturer: To be determined

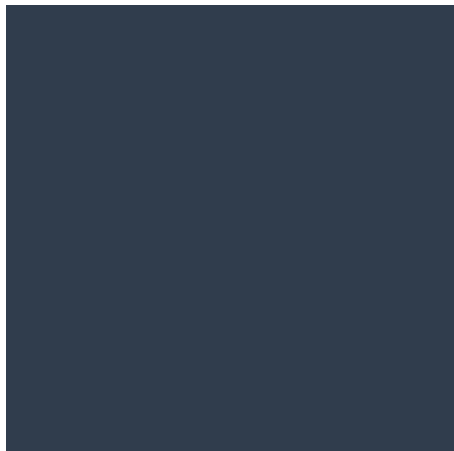
Carriage House style paneled doors (see plans for panel design)

Sherwin Williams SW 7008 Alabaster



Shutters

Atlantic Premium Shutters
Classic Collection
Faux Louver w/add'l rail
Sherwin Williams SW6244 Naval Blue



DESIGN SERVICES: Custom Homes Remodeling Interiors Neighborhoods Pre-Designed House Plans

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Gable Vents

Fypon Decorative Gable Vent
Paint to match Alabaster siding/trim
(see plans for sizes)



Gutters & Downspouts

White



DESIGN SERVICES: Custom Homes Remodeling Interiors Neighborhoods Pre-Designed House Plans

Exterior Light Fixtures

Keeping with the character of Old Hilliard
Model #G14796-BK (from Home Depot)

