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## Agenda

**Planning & Zoning Commission**  
Thursday, April 14, 2022

**Regular Meeting**  
7:00 P.M.

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- I. Call to Order**
  - II. Pledge of Allegiance to the Flag**
  - III. Roll Call**
  - IV. Approval of the Minutes of the March 10, 2022, Meeting**
  - V. Oath to tell the truth**
  - VI. Changes to the Agenda (requests for postponements, withdrawals, or change in order of cases)**
  - VII. NEW CASES:**
    - CASE 1: PZ-22-6 – L & A Auto Group - 4896 Scioto Darby Road**  
**PARCEL NUMBER:** 050-002579  
**APPLICANT:** Rashid Salah, 4128 Hoffman Farms Drive, Hilliard, OH 43026; c/o Kamal Chinary, 2719 West Case Road, Columbus, OH 43235.  
**REQUEST:** Review & approval of a Level “B” Site Plan under the provisions of Hilliard Code Chapter 1131 and a conditional use under the provisions of Hilliard Code Section 1123.03, 1123.04, 1123.16(b), and 1123.16(c) to permit vehicles sales and major vehicle repair on 0.93 acre.
    - CASE 2: PZ-22-12 – Sunoco - 4144 Main Street**  
**PARCEL NUMBER:** 050-000136  
**APPLICANT:** JNV Inc., 3047 Walkerview Road, Hilliard, OH 43026; and Tyler Sikkema, C&B Sign Services, 3620 Highland Green, Cincinnati, OH 45245.  
**REQUEST:** Review & approval of a variance under the provisions of Hilliard Code Section 1129.08 to permit a ground sign with internally illuminated LED fuel pricing.
    - CASE 3: PZ-22-13 – Sherwin Williams – 3873 Park Mill Run Drive**  
**PARCEL NUMBER:** 050-007277  
**APPLICANT:** ExchangeRight Net-Leased Portfolio 54 DST, 1055 E. Colorado Boulevard, Suite 310, Pasadena, CA 91106; and Stan Young, Trinity Sign Group, 91 Lancelot Lane, Westerville, OH 43081.  
**REQUEST:** Review & approval of a variance under the provisions of Hilliard Code Section 1129.08 to permit an additional wall sign and to reduce the minimum setback for a new ground sign on 1.609 acres.

**CASE 4: PZ-22-16 – Ansmil PUD Subarea E1 Modification – 4522 Hickory Chase Way**

**PARCEL NUMBERS:** 050-011722

**APPLICANT:** Hickory Chase Titleholder LLC, c/o Green Courte Partners LLC, 303 W. Madison, Suite 1500, Chicago, IL 60606; and Curtis Prill, EMH&T, 5500 New Albany Road, Columbus, OH 43054.

**REQUEST:** Review & approval of a modification of the Ansmil PUD Development Text for Subarea E1 under the provisions of Hilliard Code Section 1117.08 to specify the minimum building and pavement setbacks from Hickory Chase Way, to modify the exterior building material standards, and to modify the lighting standards.

**CASE 5: PZ-22-17 – The Courtyards at Carr Farms Section 6 – 4852 Leppert Road**

**PARCEL NUMBERS:** 050-008252

**APPLICANT:** Epcon Carr Farms LLC, 500 Stonehenge Parkway, Dublin, OH 43017; and Sydney Berry, EMH&T, 5500 New Albany Road, Columbus OH 43054.

**REQUEST:** Review & approval of a Final Plat under the provisions of Hilliard Code Section 1188.05 and the Carr Farms PUD Concept Plan for a development consisting of 31 single-family lots on 8.398 acres.

**CASE 6: PZ-22-18 – Zoning Code Amendment**

**APPLICANT:** City of Hilliard, c/o Michelle Crandall, City Manager. 3800 Municipal Way, Hilliard, OH 43026.

**REQUEST:** Review & approval of a zoning code amendment to Code Section 1105.08 to add a definition for “Short-term Rental” to Code Section 1115.02 to add “Short-term Rental” and “Bed and Breakfast Inns” as permitted uses in the OH-MD, Old Hilliard Mixed Use District, and OH-RD, Old Hilliard Residential District, zoning districts and Code Chapter 1121 to add associated development standards.

**CASE 7: PZ-22-21 – Alton Place – Northwest corner of Roberts Road and Alton Darby Road**

**PARCEL NUMBERS:** 53-000006, 053-000615, 053-000616 and 053-000714

**APPLICANT:** Alton Place LLC, c/o Dwight McCabe, 7361 Currier Road, Plain City, OH 43064; and Fischer Homes, c/o Emily Page, 3940 Olympic Boulevard, #400, Erlanger, KY 41018.

**REQUEST:** Review & approval of a variance under the provisions of Hilliard Code Section 1129.08 to permit 5 subdivision development advertising signs with more than 4 colors and to permit increased maximum sign size and maximum height.

**VIII. Discussion Items**

**IX. Chairman’s Communication**

**X. Committee Communications**

**XI. Adjournment**



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## PLANNING & ZONING COMMISSION MEETING MINUTES

Thursday, March 20, 2022 • 7:00 p.m.

### Call to Order

Chairman Jay Muether called the Regular Meeting of Planning and Zoning Commission to order at 7:00 PM.

### Pledge of Allegiance to the Flag

Those in attendance said the Pledge of Allegiance.

### Roll Call

Attendee Name:	Title:	Status:
Chairman Jay Muether	Chair	Present
Vice Chair Bevan Schneck	Vice Chair	Present
Eric Gutknecht	Member	Present
Chris Lewie	Member	Present
Tracey Nixon	Member	Present
Tom Pannett	Member	Present
Bill Uttley	Member	Present

**Staff Members Present:** Assistant City Manager Dan Ralley, Planning Director John Talentino, Planning Manager Carson Combs, City Engineer Clark Rausch and Staff Attorney Kelly Clodfelder. Council Representative Peggy Hale was also in attendance.

**Others Present:** Paul Lyda, Sign Affects, representing the Church of the Nazarene; Andrew Gardner and Braydon Putnam, V3 Companies, representing Tidd Funeral Home; Bryan Dougherty, Epcon Communities, representing Carr Farms; Curtis Prill, EMH&T, representing Tarlton Meadows West; Chris Mann, EMH&T, representing Carr Farms; David Patch; Rick and Arlene Tidd; Mel Sims; Sandra Tucker; Ray and Sharon Roman; James Martin and other interested residents.

### Approval of Minutes

Chairman Muether asked if there were any changes or corrections to the January 13, 2022, Planning and Zoning Commission minutes. With no comments, the minutes were approved by a voice vote.

<b>Status:</b>	Accepted by Voice Vote (7-0).
<b>Ayes:</b>	

### Oath to Tell the Truth

Staff Attorney Kelly Clodfelder administered the Oath to Tell the Truth.

### Changes to the Agenda (requests for postponements, withdrawals, or change in order of cases)

Mr. Talentino indicated that Case 5 (PZ-22-011 – 4095 Main Street LLC – 4095 Main Street) has had a request by the applicant to postpone to the next meeting so that additional design issues can be worked out.

### CASE 6: PZ-22-011 – 4095 Main Street LLC Property – 4095 Main Street

**PARCEL NUMBER:** 050-000153

**APPLICANT:** 4095 Main Street LLC, c/o Chelsea Setterlin Kimes; and James Butz, SPGB Architects, LLC, 4333-A Tuller Road, Dublin OH 43017.

**REQUEST:** Review & approval of an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115.05 and a conditional use under the provisions of Hilliard Code Sections 1123.03, 1123.04, 1123.10(a) &

1123.13(b) for a 9,594-square-foot building with dwellings on the second floor and non-residential uses at street level on 0.162-acre.

Mr. Lewie made a motion to postpone the case to the April 14, 2022, meeting; Mr. Uttley seconded the motion.

<b>STATUS:</b>	The case is postponed to the next regular meeting (7-0).
<b>MOVER:</b>	Chris Lewie
<b>SECONDER:</b>	Bill Uttley
<b>AYES:</b>	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, Bill Uttley

### **New Cases:**

#### **CASE 1: PZ-22-5 – Tidd Funeral Home – 4010 Columbia Street**

**PARCEL NUMBER:** 050-000085

**APPLICANT:** Ricky and Arlene Tidd, 4492 Carrington Way, Hilliard, OH 43026; c/o Braydon Putnam, V3 Companies, 3500 Snouffer Road, Columbus, OH 43235

**REQUEST:** Review and approval of an Old Hilliard District Plan under the provisions of Code Section 1115.05 for a parking lot expansion.

Mr. Combs provided the staff report.

### **BACKGROUND:**

The site is 0.17-acre located on the southeast side of Columbia Street approximately 120 feet southwest of Norwich Street. The property is currently undeveloped and is the former location of a residence which was demolished in 2018. The applicant is requesting approval of an Old Hilliard District Plan for the construction of a 27-space lot that would augment spaces for the funeral home directly across Columbia Street from the site. An alley is located along the southern property line and another alley runs along the rear property line.

### **COMMISSION ROLE:**

The Commission is to review the proposed site modifications as part of the Old Hilliard District for conformance to the provisions of Code Chapter 1115.

### **STAFF RECOMMENDATION:**

Staff finds that the proposed parking lot installation is generally consistent with the intent and purpose of the Zoning Code in Old Hilliard and will provide additional parking resources for the District in a coordinated manner. The proposed improvements will be compatible with the character of the general vicinity and the review criteria in Code Chapter 1115. Based on these findings, staff recommends approval of the proposed Old Hilliard District Plan with the following three conditions:

- 1) That all necessary cross easements be provided to the satisfaction of staff;
- 2) That the installation of all improvements to the site and in public right-of-way be completed to the satisfaction of staff; and
- 3) That all necessary variances be obtained from the Board of Zoning Appeals prior to submitting for permits.

### **REVIEW CRITERIA:**

Section 1115.05(l) sets forth the general criteria for review of projects within the Old Hilliard District:

- Does the project conform to neighborhood development goals and the recommendations of the Comprehensive Plan;
- Is the project complementary to the historic character of the District;
- Does the proposed project harmoniously relate to and enhance adjacent structures and public spaces with respect to scale, building materials, setbacks and similar design elements;
- Does the proposed project accommodate and promote pedestrian activity through wide walkways, linkages to surrounding uses and public spaces and create minimal conflicts with vehicular access;
- Does the proposed project contribute to the area's sense of place, reinforce Old Hilliard's unique character and enhance the people-oriented setting; and



- Does the project create people oriented facades along Main and Norwich Streets with well-defined and inviting building entrances and facades that are in scale with pedestrian activity.

#### CONSIDERATIONS:

- *Comprehensive Plan.* Adopted plans for the District recommend the provision of private, on-site spaces where possible. The Plan emphasizes increasing connectivity for pedestrians and vehicles throughout the District and to redevelop underutilized properties in an attractive way that respects the existing character. The proposed plan will provide needed resources in a way that will be appropriately screened from the public street, provide pedestrian amenities and connections that are missing on Columbia Street and will include alley improvements that will benefit the general public. The proposed improvements will create a short-term resource in that portion of the District until such time as market conditions encourage further infill development as envisioned in the Plan.
- *Zoning.* The site and all surrounding properties are located within Old Hilliard. Properties to the north, east and south are within the OH-RD Mixed Use District and include a variety of commercial uses and a residence. A variety of businesses (including Tidd Funeral Home) are located on the other side of Columbia Street within the OH-MD Mixed Use District.
- *Parking Requirements.* 78 spaces are necessary to meet standard parking requirements. Section 1115.05(f) allows the Planning and Zoning Commission to grant a 50% reduction upon consideration of whether other parking is available within a reasonable distance if transit is available and if hours or peak activity for the use will not coincide with other nearby uses. As a funeral home use a 50% reduction requires 39 spaces. The existing lot at the corner of Columbia and Center Streets includes 42 spaces. This proposed lot will provide 27 additional spaces (69 total). As a unique use that has significant parking needs during limited times, the property owner is working to provide adequate parking resources in close proximity to the use.
- *Lot Design.* The proposed parking layout will provide 27 spaces and is designed to integrate with adjacent parcels that are controlled by the applicant. Circulation along the north property line is proposed at 20 feet and paved portions of the alley will be widened and range from 22.97 to 25 feet to enhance vehicular movement. A variance from Section 1127.04(b)(3)(c) is necessary to reduce aisle width from 24 feet to 20 feet and is recommended by staff as consistent with other parking areas in the area, will improve the existing alley condition and considers the limitations created by small lot sizes in the District.
- *Right-of-Way Improvements.* Sidewalks, stormwater improvements (including underground storage) and site enhancements will be installed to the satisfaction of the City Engineer.
- *Accessibility.* To comply with ADA requirements two spaces must be provided, including 1 van-accessible space. The van space will be provided on-site, and an additional space will be maintained on-street that was traditionally allocated to the site and adjacent funeral home.
- *Lighting.* Lighting will be provided that complies with Code requirements and the Hilliard Design Manual and field adjustments may be made based on site conditions. As part of the construction, a pole with overhead electric and phone will be relocated to the center landscape island.
- *Bicycle Amenities.* Code requires three bicycle spaces. Plans include a 6x6 pad with two posts that will accommodate four bicycles.
- *Cross Easements.* Because the proposed parking circulation is shared/coordinated with surrounding parcels, cross access easements will be required with the adjacent parking areas.
- *Landscape Buffers.* Code requires a 25-foot landscape buffer for properties adjacent to a residential property or district and a variance will be sought from the Board of Zoning Appeals. The plan utilizes coordinated parking with the alleys and a drive aisle with properties to the north with provided buffers that range from 7 feet to 0 feet depending upon location. The Code does not address alley parking configurations and if the buffers were applied to the perimeter of the property as required, parking would not be possible. Shared access with the adjacent properties would also not be possible.

[end of report]

Mr. Schneck asked about the proximity of accessible spaces; Mr. Combs clarified that there were on-street accessible spaces in the past. The project would maintain one on Columbia Street across from the funeral home. The parking lot would include a new van-accessible space.

Mr. Lewie asked if the alley would be maintained in a one-way pattern or if it would become two-way. He also asked if sidewalks would be located on four sides of the project.

Mr. Combs said that the alley would be widened, but that because of the alleys on two sides the project would include a sidewalk segment on the frontage on Columbia Street that would be one of the first segments along that street for pedestrians. He indicated that the alley would be wider than current condition.

Eric Gutknecht asked if the parking was just for the funeral home or if there were other agreements; Mr. Combs said the lot would serve the funeral home, but other arrangements could be looked into in the future.

Andrew Gardner, V3 Companies, spoke for the applicant and agreed with the staff report.

There were no questions for the applicant.

Mel Sims, 4354 Heather Ridge, said that the District is more crowded and that parking is a no-brainer for the area.

Mr. Uttley, seconded by Mr. Gutknecht, made a motion to approve the application for an Old Hilliard District Plan under the provisions of Section 1115.05 with the following conditions:

- 1) That all necessary cross easements be provided to the satisfaction of staff;
- 2) That the installation of all improvements to the site and in public right-of-way be completed to the satisfaction of staff; and
- 3) That all necessary variances be obtained from the Board of Zoning Appeals prior to submitting for permits.

<b>STATUS:</b>	Approved with three conditions (7-0).
<b>MOVER:</b>	Bill Uttley
<b>SECONDER:</b>	Eric Gutknecht
<b>AYES:</b>	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracy Nixon, Tom Pannett, Bill Uttley

**CASE 2: PZ-22-7 – Tarlton Meadows West – Section 4, Phase 1 – Final Plat – East side of Night Concert Lane approximately 200 feet south of Sugar Run Drive**

**PARCEL NUMBER:** 050-000256

**APPLICANT:** Corey Theurkauf, Rockford Homes, Inc., 999 Polaris Parkway, Columbus, OH 43240; c/o Matthew Kirk, EMH&T, 5500 New Albany Road, Columbus, OH 43054

**REQUEST:** Review & approval of a Final Plat under the provisions of Hilliard Code Section 1188.05 and the Tarlton Meadows PUD for a development consisting of 23 lots and 1 reserve on 8.545 acres.

Mr. Combs provided the staff report:

**BACKGROUND:**

The site is 8.548 acres located approximately 200 feet south of Sugar Run Drive and 1000 feet southwest of Meadowsview Drive. On October 24, 2018, Council adopted an ordinance (16-33) approving the Tarlton Meadows PUD consisting of 258 single-family lots on 190.4 acres. The applicant is now requesting approval of a Final Plat for this phase consisting of 23 single-family lots on 8.545 acres.

**COMMISSION ROLE:**

The Commission is to review the proposed final plat for conformance to the provisions of the Tarlton Meadows PUD Development Plan and Hilliard Code Section 1188.05.

**STAFF RECOMMENDATION:**

Staff finds that the proposed final plat is consistent with the provisions of the Tarlton Meadows PUD Plan and Code Section 1188.05. Based on these findings, staff recommends approval of the proposed final plat with the following three conditions:

- 1) That all landscape amenities and street trees be completed in accordance with the approved zoning and submitted schedule, to the satisfaction of staff;
- 2) That all current drainage issues within the development be resolved to the satisfaction of the City Engineer; and

- 3) That the Final Plat meets the requirements of the City Engineer for format and content prior to being scheduled on a City Council agenda.

**CONSIDERATIONS:**

- *Development Standards.* Section 4, Phase 1 is located within Subarea A-2 of the approved development text. Lots in this subarea must have a minimum lot width of 65 feet and a depth of 135 feet. Front yard setbacks are 25 feet and the minimum rear yard is 20 feet. Required side yard setbacks are 5 feet with a combined total minimum of 15 feet. The lots as proposed on the plat conform to the approved zoning.
- *Reserve “U.”* A total of one reserve will be platted and will be owned and maintained by the Homeowner’s Association.
- *Open Space Amenities.* Reserve “U” includes a bike path connection that will link the central green of the development to the larger path system. The reserve also includes designated meadow plantings and reforestation areas as well as interpretive signage approved as part of the rezoning. A statement of intent has been provided that establishes a timeline for completing open space amenities in coordination with other phases of the development. All open space plantings and required street trees must be installed to the satisfaction of the City Arborist.
- *Drainage Issues.* Drainage issues have been noted as part of the construction process within the nearby central greenspace platted as part of Section 3, Phase 1. In coordination with construction, all drainage issues should be resolved to the satisfaction of the City Engineer.

[end of report]

Mr. Schneck inquired about the pedestrian facilities; Mr. Combs explained that the plat includes a bike path through the reserve and would include standard sidewalks along the public street.

Curtis Prill spoke on behalf of the applicant and said they agree with the conditions in the staff report; There were no comments from the public.

Mr. Pannett, seconded by Mr. Lewie, made a motion to approve the application for a Final Plat under the provisions of Hilliard Code Section 1188.05 and the Tarlton Meadows PUD for a development consisting of 23 lots and 1 reserve on 8.545 acres with the following conditions:

- 1) That all landscape amenities and street trees be completed in accordance with the approved zoning and submitted schedule, to the satisfaction of staff;
- 2) That all current drainage issues within the development be resolved to the satisfaction of the City Engineer; and
- 3) That the Final Plat meets the requirements of the City Engineer for format and content prior to being scheduled on a City Council agenda.

<b>STATUS:</b>	Approved with three conditions (7-0).
<b>MOVER:</b>	Tom Pannett
<b>SECONDER:</b>	Eric Gutknecht
<b>AYES:</b>	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracy Nixon, Tom Pannett, Bill Uttley

**CASE 3: PZ-22-8 -Hilliard Church of the Nazarene – 3669 Leap Road**

**PARCEL NUMBER:** 050-002839 & 050-002333

**APPLICANT:** Hilliard Church of the Nazarene, 3669 Leap Road, Hilliard OH 43026; c/o Shelby Nelson, Sign Affects, 10079 Smith-Calhoun Road, Plain City, OH 43064

**REQUEST:** Review & approval of a variance under the provisions of Hilliard Code Section 1129.08 to permit a monument sign with an internally illuminated digital reader board.

Mr. Combs gave the staff report:

**BACKGROUND:**

The overall church site consists of 2 parcels totaling 3.967 acres located on the west side of Leap Road approximately 530 feet north of Jeannette Rd. The site is zoned R-2 and abuts an R-2 district to the North and an R-3 zoning district to the South and West. There is one existing ground sign on the site located on the southernmost

parcel approximately 60 feet south of the driveway entrance to the parking lot. The applicant is requesting approval of a 7-foot-tall, 40-square-foot internally illuminated, double-sided monument sign which contains an internally illuminated sign panel (LED acrylic push through letters) and digital reader board.

#### **COMMISSION ROLE:**

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1129.08.

#### **STAFF RECOMMENDATIONS:**

Staff finds the proposed variance to permit a 40-square-foot internally illuminated, double-sided monument sign which contains an internally illuminated sign panel (LED acrylic push through letters) and digital reader board to be consistent with the spirit and intent of the Sign Code. Based on these findings, staff recommends approval of the monument sign with the following 8 conditions:

- 1) That the proposed monument sign shall be no closer than 12.5 feet from the existing right-of-way;
- 2) That the LED reader board announcement sign area is not more than 24 square feet and is limited to text only with a single letter color and a black background;
- 3) That the sign panel containing the Hilliard Church of the Nazarene's logo contains no more than five colors;
- 4) That the announcements are limited to be changed at a maximum of once per hour;
- 5) That all existing monument signage is removed prior to installation of the proposed sign;
- 6) That the monument sign is landscaped per Code;
- 7) That Hilliard Church of the Nazarene agrees to pay the costs of relocation for the sign if the ultimate right-of-way of Leap Road is expanded in the future in accordance with the Hilliard Thoroughfare Plan or with the dedication of any public easement that would contain the proposed sign; and
- 8) That a sign permit be obtained prior to installation.

#### **CONSIDERATIONS:**

- The proposed sign will be located approximately 12.5 feet from the existing right-of-way and is within the ultimate right-of-way line of Leap Road (40 feet from centerline).
- On June 10, 2021, the Planning and Zoning Commission approved an internally illuminated reader board at 5551 Scioto Darby Road for Hilliard United Methodist Church.
- On December 10, 2020, the Planning and Zoning Commission approved an internally illuminated reader board at 4100 Columbia Street for the Franklin County Fairgrounds.
- On October 11, 2018, the Planning and Zoning Commission approved an internally illuminated reader board at 4300 Avery Road for Hilliard Church of Christ.
- The proposed sign is 40 square feet in overall size, 7 feet tall in overall height, and has a 24-inch metal base. It includes a 24-square-foot internally illuminated LED reader board, and a 16-square-foot panel with internal illumination via 1/4-inch reveal push-thru letters per code. The proposed sign panel has a total of five colors including white, black, and 3 different shades of blue.
- Although the proposed location is within the ultimate Leap Road right-of-way, staff finds the location of the sign to be consistent with the intent of the code, and Hilliard Church of the Nazarene agrees to pay for the cost of future relocation of the sign if necessary.

[end of report]

Mr. Lewie asked to see the sign detail and Mr. Combs explained the logo and colors. He also clarified for the Commission that the overall size of the sign is 40 square feet and the digital reader portion is 24 square feet of that area.

Mr. Lyda, representing the applicant, thanked the staff and that a solution was found given all of the issues relating to the sign and its location. He noted a typo on the sign detail and clarified that the address lettering would be "white" (not black). Mr. Lyda explained that the metal base would be much less costly and easier to move if the right-of-way is expanded. He indicated to the Commission that he agreed to the conditions.

There were no questions for the applicant or additional public comment.

Mr. Schneck, seconded by Mr. Gutknecht, made a motion to approve the application for a sign variance to Hilliard Code Section 1129.08 to permit a monument sign with an internally illuminated digital reader board with the following eight conditions:

- 1) That the proposed monument sign shall be no closer than 12.5 feet from the existing right-of-way;

- 2) That the LED reader board announcement sign area is not more than 24 square feet and is limited to text only with a single letter color and a black background;
- 3) That the sign panel containing the Hilliard Church of the Nazarene's logo contains no more than five colors;
- 4) That the announcements are limited to be changed at a maximum of once per hour;
- 5) That all existing monument signage is removed prior to installation of the proposed sign;
- 6) That the monument sign is landscaped per Code;
- 7) That Hilliard Church of the Nazarene agrees to pay the costs of relocation for the sign if the ultimate right-of-way of Leap Road is expanded in the future in accordance with the Hilliard Thoroughfare Plan or with the dedication of any public easement that would contain the proposed sign; and
- 8) That a sign permit be obtained prior to installation.

<b>STATUS:</b>	Approved with eight conditions (7-0).
<b>MOVER:</b>	Vice Chair Bevan Schneck
<b>SECONDER:</b>	Eric Gutknecht
<b>AYES:</b>	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracy Nixon, Tom Pannett, Bill Uttley

**CASE 4: PZ-22-9 – The Courtyards at Carr Farms Section 2 – Final Plat – Approximately 1,000 feet east of Leppert Road & 1,800 feet north of Davidson Road**

**PARCEL NUMBER:** 050-011719

**APPLICANT:** Epcon Carr Farms LLC, c/o Joel Rhoades, 500 Stonehenge Parkway, Dublin, OH 43017; and Sydney Berry, EMH&T, 5500 New Albany Road, Columbus OH 43054.

**REQUEST:** Review & approval of a Final Plat under the provisions of Hilliard Code Section 1188.05 and the Carr Farms PUD for a development consisting of 50 lots and 7 reserves on 12.156 acres.

Mr. Talentino gave the staff report:

**BACKGROUND:**

The site is 24.423 acres located on the east side of Leppert Road approximately 1,000 feet north of Davidson Road. On November 12, 2015, the Planning and Zoning Commission approved a PUD Concept Plan and consisting of 157 single-family lots on 79.5 acres. On April 12, 2018, The Commission approved a 6-month extension of the PUD Concept Plan (through March 11, 2019). On September 13, 2018, the Commission approved a modification of the PUD Concept Plan consisting of 59 traditional single-family homes and 179 empty nester homes on 79.45 acres. On April 8, 2021, the Commission approved a Final Plat for The Courtyards at Carr Farms Phase 1 consisting of 47 single-family lots on 24.423 acres. On October 11, 2021, adopted a resolution (21-R-62) modifying the Carr Farms PUD Concept Plan to permit 16 townhouse dwelling units and 50 empty nester homes on 21.44 acres consisting of Subarea "B". On February 10, 2022, the Commission approved a Final Plat for The Courtyards at Carr Farms Section 5 consisting of 35 single-family lots and 6 reserves on 13.297 acres within Subarea "B".

The applicant is now requesting approval of a Final Plat consisting of 50 single-family lots and 7 reserves on 12.156 acres within Subarea "A".

**COMMISSION ROLE:**

The Commission is to review the proposed final plat for conformance to the provisions of the Courtyards at Carr Farms PUD Concept Plan and Hilliard Code Section 1188.05.

**STAFF RECOMMENDATION:**

Staff finds that the proposed final plat is consistent with the provisions of the Courtyards at Carr Farms PUD Concept Plan and Code Section 1188.05. Based on these findings, staff recommends approval of the proposed final plat with the following condition:

- 1) That the Final Plat meet the requirements of the City Engineer for format and content prior to being scheduled on a City Council agenda.

## CONSIDERATIONS:

- The site consists of the northeastern portion of the Courtyards at Carr Farms PUD Subarea “A”. A maximum of 177 lots are permitted in this subarea.
- Development standards for single-family courtyard homes include 52-foot minimum lot width, 120-foot minimum lot depth, minimum 20-foot front yard, minimum 15-foot minimum setback to sidewalk for corner lots, minimum 5-foot side yard, minimum 12.5-foot rear yard from internal property lines, minimum 65-foot building setback from the eastern and southern overall property boundaries, and minimum 1,400-square-foot floor area.
- A total of 50 single-family lots are proposed. The proposed lots meet the minimum lot width and lot depth requirements. A 2.227-acre reserve (Reserve “F”) is proposed at the north end of the site and includes a stormwater basin, a 30-foot-wide regional path easement, and a 25-foot-wide sanitary sewer easement. A 0.210-acre reserve (Reserve “G”) is proposed in the western portion of the site between Neptune Way and Arcadian Avenue. A 0.093-acre reserve (Reserve “H”) is proposed at the western terminus of Edie Drive and will contain sidewalk connections from the sidewalks along Edie Drive to Diplomat Way. A 0.132-acre reserve (Reserve “I”) is proposed adjacent to Arcadian Way near Edison Street and will contain sidewalk and landscaping. A 0.039-acre reserve (Reserve “J”) is proposed betwixt Lots 106 and 107 in the southwestern portion of the site. Reserve “K” is proposed to contain the following private streets: Neptune Way, Diplomat Way, and Arcadian Avenue. Reserve “L” is proposed to contain the following private street: Edison Street. The reserves will be owned and maintained by an association comprised of the property owners.

[end of report]

There were no questions for staff;

There were no questions for the applicant, Mr. Dougherty from Epcon Communities.

Sandra Tucker, an adjacent resident in the Brixston Subdivision, voiced a concern for the amount of water ponding along the rear of her lot and asked how the water would be addressed.

Mr. Dougherty indicated that mass earth work will be underway soon to finish the grading and drainage. He asked for patience and said that the issue would be resolved.

Mr. Muether said that all of the plans had to be approved through the City. Mr. Rausch also noted that there would be an easement along the rear of the adjacent lots that would address the water and remove it through the system.

Mr. Dougherty noted that this has been the 4<sup>th</sup> wettest February on record and that they would resolve the issue.

Ray Roman, resident in the Courtyards at Hayden Run, asked for more information about how the plat would be in relation to the gate on Lexington Drive; Mr. Talentino provided graphics to explain the location of the final plat.

Mr. Gutknecht, seconded by Mr. Uttley, made a motion to approve the request for a Final Plat under the provisions of the Courtyards at Carr Farms PUD Concept Plan and Code Section 1188.05 with the following condition:

- 1) That the Final Plat meet the requirements of the City Engineer for format and content prior to being scheduled on a City Council agenda.

<b>STATUS:</b>	Approved with one condition (7-0).
<b>MOVER:</b>	Eric Gutknecht
<b>SECONDER:</b>	Bill Uttley
<b>AYES:</b>	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracy Nixon, Tom Pannett, Bill Uttley



**CASE 5: PZ-22-10 – The Courtyards at Carr Farms Section 3 – Final Plat – Approximately 1,000 feet east of Leppert Road & 1,100 feet north of Davidson Road**

**PARCEL NUMBER:** 050-011719

**APPLICANT:** Epcon Carr Farms LLC, c/o Joel Rhoades, 500 Stonehenge Parkway, Dublin, OH 43017; and Sydney Berry, EMH&T, 5500 New Albany Road, Columbus OH 43054.

**REQUEST:** Review & approval of a Final Plat under the provisions of Hilliard Code Section 1188.05 and the Carr Farms PUD for a development consisting of 42 lots and 3 reserves on 8.020 acres.

Mr. Talentino gave the staff report:

**BACKGROUND:**

The site is 24.423 acres located on the east side of Leppert Road approximately 1,000 feet north of Davidson Road. On November 12, 2015, the Planning and Zoning Commission approved a PUD Concept Plan and consisting of 157 single-family lots on 79.5 acres. On April 12, 2018, The Commission approved a 6-month extension of the PUD Concept Plan (through March 11, 2019). On September 13, 2018, the Commission approved a modification of the PUD Concept Plan consisting of 59 traditional single-family homes and 179 empty nester homes on 79.45 acres. On April 8, 2021, the Commission approved a Final Plat for The Courtyards at Carr Farms Phase 1 consisting of 47 single-family lots on 24.423 acres. On October 11, 2021, adopted a resolution (21-R-62) modifying the Carr Farms PUD Concept Plan to permit 16 townhouse dwelling units and 50 empty nester homes on 21.44 acres consisting of Subarea “B”. On February 10, 2022, the Commission approved a Final Plat for The Courtyards at Carr Farms Section 5 consisting of 35 single-family lots and 6 reserves on 13.297 acres within Subarea “B”.

The applicant is now requesting approval of a Final Plat consisting of 42 single-family lots and 3 reserves on 8.020 acres within Subarea “A”.

**COMMISSION ROLE:**

The Commission is to review the proposed final plat for conformance to the provisions of the Courtyards at Carr Farms PUD Concept Plan and Hilliard Code Section 1188.05.

**STAFF RECOMMENDATION:**

Staff finds that the proposed final plat is consistent with the provisions of the Courtyards at Carr Farms PUD Concept Plan and Code Section 1188.05. Based on these findings, staff recommends approval of the proposed final plat with the following condition:

- 1) That the Final Plat meet the requirements of the City Engineer for format and content prior to being scheduled on a City Council agenda.

**CONSIDERATIONS:**

- The site consists of the southeastern portion of the Courtyards at Carr Farms PUD Subarea “A”. A maximum of 177 lots are permitted in this subarea.
- Development standards for single-family courtyard homes include 52-foot minimum lot width, 120-foot minimum lot depth, minimum 20-foot front yard, minimum 15-foot minimum setback to sidewalk for corner lots, minimum 5-foot side yard, minimum 12.5-foot rear yard from internal property lines, minimum 65-foot building setback from the eastern and southern overall property boundaries, and minimum 1,400-square-foot floor area.
- A total of 42 single-family lots are proposed. The proposed lots meet the minimum lot width and lot depth requirements. A 0.060-acre reserve (Reserve “M”) is proposed at the northwest corner of the site and will include a sidewalk and landscaping. A 0.172-acre reserve (Reserve “N”) is proposed in the northern portion of the site and will contain a sidewalk and landscaping. Reserve “O” is proposed to run through the site and consist of the private streets. The reserves will be owned and maintained by an association comprised of the property owners.

[end of report]

There were no questions for staff or the applicant.

Mr. James Martin, 2927 Snowberry Lane, asked if the connection to Davidson at the south edge of the project would be a vehicular connection. Mr. Talentino confirmed.



Ms. Nixon, seconded by Chairman Muether, made a motion to approve the request for a Final Plat under the provisions of the Courtyards at Carr Farms PUD Concept Plan and Code Section 1188.05 with the following condition:

- 1) That the Final Plat meet the requirements of the City Engineer for format and content prior to being scheduled on a City Council agenda.

<b>STATUS:</b>	Approved with one condition (7-0).
<b>MOVER:</b>	Tracey Nixon
<b>SECONDER:</b>	Chairman Jay Muether
<b>AYES:</b>	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracy Nixon, Tom Pannett, Bill Uttley

### **Chairman's Communication**

There were no additional items for communication.

### **Committee Communication**

Ms. Nixon noted that for the community center an artist has been selected and that due-dilligence is underway before the selection is revealed. She indicated that they are moving ahead with a wellness partner and will be moving forward to select an architect for the project.

Mr. Uttley noted that the Arts Commission met and will be making recommendations to City Council for the sunflower designs to paint at least seven of the traffic control boxes on Cemetery Road and in Old Hilliard. He said there were approximately 60 choices that were unique.

Mr. Uttley said that there will be a mural going up at Franklin and Main Streets that will have a balloon theme.

Mr. Schneck asked if the ongoing survey results for the Community Plan could be viewed by the Commission; Mr. Gutknecht also asked about the railroad cleanup and what the corridor will be used for.

Mr. Talentino indicated that results could be provided. He also confirmed that clean-up activities are being conducted on the railroad property but did not know the exact use of the right-of-way in the future.

Peggy Hale, the new City Council Representative, introduced herself to the Commission.

Chairman Muether thanked everyone for the updates.

### **Adjournment**

Chairman Muether, seconded by Vice Chair Schneck, motioned to adjourn at 7:44 p.m.

### **Approved:**

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**Acting Clerk**  
**Carson Combs, Planning Manager**



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**STAFF REPORT  
PLANNING AND ZONING COMMISSION  
APRIL 14, 2022**

**CASE 1: PZ-22-6 – L & A Auto Group - 4896 Scioto Darby Road**

**PARCEL NUMBER:** 050-002579

**APPLICANT:** Rashid Salah, 4128 Hoffman Farms Drive, Hilliard, OH 43026; c/o Kamal Chinary, 2719 West Case Road, Columbus, OH 43235.

**REQUEST:** Review & approval of a Level “B” Site Plan under the provisions of Hilliard Code Chapter 1131 and a conditional use under the provisions of Hilliard Code Section 1123.03, 1123.04, 1123.16(b), and 1123.16(c) to permit vehicles sales and major vehicle repair on 0.93 acre.

**BACKGROUND:**

The site is 0.93 acre located on the north side of Scioto Darby Road opposite Scioto Farms Drive. It consists of a 2,800-square-foot building used for automotive repair. On April 14, 2016, the Commission approved a variance for additional wall signage. On March 12, 2020, the Commission approved a conditional use to permit a tire and brake shop and repair facility. The applicant is now requesting approval of a conditional use to permit major vehicle repair and vehicle sales.

**COMMISSION ROLE:**

The Commission is to review the proposed conditional use for conformance to the provisions of Hilliard Code Chapter 1123. Conditional uses differ from permitted uses in that they may have a greater impact on the surrounding area and thus require special review and approval. The Commission is to ensure that the proposal will be compatible in this location. In considering the application, the Commission may impose such requirements and conditions as the Commission may deem necessary for the protection of adjacent properties and the public interest. In addition to all other requirements and conditions that the Commission may deem necessary, the Commission may, as it further deems necessary, deny any application for a conditional use.

**STAFF RECOMMENDATION:**

Staff finds that the proposed Level “B” Site Plan, as amended per the conditions listed below, will be consistent with the purpose and intent of the Zoning Code. Based on this finding, staff recommends approval with the following 5 conditions:

- 1) That a variance from the Board of Zoning Appeals is obtained concerning vehicular use area interior and perimeter landscaping requirements;
- 2) That the landscape plan be revised to show 30 shrubs per 100 linear feet along the perimeter of the vehicular use areas, subject to staff approval;
- 3) That the plans are revised to demonstrate conformance to the provisions of the Hilliard Storm Water Design Manual, subject to the approval of the City Engineer;
- 4) That any signage shall meet the provisions of Hilliard Code Chapter 1129; and

- 5) That the vehicular use area improvements shown on the approved plan are completed prior to the issuance of a zoning certificate.

Staff finds that the proposed conditional use, as amended per the conditions below, will be consistent with the intent and purposes of the Zoning Code, will be compatible with the character of the general vicinity, and will not impede the normal and orderly development and improvement of the surrounding property. Staff finds that the location and scale of the use, the nature and intensity of the proposed operations, the site and layout as amended per the conditions listed below, and its relation to surrounding streets will not cause undue traffic congestion or hazards adjacent to the site or in the immediate vicinity. Based on these findings, consistent with the provisions of Code Chapter 1123, staff recommends approval of the proposed conditional use with the following 4 conditions:

- 1) That the proposed use conforms to the provisions of Hilliard Code Section 1123.16(b) and 1123.16(c);
- 2) That hours of operation are from 8:00 a.m. to 8:00 p.m. daily;
- 3) That the outdoor storage of vehicle parts on the site is prohibited unless otherwise specifically approved by the Planning and Zoning Commission; and
- 4) That any expansion of the approved conditional use requires prior approval by the Planning and Zoning Commission.

#### **CONSIDERATIONS:**

- The site is 0.93 acre located on the northeast side of Scioto Darby Road approximately 1,400 feet northwest of Walcutt Road. It was most recently used for vehicle repair. The site and adjacent properties to the northwest and southeast are zoned B-2, Community Business District. To the southwest, across Scioto Darby Road, are single-family residences zoned R-3, Moderate Density Residential District. To the northwest is a vehicle repair business. To the southeast is a single-family residence. To the northeast is retired railroad corridor property.
- Code Section 1123.03 lists the following general standards for conditional uses:
  - a) The proposed use will be consistent with the intent and purposes of the zoning code and the City of Hilliard Comprehensive Plan.
  - b) The proposed use will comply with all applicable requirements of the zoning code, except as specifically altered in the approved conditional use.
  - c) The proposed use will be compatible with the character of the general vicinity.
  - d) The proposed use and site layout will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. Due consideration will be given to the location and height of proposed buildings and structures, location and type of proposed fences or walls, location and screening of parking areas, and the location and type of proposed landscaping.
  - e) The area and proposed use will be adequately served by essential public facilities and services, as applicable, such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewer. The applicant or landowner will be required to install public utilities, streets or other public infrastructure as required by the city, state or other agencies to applicable specifications that are necessitated by the conditional use development. Dedication of said public infrastructure may be required.

- f) The proposed use will not involve uses, activities, processes, materials, equipment or conditions of operation, that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, odor or other characteristic not comparable to the uses permitted in the zoning district.
- g) The location and scale of the use, the nature and intensity of the proposed operations, the site layout and the relation of the proposed use to surrounding streets will not cause undue traffic congestion or hazards adjacent to the site or in the immediate vicinity beyond that which would be normally expected based on the existing pattern of uses and the planned character reflected in the city's Comprehensive Plan. Peak hour volumes, turning movements, existing street capacity, driveway spacing, sight distances and pedestrian traffic shall all be considered.
- Code Section 1123.04 states that reasonable conditions may be imposed on the approval of a conditional land use in order to achieve the following:
  - a) Ensure public services and facilities affected by the proposed use or activity will be capable of accommodating increased service and facility loads necessitated by the proposed use.
  - b) Ensure that the use is compatible with adjacent conforming land uses and activities.
  - c) Protect natural resources; the health, safety, and welfare; and the social and economic well-being of those who will use the land or activity under consideration, the residents, business owners and landowners immediately adjacent to the proposed use or activity, and the community as a whole.
  - d) Relate to the valid exercise of the police power and purposes which are affected by the proposed use or activity.
  - e) Meet the purpose of the zoning code, be in compliance with the standards established in the code for the land use or activity under consideration, and be in compliance with the zoning district standards.
- Code Section 1123.16(b) lists the following use requirements for the "Sale of New and Used Automobiles" uses:
  - 1) The minimum lot size shall be one acre with a minimum lot width of 200 feet.
  - 2) Signs shall conform to the requirements of Chapter 1129. Flags, pennants, balloons, ribbons, or other attention getting devices are not permitted.
  - 3) Temporary or portable structures are not permitted.
  - 4) Outdoor displays shall conform to the following:
    - A. Vehicles, for sale or lease, shall be parked only on improved surfaces, as defined in this code.
    - B. Vehicle display areas shall meet the setback requirements for parking areas, as required for the respective zoning district.
    - C. Vehicle display or storage shall not be permitted in areas required for visitor, employee or service parking, as required by Chapter 1127 (off-street parking and loading).
    - D. All other merchandise available for sale, including, but not limited to, clothing, accessories, collectibles, etc., shall be sold and displayed within an enclosed building.
  - 5) All service work, including car washing, repair and general maintenance, shall be entirely conducted within an enclosed building.
  - 6) Audible paging systems or outdoor speakers are not permitted.

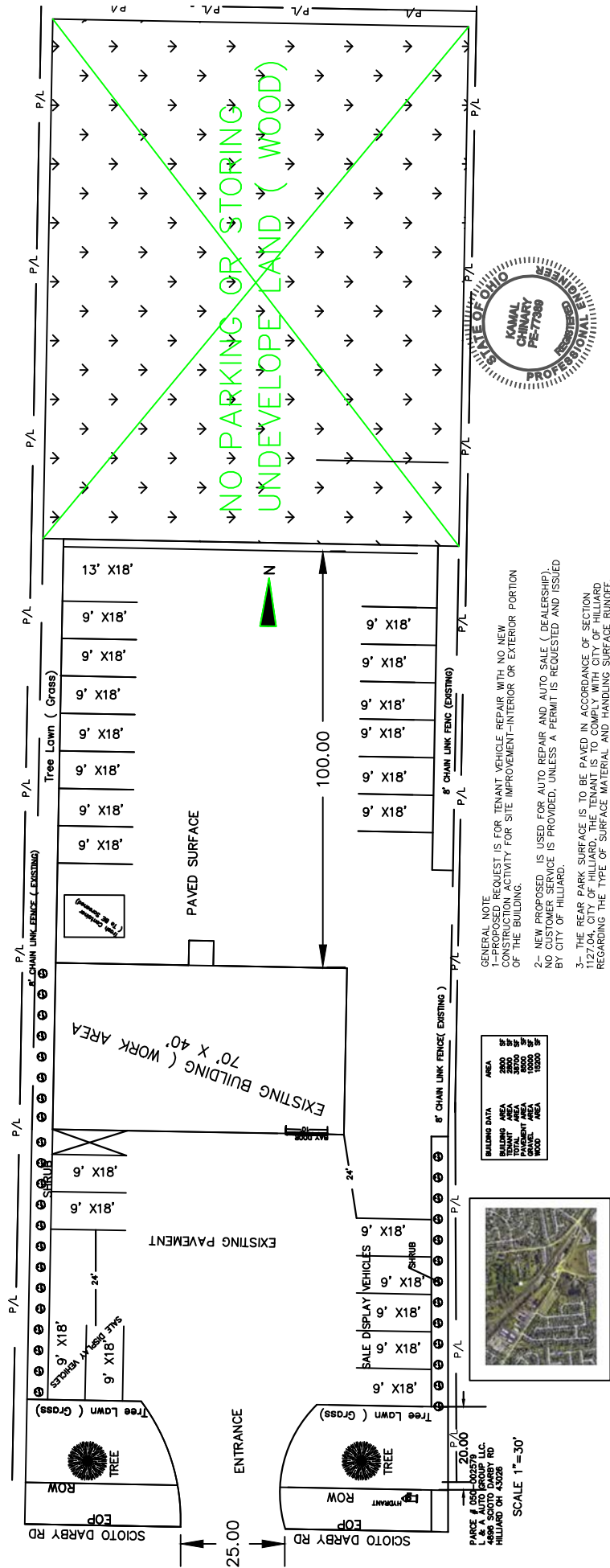
- 7) The use of spotlights or similar equipment is prohibited.
- Code Section 1123.16(c) lists the following use requirements for “Vehicle Repair, Major” uses:
    - 1) All main and accessory structures shall be set back a minimum of 75 feet from any Residential District or residential use.
    - 2) There shall be a minimum lot frontage of 100 feet on an arterial or collector street; and all access to the property shall be from that street.
    - 3) The number, location and design of driveways shall be subject to review and approval by the city traffic engineer.
    - 4) A raised curb of six inches in height shall be constructed along the perimeter of all paved and landscaped areas.
    - 5) Overhead doors shall not face a public street or Residential District or residential use. The Planning and Zoning Commission may modify this requirement upon a determination that there is no reasonable alternative and the visual impact will be diminished through use of building materials, architectural features and landscaping.
    - 6) Where applicable, vehicle queuing space for at least one vehicle shall be provided in front of each service bay.
    - 7) All maintenance and repair work shall be conducted completely within an enclosed building.
    - 8) There shall be no outdoor storage or display of vehicle components and parts, materials, commodities for sale, supplies or equipment.
    - 9) Storage of wrecked, partially dismantled, or other derelict vehicles, or overnight parking of any vehicle except a tow truck shall be permitted up to 30 days in a designated area. Such area shall be appropriately screened from public view in accordance with the screening requirements of Section 1125.06.
    - 10) If the use includes installation of oil or other automotive fluids except for fuel, the applicant shall submit a Pollution Incidence Protection Plan (PIPP). The PIPP shall describe measures to prevent groundwater contamination caused by accidental spills or leakage of gasoline or other hazardous materials, such as special check valves, drain back catch basins, and automatic shut off valves, as approved by the Norwich Township Fire Department and City Engineer.

### **Proposed Use**

- The site currently has approximately 58 feet of asphalt at the Scioto Darby Road right-of-way line as a driveway entrance. The proposed plan shows that 20 feet of existing asphalt will be removed along the Scioto Darby Road frontage resulting in a 25-foot-wide driveway entrance and a minimum 20-foot pavement setback from the right-of-way line. The proposed plan shows an approximately 10,000-square-foot parking lot expansion on the southeast and northeast sides of the building.
- The building has one vehicle bay. Hilliard Code Section 1127.03 states that the required parking for a vehicle repair facility is 2 parking spaces per vehicle bay and 1 per employee. The number of employees has not been specified. The proposed plan shows 7 vehicle display parking spaces and two customer parking spaces in front of the building, and 14 parking spaces behind the building. Staff recommends that the hours of operation

for this building be limited to between 8:00 a.m. and 8:00 p.m. The outdoor storage of vehicle parts is prohibited.

- Storm water management must conform to the provision of the Hilliard Storm Water Design Manual.
- The current site does not meet the landscaping requirements for perimeter landscaping for vehicular use area. The proposed plan shows two trees along the site's Scioto Darby Road frontage and shrubs along the sides of the front parking area. **[Staff recommends that the landscape plan be revised to show 30 shrubs per 100 linear feet along the perimeter of the vehicular use areas, consistent with the provisions of Hilliard Code Section 1125.05.]**
- Signage is not proposed with this application. All signage must conform to the provisions of the Sign Code.





**CASE 2: PZ-22-12 – Sunoco - 4144 Main Street****PARCEL NUMBER:** 050-000136**APPLICANT:** JNV Inc., 3047 Walkerview Road, Hilliard, OH 43026; and Tyler Sikkema, C&B Sign Services, 3620 Highland Green, Cincinnati, OH 45245.**REQUEST:** Review & approval of a variance from Hilliard Code Section 1129.08 to permit a ground sign with internally illuminated LED fuel pricing.**BACKGROUND:**

The Sunoco site is comprised of 2 adjacent lots totaling approximately 0.49 acres; Parcel 050-002288 is the southernmost portion of the site totaling approximately 0.18 acres, and parcel 050-000136 is the northernmost portion of the site totaling approximately 0.31 acres. The site is located on the Southeast side of Main Street approximately 500 feet northeast of North Street. On July 11, 1990, the Old Hilliard Commission approved significant architectural changes to an existing gasoline station (former Marathon station) including the construction of a 1,680-square-foot canopy over the gasoline dispensers. On December 1, 1999, the Old Hilliard Commission approved a change in use and significant architectural changes for a Clark gas station/convenience store. That gasoline station/convenience store began operations and then ceased. After several years, the gasoline station/convenience store began operating under new ownership. On December 4, 2003, the Old Hilliard Commission approved significant architectural changes for temporary and permanent signs to reflect the name change. On April 10, 2008, the Commission approved significant architectural changes to permit a ground sign, as well as a variance to permit a temporary sign to display gasoline prices until the permanent sign was installed. On November 12, 2009, the Planning and Zoning Commission approved architectural changes for gas station signage with the following conditions:

- 1) That internal illumination of the then proposed signage is prohibited;
- 2) The proposed canopy signage is limited to one side only and a blue background with yellow lettering also allowing the diamond logo on the pumps;
- 3) That the applicant is limited to four colors within the historic color palette of the Hilliard Design Guidelines; and
- 4) That sign permits be obtained prior to the installation of any sign.

**COMMISSION ROLE:**

The Commission is to review the proposed signage for conformance to the provisions of Hilliard Code Section 1129.08.

**STAFF RECOMMENDATION:**

Staff finds that the proposal is generally consistent with the intent of the Sign Code. The proposed sign will be compatible with the character of the general vicinity. Staff recommends approval of the proposed sign with the following six conditions:

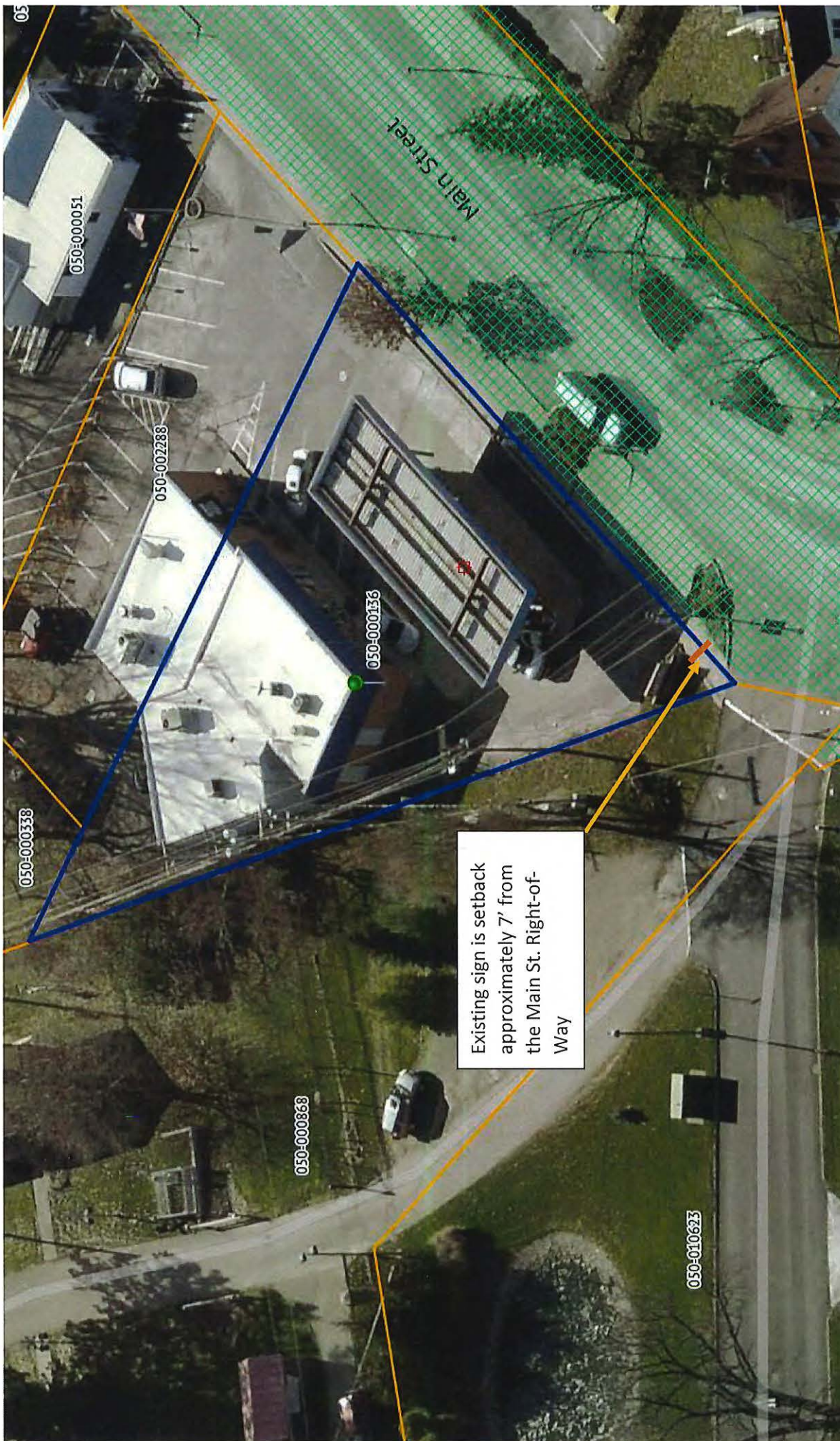
- 1) That only the pricer digits are to be internally-illuminated;
- 2) That plans be revised to demonstrate conformance to the provisions of the Sign Code concerning landscaping and light screening along the back and sides;
- 3) That the required landscaping and light screening is installed within 90 days after installation;
- 4) That the masonry base be cleaned as part of the project;
- 5) That no product advertisements are to be displayed on the sign; and

6) That a sign permit be obtained prior to installation.

**CONSIDERATIONS:**

- The site is zoned OH-MD, Old Hilliard Mixed Use District. The site abuts another OH-MD property to the Southwest, and the property to the East is zoned S-1, Support Facilities District.
- The Sunoco gas station/convenience store is a legal nonconforming use in the OH-MD District and includes DiCarlo's Pizza at 4142 Main Street.
- Per City Code section 1129.04(b)(9), interior-illuminated signs are prohibited in Old Hilliard. Several other gas stations in the city, however, have been approved for internally illuminated changeable pricing digits.
- Per City Code 1129.05, ground signs in Old Hilliard are permitted 24 square feet per face, a maximum of 3 different colors on the sign copy and are required to be landscaped entirely around the base to a width of 3 feet.
- Proposed signage consists of the following: An alteration of an existing ground sign that increases the square footage of the sign from 24 square feet to 40 square feet (per side). The total number of colors proposed is 5. The existing sign is currently externally illuminated with manually changed pricing digits. The applicant is requesting to alter the sign to have 14-inch, internally illuminated, electronic, changeable pricing digits. Lastly, the applicant is proposing to add a 3-foot mulch ring base with 3 evergreen plants on the East side of the sign facing Southbound traffic and adding the address to the sign.



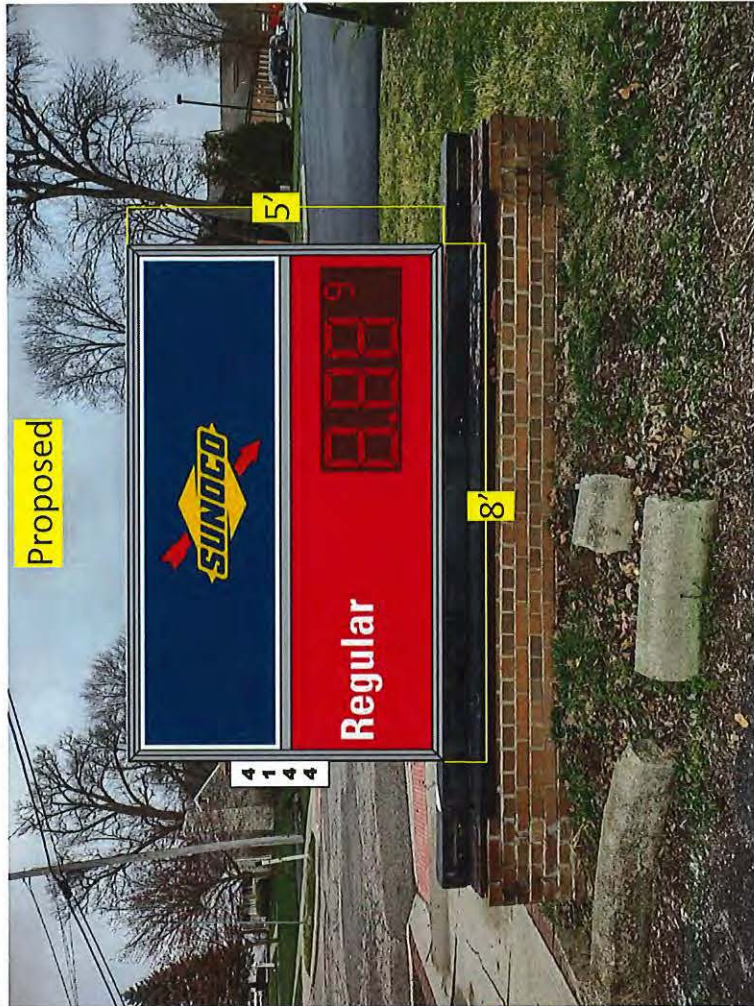
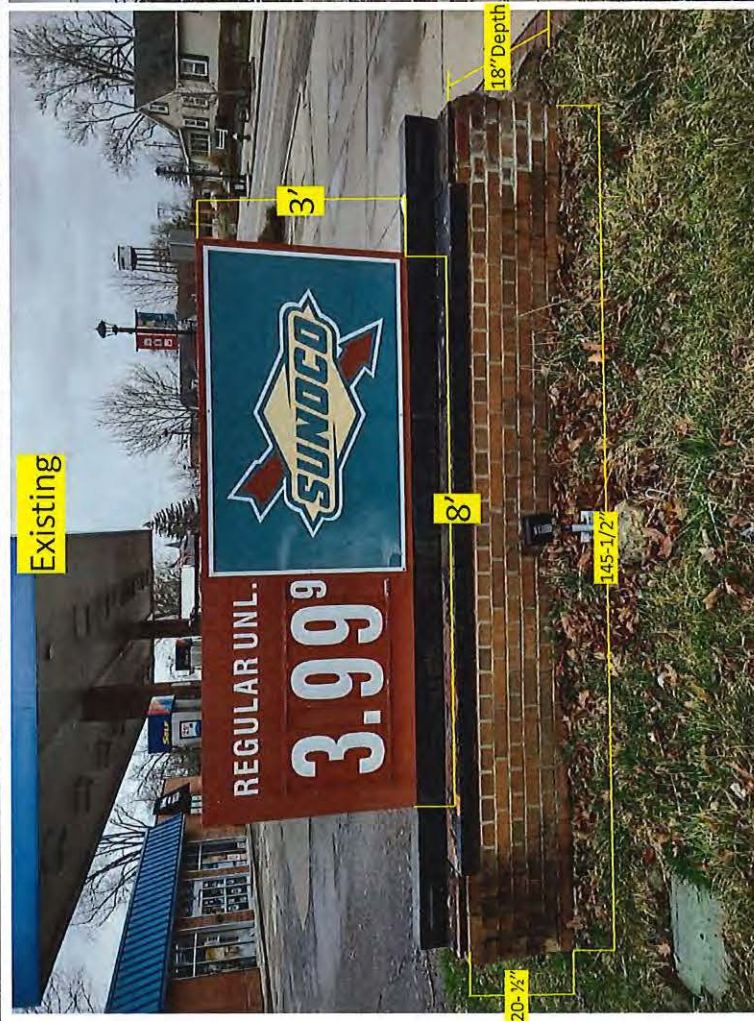


Public Right of Way





## Sign Plans: New Sign Cabinet w/ LED Pricer on existing foundation



- Proposed Sign cabinet is 5'H x 8"W and it will be installed on the existing foundation
- We are requesting an internally illuminated LED pricer (see attached letter regarding illumination details). This internal illumination is created by LED lamps fully concealed in the sign cabinet behind the faces
- Existing external lighting electric supply will be used to supply electric to the LED pricer.
- Pricer digit height = 14"
- Address # displayed on side of sign (double sided)

### Sunoco White

Material / Color Match  
White ACM / White Vinyl



### Sunoco Silver

Material / Color Match  
Pantone 877 C Match



### Sunoco Red

Material / Color Match  
Pantone 485 C Match  
3M Films - Opaque - Red



### Sunoco Yellow

Material / Color Match  
Pantone 109 C Match  
3M Films - Opaque - Bright Yellow - Translucent - Yellow



### Sunoco Blue

Material / Color Match  
Pantone 288 C Match  
3M Film - Sapphire Blue  
ACM - Reynobond Duragloss 3000 Sapphire Blue





Landscaping Plan:

- 3 ft Mulch Ring from sign base
- 3 Evergreen Plants in front

Side note: a complete 3' halo of mulch might be tough as the parking lot and sidewalk are closer than 3' to the sign. We will extend it as far as we can in this case.

**CASE 3: PZ-22-13 – Sherwin Williams – 3873 Park Mill Run Drive****PARCEL NUMBER:** 050-007277**APPLICANT:** ExchangeRight Net-Leased Portfolio 54 DST, 1055 E. Colorado Boulevard, Suite 310, Pasadena, CA 91106; and Stan Young, Trinity Sign Group, 91 Lancelot Lane, Westerville, OH 43081.**REQUEST:** Review & approval of a variance under the provisions of Hilliard Code Section 1129.08 to permit an additional wall sign and to reduce the minimum setback for a new ground sign on 1.609 acres.

**BACKGROUND:** The overall site is 1.609 acres located on the north side of Park Mill Run Drive approximately 315 feet west of Fishinger Blvd. The site is zoned PUD, Planned Unit Development District, as part of the Mill Run PUD. All surrounding properties are also zoned PUD as part of the planned district. In March 1995, the Planning and Zoning Commission recommended the development plan for the Spagheddies Italian Kitchen at this location (adopted by City Council Resolution 95-C-11). Following the closure of the restaurant, City Council approved Resolution 20-R-84 on November 9, 2020, for a text modification to the Mill Run PUD to expand the list of uses for this site. There is one existing ground sign and one wall sign on the south elevation.

**COMMISSION ROLE:** The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1129.08.

**STAFF RECOMMENDATION:**

Staff finds that the proposal is generally consistent with the intent of the Sign Code. The proposed signs will be compatible with the character of the general vicinity. Staff recommends approval of the proposed sign package with the following two conditions:

- 1) That required landscaping is installed within 90 days after the ground sign is installed; and
- 2) That sign permits be obtained for both signs prior to installation.

**CONSIDERATIONS:***Ground Sign*

- The proposed ground sign will be located approximately three feet from the right-of-way.
- The proposed ground sign is 34 square feet in overall size with 5' 8" in overall height and has an existing 20-inch base height.
- The proposed ground sign consists of a panel with ¼ inch reveal push-thru letters per code.
- The proposed ground sign panel has three colors including blue, white, and red.
- Although the location does not meet the 15-foot code setback requirement, staff finds the location of the sign to be consistent with the intent of the code and the existing site conditions.
- The applicant is requesting to use the existing ground sign base from a previous occupant with a new sign panel.

#### *Rear Wall Sign*

- The applicant is also requesting a second wall sign at the rear of their building. The site was approved for a 38-square-foot wall sign at the front of the building facing Park Mill Run on January 18, 2022
- The new proposed wall sign is 27 square feet with halo illumination that meets City code.
- Section 1129.05 of the Sign Code only permits 1 wall sign for properties with only 1 street frontage. The secondary wall sign meets all other code requirements for wall signs. The rear of this site, however, faces toward Cemetery Road and the Tudor Ditch reserve areas along the interchange.



ITEMS CORRESPONDING TO SCHEDULE B

The wetlands are located by shore ground observation and markings only. The local utility protection agency was consulted.

**A** There are no manuscripts known at the time of survey.

There was no spring information provided to the surveyor at the time of survey by the utility. Information received by the Surveyor is as follows:

The report is an excellent contribution to the study of the history of the Negro in America. It is a well-written, well-organized, and well-documented work. The author has done a great deal of research and has presented the results in a clear and concise manner. The book is a valuable addition to the literature on the Negro in America.

[illegible]

Sources: *Handbook of Chile* VCI South Coordinate Data Coordinates by base setup.  
ELEV-7722.31 MVD 88

[illegible][illegible]

\* FINE MOTOR  
 ○ FINE MOTOR  
 □ SEX  
 1 SEX

CONCORDANCE  
 —SN— SENSORY MOTOR LINE  
 —C— GAG LINE  
 —C— ELECTRIC LINE  
 —I— TELEPHONE LINE  
 —STN— STORM SQUALL LINE  
 ■ CLASH PAULT  
 ■ WATER VALVE

1. HIGH PWC SET  
 2. FEELS FOUND  
 3. 1/4" 1/4" PWC FOUND  
 4. TELEPHONE PROBLEM  
 5. ELECTRIC PAULT  
 6. LOFT PAULT  
 7. SENSORY MANDIBLE  
 8. BELLARS  
 9. DUTCH BUSH  
 10. GAG METER  
 11. STORM MANDIBLE  
 12. WATER VALVE

[illegible]

8/12/2021

*[Signature]*  
Joseph J. Hill, P.E.  
Professional Surveyor No. 8382  
Date of Survey 4/26/2020  
Date of Last Amendment  
Survey Performed By  
Hill Surveying, LLC  
14400 State Route 94 West  
M. Sterling, OH 43143  
Phone 614-774-8377  
Fax 740-477-8815  
Cell 614-774-8815  
Email [jjhill@hillsurveying.com](mailto:jjhill@hillsurveying.com)

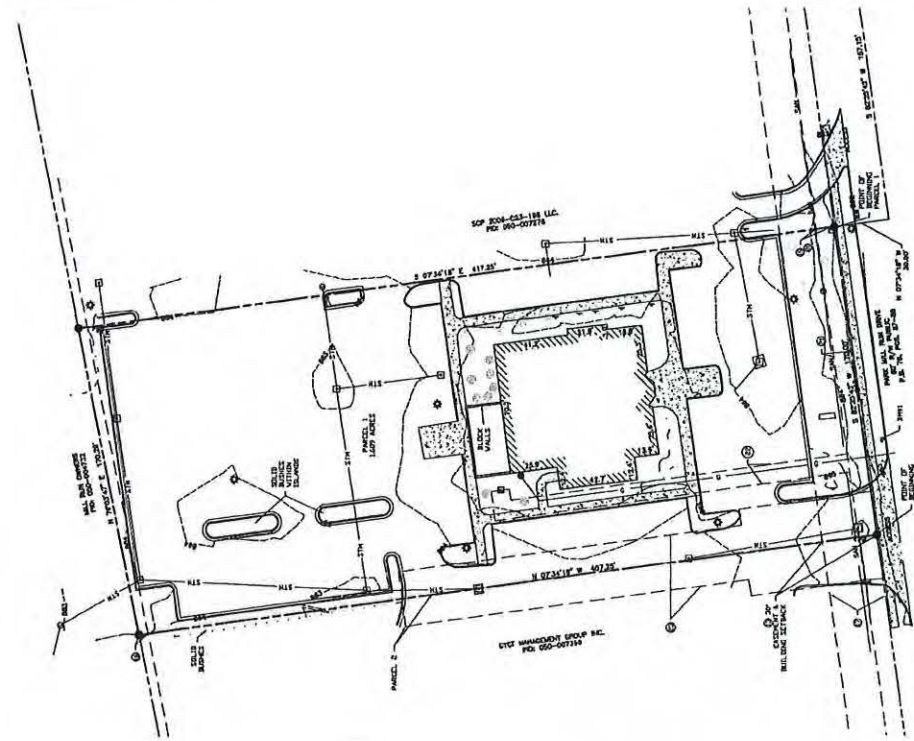


**BLUE J**  
SURVEYING, LLC

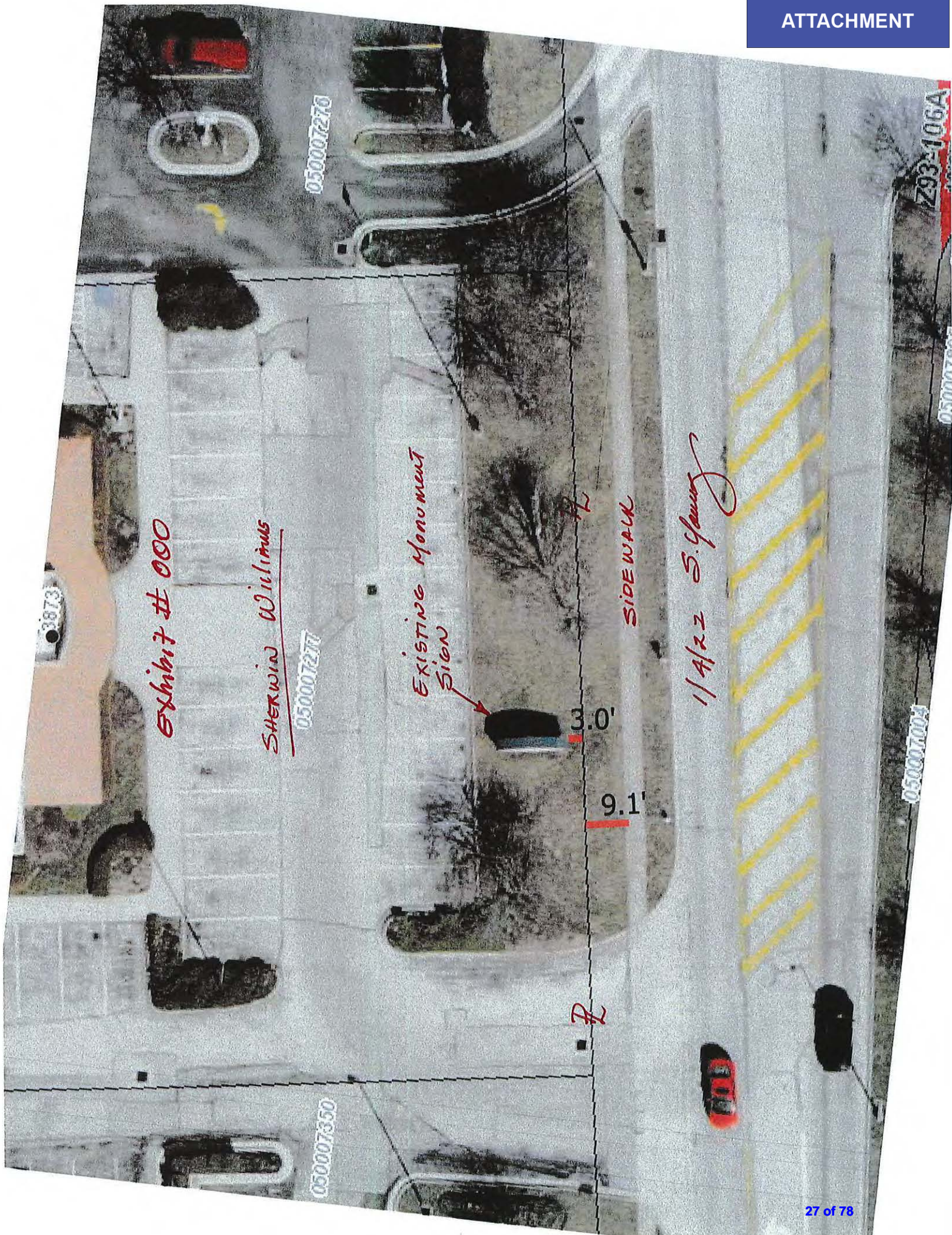
14450 ST. ET. 56 W  
Mt. Sterling, OH 43113  
(614) 774-8577  
FAX 740 447-9865

**1.609 ACRES  
LYING IN  
CITY OF HILLIARD  
FRANKLIN COUNTY  
STATE OF OHIO**

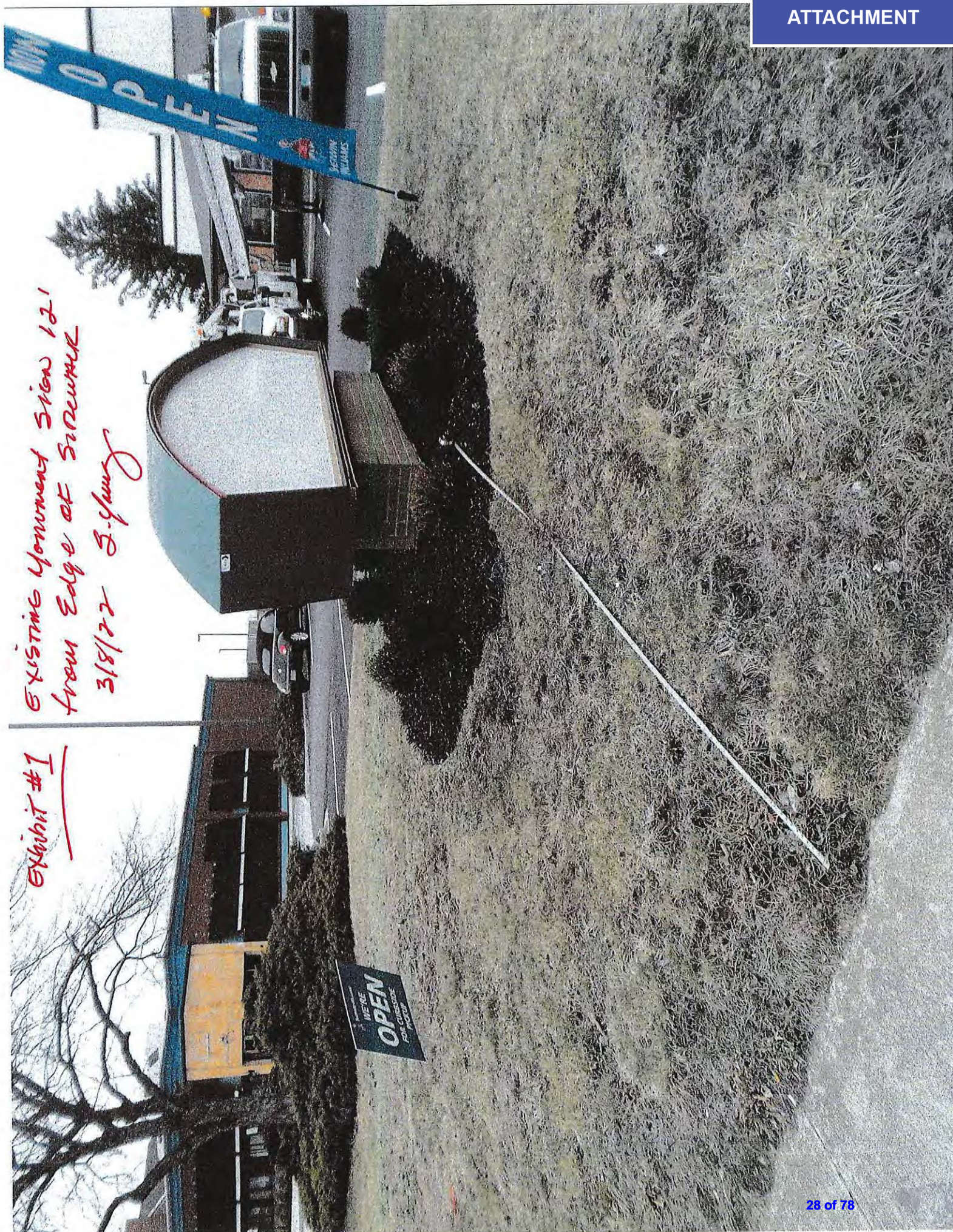
DATE: 8/21	SCALE: 1"=30'	SHEET 1 OF 1
DRWN BY: JB	APPROVED BY:	
DESIGNED BY: JB	JOB NUMBER MILL RUN	











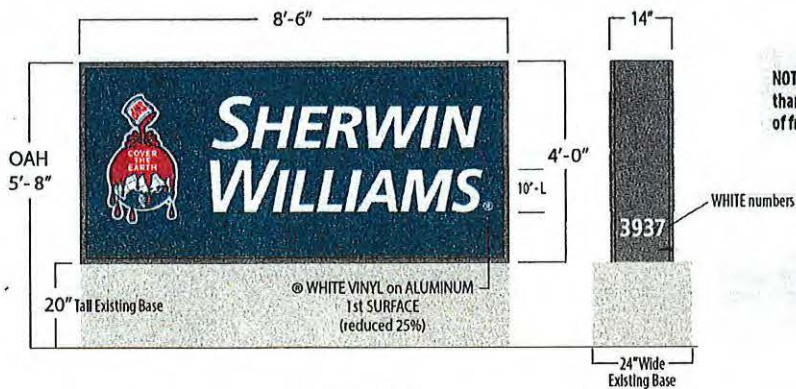
Existing Monument Sign 12'  
from Edge of Sidewalk  
3/18/22 S. Young

Exhibit #1



**SHERWIN-WILLIAMS** 4'-0" x 8'-6" Routed Aluminum DF Opaque Face Sign with 1/4" Push-Thru

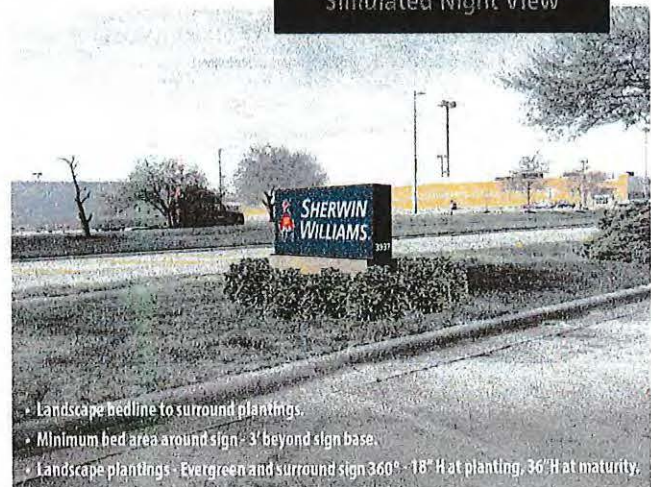
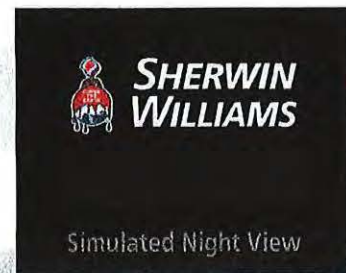
SW# New Store Hilliard, OH



- CABINET: 4'-0" x 8'-6" - EX388
- RETAINER SIZE: 1 1/2" U-MOLDING
- Opaque Faces with Routed Areas for 1/4" Push-Thru Logo & Letters (1/2" Material)
- CTE Logo Digital Graphics on White Vinyl - 1st Surface
- Sherwin Williams in White Vinyl - 1st Surface

#### Color to Transl. White Vinyl

DI Production	
Digital File Name	Same as Sketch.pdf
Illumination	YES
Surface	1st
Print To	Translucent White Vinyl
Lamination	YES
Contour Cut	NO
Backspray White	NO
BackScreen White	NO
Digital White	NO
Distortion Required	NO
Color Match	YES
Color Build Required	NO
NOTES:	



FILE#21-5-168-F-SW-B9

RW

Customer Approval

Scale: 3/8" = 1'-0"

Date: 3-29-2022

Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.

**Dualite**

One Dualite Lane  
Williamsburg, Ohio 45176

WWW.DUALITE.COM / @DUALITEINC @DUALITETWEETS



This design is exclusive property of Dualite Sales & Service, Inc. - 1 Dualite Lane - Williamsburg, OH 45176  
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NOTE: The night time view is NOT correct...  
The face of the letters are opaque & the  
1/4" push-thru will light up only

3/30/22

S. Young  
Applicant



Approved for intent of landscape screening requirements per Hilliard City Code. 8/24/2015.

Clyde R. Seidle, Director of Public Service

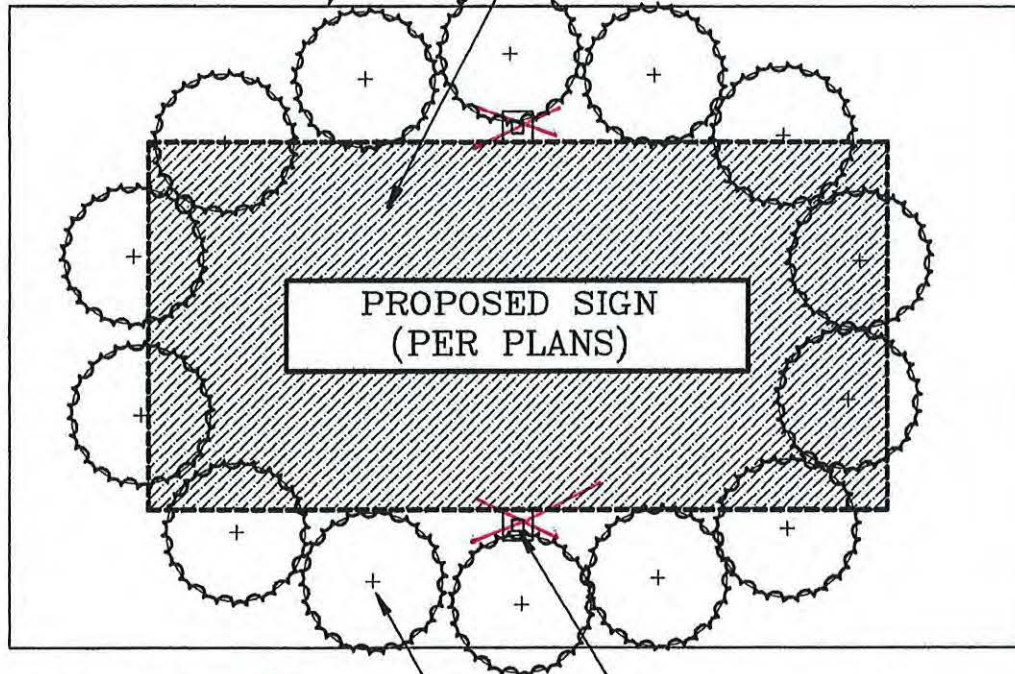
*Clyde R. Seidle*

*Exhibit*

LANDSCAPE BEDLINE TO SURROUND PLANTINGS

MINIMUM BED AREA AROUND SIGN: 3' BEYOND SIGN BASE

*yes, S. Young 1-4-22*



*SITE: Sherwin Williams Monument Sign  
3873 PARK MILL RUN RD.*

SCALE:  $\frac{1}{4}" = 1'-0"$

~~LIGHT FIXTURE (TYP), IF PROPOSED~~  
~~ALL LIGHT FIXTURES MUST BE~~  
~~COMPLETELY SCREENED AT PLANT MATURITY~~  
*S. Young 1-4-22*

LANDSCAPE PLANTINGS:

- yes* < - EVERGREEN
  - yes* < - MUST SURROUND SIGN 360DEG
  - N/A* < ~~MUST SCREEN LIGHT FIXTURES~~
  - yes* < - MIN. 18"H AT PLANTING
  - yes* < - MAX. 3'H AT MATURITY
- S. Young 1-4-22*

PER CITY OF HILLIARD ZONING CODE, SECTION 1129:

"GROUND SIGN BASE SHALL BE:

1. CONSTRUCTED OF CONCRETE, BRICK OR STONE AND THERE SHALL BE NO SPACE BETWEEN THE SIGN FACE OR FRAME AND THE TOP OF BASE.
2. FINISHED IN ONLY ONE COLOR WHICH SHALL BE BLACK, WHITE, GRAY, BROWN OR SOME NEUTRAL VARIATION OF BROWN.
3. EFFECTIVELY LANDSCAPED WITH EVERGREEN PLANT MATERIAL AND CONTINUOUSLY MAINTAINED. THE MINIMUM LANDSCAPED AREA SHALL EXTEND AT LEAST THREE FEET BEYOND THE BASE IN ALL DIRECTIONS."

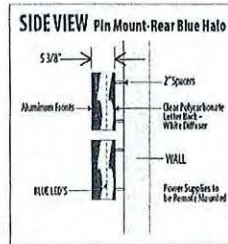
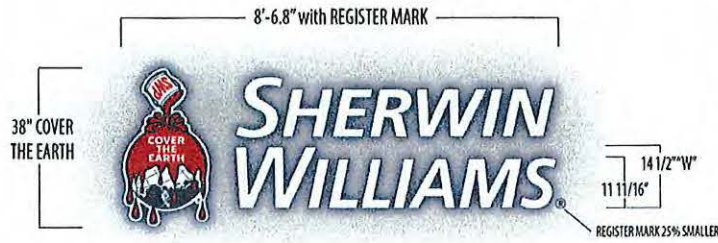
CITY OF HILLIARD - LANDSCAPE STANDARD FOR PRIVATE SIGNAGE  
FOR DOUBLE-FACED SIGNAGE PERPENDICULAR TO ROW



*Exhibit # 8***SHERWIN-WILLIAMS.**

1 qty., 38"CTE 14/12 LED Illuminated Channel Letter Set - Back Blue Halo Illumination

SW# New Store Hilliard, OH

**2 qty., 38" - 14"/11" LED ICON & CHANNEL LETTERS - PIN MOUNT - 27 sq. ft. - BLUE HALO ILLUMINATION**

Simulated Night Illumination



38" COVER THE EARTH CONTOUR LOGO SIGN:

PMS# 293 BLUE, "SPECIAL COLOR RED" plus WHITE

REAR FACING BLUE LED' - with a White Diffuser producing a BLUE HALO

LETTERS:

REAR FACING BLUE LED's

WHITE ALUMINUM FACES

WITH BLUE HALO

REGISTER MARK is BLUE on a CLEAR DISC

FRONTS = DECORATED ALUMINUM IN BLUE, RED & WHITE  
 RETURNS and BACKS are FABRICATED of ALUMINUM, FULLY  
 WELDED - PRIMED and PAINTED PMS 293 BLUE

PIN MOUNTED TO EXISTING BRICK WALL



FILE#21-5-168-F-SW-C2

RW

Customer Approval

Scale: 3/8" = 1'-0"

Date: 2-14-2022

Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.

**Dualite**One Dualite Lane  
Williamsburg, Ohio 45176

WWW.DUALITE.COM / @DUALITEINC @DUALITETWEETS



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**CASE 4: PZ-22-16 – Ansmil PUD Subarea E1 modification – 4522 Hickory Chase Way****PARCEL NUMBERS:** 050-011722**APPLICANT:** Hickory Chase Titleholder LLC, c/o Green Courte Partners LLC, 303 W. Madison, Suite 1500, Chicago, IL 60606; and Curtis Prill, EMH&T, 5500 New Albany Road, Columbus, OH 43054.**REQUEST:** Review & approval of a modification of the Ansmil PUD Development Text for Subarea E1 under the provisions of Hilliard Code Section 1117.08 to specify the minimum building and pavement setbacks from Hickory Chase Way, to modify the exterior building material standards, and to modify the lighting standards.**BACKGROUND:**

The site is 14.394 acres located on the west side of Hickory Chase Way approximately 800 feet south of Davidson Road. It consists of a portion of Ansmil PUD Subarea E1. On December 13, 1999, City Council approved a rezoning by ordinance (99-57) to create the Ansmil PUD. On March 26, 2007, Council approved a resolution (07-R-08) to modify the Ansmil PUD to permit a continuing care retirement community within newly created Subarea E1. A final plat for the central portion of Britton Parkway, Anson Drive, and the Leap Road roundabout was approved by the Planning and Zoning Commission and City Council on November 8, 2007. On February 9, 2015, Council approved a resolution (14-R-86) to modify the Ansmil PUD concerning subarea boundaries, permitted uses, and development standards for Subarea E1.

The applicant is now requesting approval of a modification of the Ansmil PUD Development Text for Subarea E1 to specify the minimum building and pavement setbacks from Hickory Chase Way, to modify the exterior building material standards, and to modify the lighting standards.

**COMMISSION ROLE:**

The Commission is to review the proposal for conformance with the provisions of Section 1117.08 of the Zoning Code and the intent of the Ansmil PUD Zoning Development Plan and Text. Following approval by the Commission, a resolution for the proposed PUD modification will be forwarded to City Council for review and approval.

**STAFF RECOMMENDATIONS:**

Staff finds that the proposal can be a harmonious part of the Ansmil PUD. Staff finds that the proposal, as revised per the staff comments below, will be generally consistent with the provisions of Hilliard Code Section 1117.08 and the intent of the Ansmil PUD Zoning Development Plan and Text. Based on these findings, staff recommends that proposed modification of the Ansmil PUD Concept Plan and Development Text be approved with the following 5 conditions:

- 1) That the proposed text is revised to specify that the minimum setback from property lines other than those along a public right-of-way must be not less than 10 feet for decks and not less than 3 feet for patios;
- 2) That the proposed PUD text modifications are reconciled to match the proposed representative building elevations, subject to staff approval, prior to being scheduled on a Council agenda;
- 3) That details for any proposed fencing are provided for Planning and Zoning Commission review;



- 4) That the proposed text is revised to specify that the proposed modifications are limited to the subject property and not the entire Subarea E1; and
- 5) That the proposed PUD Zoning Development Plan and Text are revised consistent with the staff recommendations listed below in the staff report prior to the case being scheduled on a Council agenda.

#### **CONSIDERATIONS:**

- To the north is the Norwich Springs assisted living facility within Ansmil PUD Subarea B2. To the east, across Britton Parkway, is the Mount Carmel medical office building and undeveloped land within Ansmil PUD. To the south is undeveloped land within Ansmil PUD Subarea E1 zoned for continuum of care facility uses. To the west is the Hilliard Branch of the Columbus Metropolitan Library.

#### **Community Plan Issues**

- The Comprehensive Plan recommends the site for Senior Housing uses. These areas may contain a variety of housing types and incorporate professional services intended to serve area residents. This area should include well defined passive green space with pedestrian access. Where possible, such facilities should be designed to encourage safe and convenient access to nearby retail uses and amenities.
- Building heights of 1 to 5 stories and net densities of 10-20 dwelling units per acre are recommended.

#### **Current Permitted Uses**

- Permitted uses within Subarea E1 include Continuing Care Retirement Community, attached residential dwellings, attached residential dwellings with assisted care and/or long-term skilled nursing care, a long list of accessory uses to the Continuing Care Retirement Community, and park.

#### **Proposed PUD Plan and Text Modifications**

- The following modifications are proposed to Subarea E1 of the approved PUD development plan and text:
  - 1) E1.01.3. – Specifies minimum building and pavement setback from Hickory Chase Way to be 20 feet.
  - 2) E1.01.4. – Specifies minimum 20-foot building and pavement setbacks from the north and south property lines of the overall Sub Area.
  - 3) E1.01.7. – Specifies minimum 20-foot setback for decks and patios from Hickory Chase Way. Specifies zero setback for decks and patios from any other property line. **[Staff recommends that the minimum setback from other property lines be not less than 10 feet for decks and not less than 3 feet for patios. Additionally, staff recommends that any proposed fencing types and locations be identified. The Zoning Code does not permit fencing closer to the public right-of-way than the face of the building.]**
  - 4) E1.02.4. – Requires fire apparatus access drives to be 24 feet wide unless otherwise approved by Norwich Township Fire Department.

- 5) E1.05.2. – Specifies external lighting for parking lots and drives shall be cut-off type fixtures. Decorative coach lighting may be used adjacent to residential units. Decorative coach lights may be building or post mounted and shall be compatible with the surrounding architecture.

**Staff recommends that the proposed text be revised to specify that the proposed modifications are limited to the subject property and not the entire Subarea E1.**

- Section B.2. of the approved PUD text requires all buildings to have four sided architecture with equivalent materials, fenestration and architectural details on all four sides of the building, provided, however, any residential building may reduce façade materials, fenestration, and detailing on any side which is “internal” and cannot be viewed from any public right-of-way or from any adjoining property, all architecture shall be subject to Planning and Zoning Commission review at the time of Final Development Plan.
- Section E1.03.2.a. of the approved PUD text requires warm-tone brick, decorative oversized masonry block, stone veneer or Ohio Limestone stucco stone (equal or better than Stone Products Corporation, type: Ohio Limestone) to be used on a minimum of 35 percent on each elevation of all structures (excluding windows and doors in calculating the minimum percentage of material required). At no time shall warm-tone brick, decorative oversized masonry block, stone veneer or Ohio Limestone stucco stone be less than 20 percent of the total façade including door and windows.

#### **Proposed Building Elevations**

- The proposed building elevations are for Building A which is representative of the architecture of the multiple building types shown on the site plan. The buildings have one story with gables on the front and rear of the building and hip roofs on the sides. The rear elevations (some of which will face Hickory Chase Way) demonstrate a similar level of architectural design as the front. A red brick wainscot is shown on all sides, with horizontal siding in two colors (gray and tan), and gray asphalt shingles. Side elevations have multiple windows. **[Staff finds that the proposed building elevations do not meet the minimum percentage of brick/stone required per the text; however, staff finds that the proposed building elevations are consistent with the requirement to have four-sided architecture. Staff recommends that the proposed PUD text modifications are reconciled to match the proposed representative building elevations prior to being scheduled on a Council agenda.]**



CHASE  
City of Hilliard, Franklin County, OhioPRELIMINARY DEVELOPMENT  
PLAN

**14-R-86**  
**Exhibit A**

PREPARED FOR:

Greenwich Investors Hickory Chase, LLC  
559 San Ysidro, Suite I  
Santa Barbara, CA 93108

PREPARED BY:



Evans, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
5800 New Albany Road, Columbus, OH 43034  
Phone: 614.775.4500 Toll Free: 888.775.3448  
emht.com

DATE: DECEMBER 2, 201

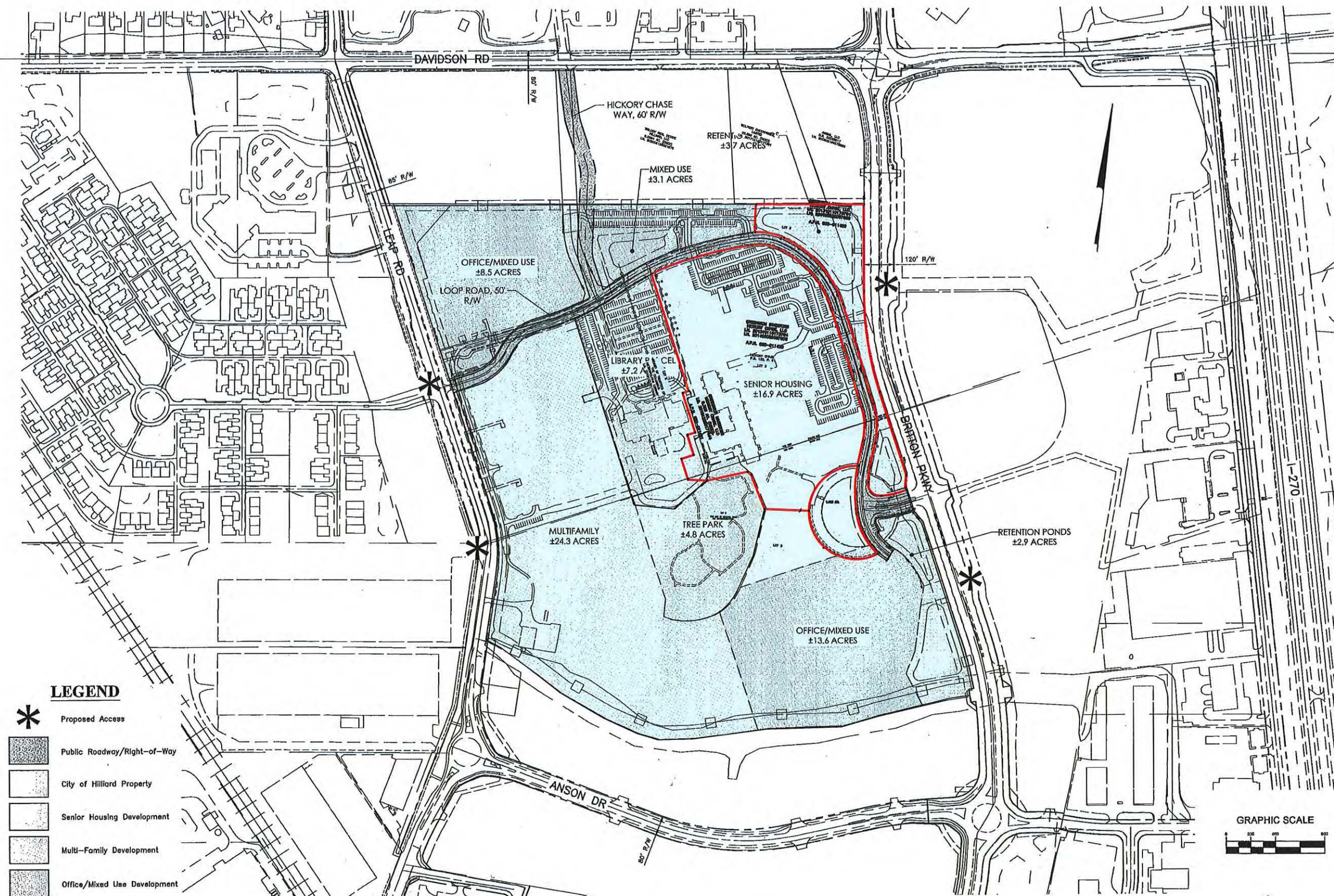
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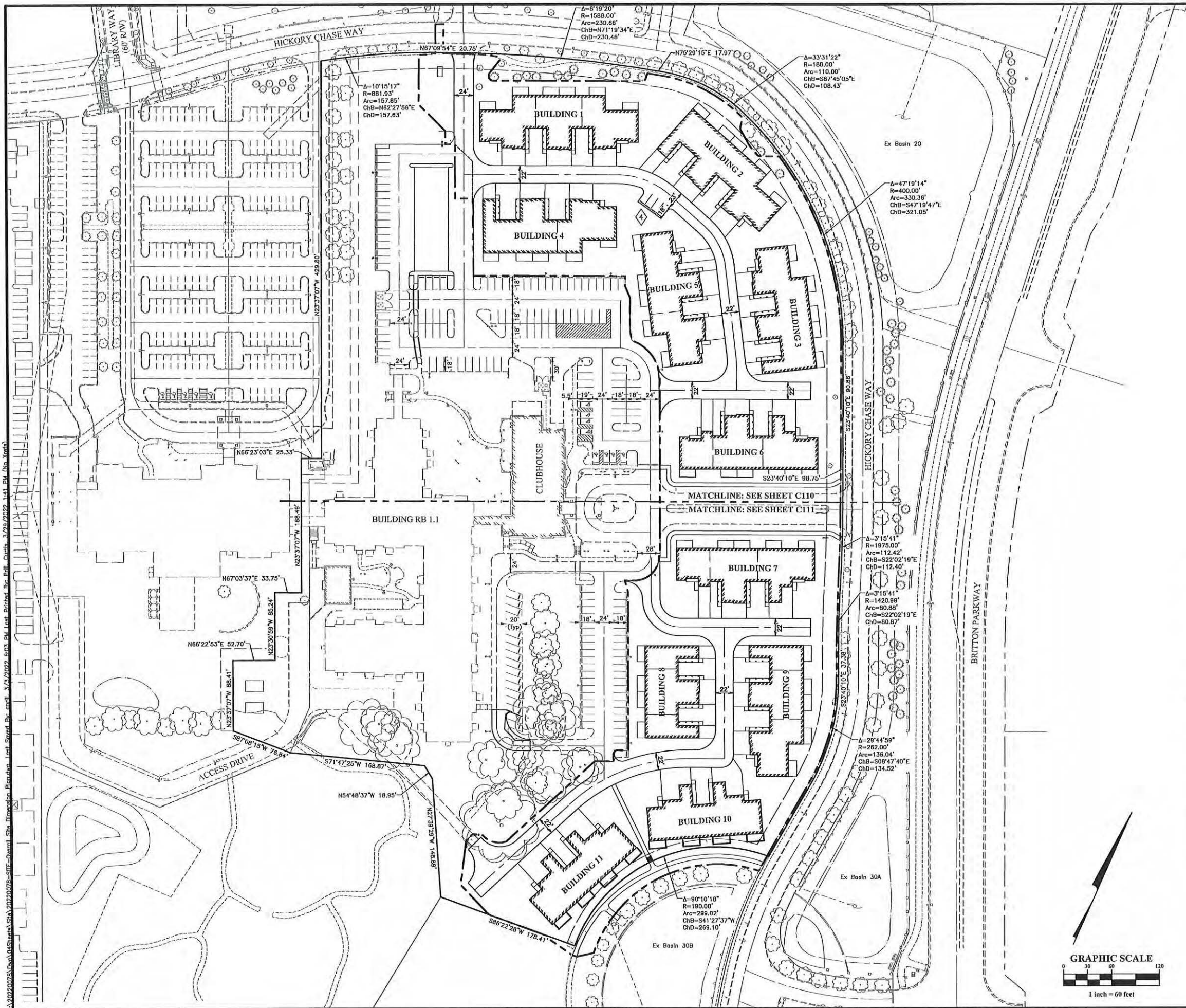
HICKORY CHAS



0000-054

[illegible]





**LEGEND**

— Curb per H/C103  
— Curb with Underdrain

■ Heavy Duty Pavement per B/C103  
□ Light Duty Pavement per A/C103  
■ Concrete Pavement per C/C103  
■ Concrete Sidewalk per F, G, M/C103

■ Detectable Warning Plate  
\* Light Pole (Refer to Site Lighting Plan)  
— Wheel Block per E/C103  
◊ Parking Count Symbol

• Standard Bollard per Detail C/C104  
— Sign per B/C104  
♿ Handicap Pavement Symbol  
XX Proposed Coordinate Symbol

**PAVEMENT STRIPING & SIGNAGE LEGEND**

(PL) Parking Line, 4" White  
(XW) Cross Walk, 12" White spaced 3'-0" O.C.  
(TR) Transverse Line, 4" White 45' Spaced at 30" on Center

**NOTES**

- All signs shall be post mounted unless otherwise noted. Refer to Detail B, Sheet C104 for Signage Installation.
- All parking lot striping shall be 4-inch white striping in accordance with CMS Item 642, Traffic Paint without glass beads. Provide a minimum of two coats.

**GENERAL NOTES**

- All dimensions and coordinates within parking lot pavement are given from face of curb, all other dimensions and coordinates are given from back of curb or edge of sidewalk/pavement.
- All radii on curb and sidewalk are five (5) feet unless noted otherwise.
- Provide Crack seal per CMSC Item 423, Type 1, where new asphalt meets existing.
- All signs shall be post mounted unless otherwise noted.
- The Contractor is responsible for construction fencing, construction traffic and maintenance of vehicular and pedestrian traffic around the project site, including lights, signs, barricades, and other devices to warn and physically separate pedestrian and vehicular traffic from the hazards of the construction and demolition operations. The Contractor shall be responsible for the protection and safe movement of pedestrians through, around or detoured away from the construction site and shall protect pedestrian and vehicular traffic from construction traffic at all times during the project.

**PARKING CALCULATION - PHASE 1**

USE	UNITS/SF	REQUIREMENT	MINIMUM	MAXIMUM
Senior Housing	159 Units	1.25 per Unit	199	N/A
Total Parking Required:			199	N/A
Provided Standard Space Parking			174+23	
Required ADA Parking (Van/Total)			1 / 6	
Provided ADA Parking (Van/Total)			1 / 8	
Total Provided Parking (Phase 1):			205	

**PARKING CALCULATION - PHASE 2**

USE	UNITS/SF	REQUIREMENT	MINIMUM	MAXIMUM
Senior Housing	49 Units	1.25 per Unit	62	N/A
Total Parking Required:			62	N/A
Provided Standard Space Parking			4	
Phase 1 Parking Spaces Removed			6	
Phase 2 Total Garage Parking Provided			53	
Phase 2 Total Driveway Parking Provided			53	
Net Total Provided Parking (Phase 2):			104	

**PARKING SUMMARY**

Total Parking Required:	261
Provided Standard Space Parking	203
Garage & Driveway Parking	106
Provided ADA Parking (Van/Total)	1/8
Total Parking Provided:	309

**PRELIMINARY**  
NOT TO BE USED FOR CONSTRUCTION  
PLAN SET DATE: MARCH 2022

REVISIONS	DATE	DESCRIPTION

CITY OF HILLIARD, FRANKLIN COUNTY, OHIO  
FOR  
SITE CONSTRUCTION PLAN  
**VERENA AT HILLIARD COTTAGES**  
**4522 HICKORY CHASE WAY**  
OVERALL SITE DIMENSION PLAN

**EMHT**  
Ernst, Meehan, Hamblen & Tilton, Inc.  
5500 New Albany Road, Columbus, OH 43204  
Phone: 614.775.5500 Fax: 614.775.5501 emht.com

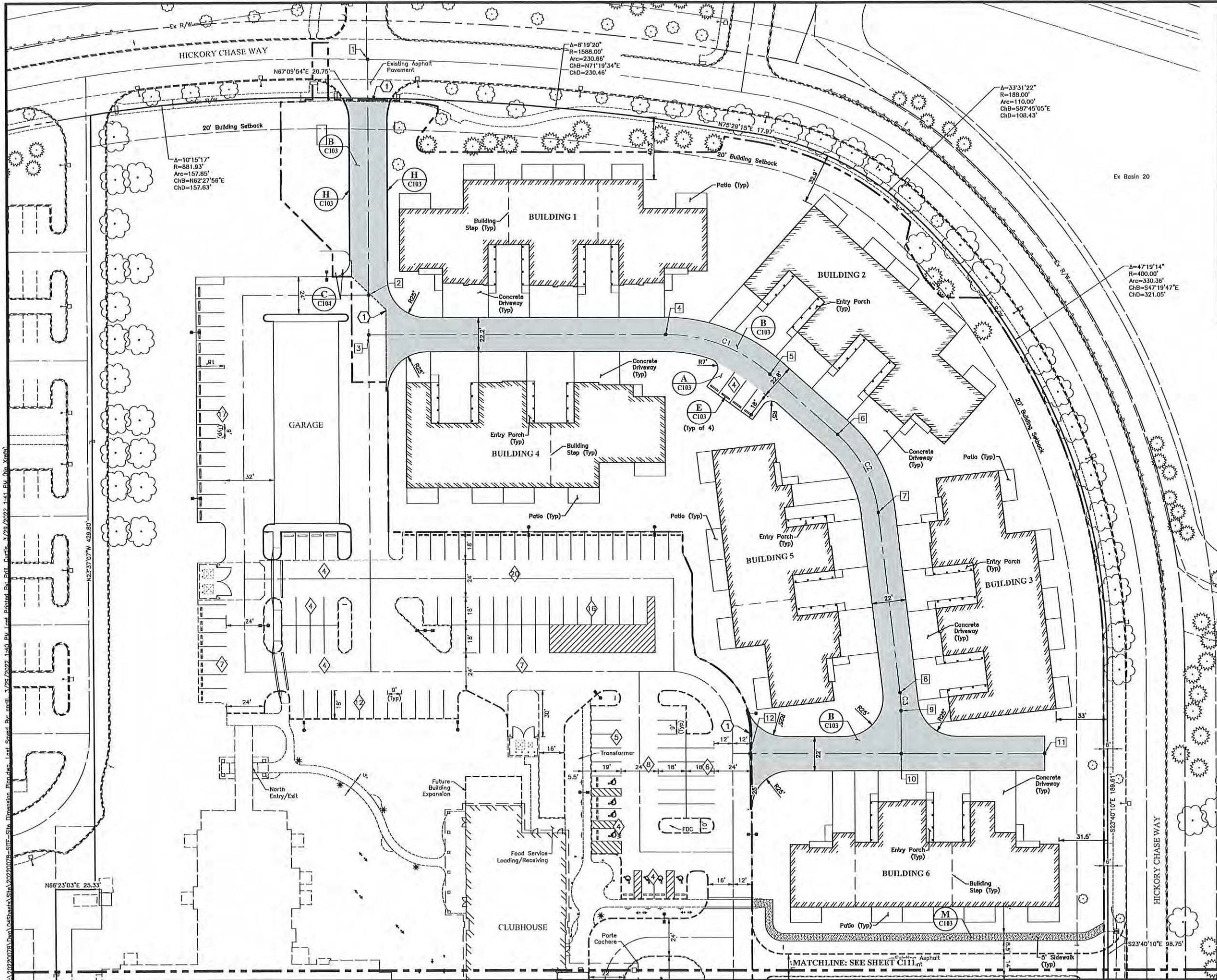
DATE: MARCH 2022

SCALE: 1" = 60'

JOB NO.: 2022-0078

SHEET: 9/25





**LEGEND**

— Curb per H/C103  
— Curb with Underdrain

■ Heavy Duty Pavement per B/C103  
□ Light Duty Pavement per A/C103  
■ Concrete Pavement per C/C103  
■ Concrete Sidewalk per F, G, M/C103

■ Detectable Warning Plate  
\* Light Pole (Refer to Site Lighting Plan)  
— Wheel Block per E/C103  
◇ Parking Count Symbol

• Standard Bollard per Detail C/C104  
— Sign per B/C104  
♿ Handicap Pavement Symbol  
XX Proposed Coordinate Symbol

**PAVEMENT STRIPING & SIGNAGE LEGEND**

PL Parking Line, 4" White  
XW Cross Walk, 12" White spaced 3'-0" O.C.  
TR Transverse Line, 4" White 45° Spaced at 30" on Center

**NOTES**

1. All signs shall be post mounted unless otherwise noted. Refer to Detail B, Sheet C104 for Signage Installation.  
2. All parking lot striping shall be 4-inch white striping in accordance with CMS Item 642, Traffic Paint without glass beads. Provide a minimum of two coats.

- CODED NOTES**
- ① Meet Existing Pavement. Provide Crack Seal Per Item 423 At Sawcut Location.  
② Proposed Segmental Block Landscape Wall. Coordinate With Patio Construction. Refer To Grading Plan For Proposed Elevations.  
③ Relocated Access Gate. Reinstall Gate Per Detail A/C104.  
④ Proposed Stairs And Hand Rails Per ODOT Standard DWG. Modified As Follows:  
— Provide Hand Rails On Both Sides Of Steps.  
— Hand Rail Materials And Finish Shall Be Galvanized Steel Pipe With Black Powder Coat Finish, Or Equal. Submit Hand Rail Shop Drawings For Engineer And Architect Approval.  
⑤ Reconstruct Gravel Access Drive Per Item 304.  
⑥ Coordinate Sidewalk Construction With Deck Reconstruction.

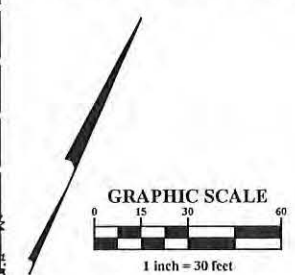
**PROPOSED POINT TABLE**

POINT NO	DESC	NORTHING	EASTING
1	C/L	746380.89	1790341.83
2	C/L	746242.00	1790402.54
3	C/L	746218.54	1790412.83
4	PC/PT	746295.09	1790587.38
5	PC/PT	746298.52	1790658.72
6	PC/PT	746280.40	1790713.91
7	PC/PT	746244.83	1790757.98
8	PC/PT	746143.90	1790817.12
9	PC/PT	746133.51	1790822.41
10	C/L	746108.24	1790833.50
11	C/L	746145.26	1790917.93
12	C/L	746069.13	1790744.31
13	C/L	745854.05	1790827.71

**C1**  
Δ=41°50'56"  
R=100.00'  
Arc=73.04'  
ChB=58°14'48"W  
ChD=71.43'

**C2**  
Δ=41°27'54"  
R=80.00'  
Arc=57.90'  
ChB=N51°05'47"W  
ChD=56.64'

**C3**  
Δ=6°41'10"  
R=100.00'  
Arc=11.67'  
ChB=N27°01'15"W  
ChD=11.66'



**PRELIMINARY**  
**NOT TO BE USED FOR CONSTRUCTION**  
**PLAN SET DATE**  
**MARCH 2022**

**REVISIONS**

MARK	DATE	DESCRIPTION

**GREEN COURTE**  
**ACQUISITION IV, LLC**

**CITY OF HILLIARD, FRANKLIN COUNTY, OHIO**  
**FOR**  
**SITE CONSTRUCTION PLAN**  
**VERENA AT HILLIARD COTTAGES**  
**4522 HICKORY CHASE WAY**  
**SITE DIMENSION PLAN NORTH**

**DATE**  
MARCH 2022

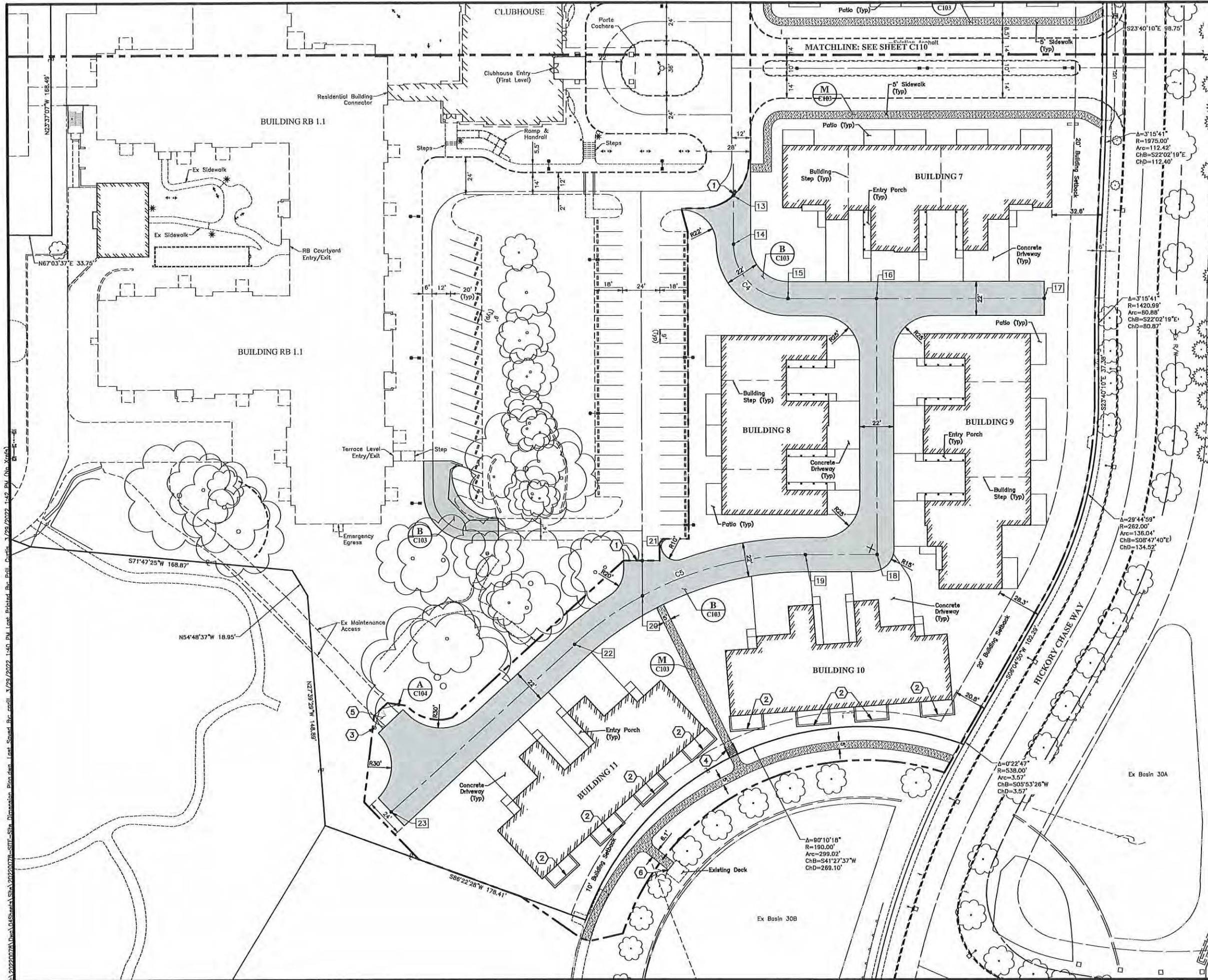
**SCALE**  
1" = 30'

**JOB NO.**  
2022-0078

**SHEET**  
10/25

**37 of 78**





**LEGEND**

— Curb per H/C103  
 — Curb with Underdrain  
 ■ Heavy Duty Pavement per B/C103  
 □ Light Duty Pavement per A/C103  
 ■ Concrete Pavement per C/C103  
 ■ Concrete Sidewalk per F, G, M/C103

■ Detectable Warning Plate  
 \* Light Pole (Refer to Site Lighting Plan)  
 — Wheel Block per E/C103  
 ◇ Parking Count Symbol

• Standard Bollard per Detail C/C104  
 — Sign per B/C104  
 ■ Handicap Pavement Symbol  
 [XX] Proposed Coordinate Symbol

**PAVEMENT STRIPING & SIGNAGE LEGEND**

(PL) Parking Line, 4" White  
 (XW) Cross Walk, 12" White spaced 3'-0" O.C.  
 (TR) Transverse Line, 4" White 45' Spaced at 30' on Center

**NOTES**

- All signs shall be post mounted unless otherwise noted. Refer to Detail B, Sheet C104 for Signage Installation.
- All parking lot striping shall be 4-inch white striping in accordance with CMS Item 642, Traffic Paint without glass beads. Provide a minimum of two coats.

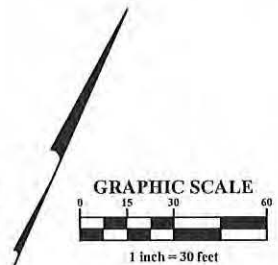
- CODED NOTES**
- Meet Existing Pavement. Provide Crack Seal Per Item 423 At Sawcut Location.
  - Proposed Segmental Block Landscape Wall. Coordinate With Patio Construction. Refer To Grading Plan For Proposed Elevations.
  - Relocated Access Gate. Reinstall Gate Per Detail A/C104.
  - Proposed Stairs And Hand Rails Per ODOT Standard DWG. Modified As Follows:  
 - Provide Hand Rails On Both Sides Of Steps.  
 - Hand Rail Materials And Finish Shall Be Galvanized Steel Pipe With Black Powder Coat Finish, Or Equal. Submit Hand Rail Shop Drawings For Engineer And Architect Approval.
  - Reconstruct Gravel Access Drive Per Item 304.
  - Coordinate Sidewalk Construction With Deck Reconstruction.

**PROPOSED POINT TABLE**

POINT NO	DESC	NORTHING	EASTING
14	PC/PT	745825.37	1790840.28
15	PC/PT	745807.37	1790886.39
16	C/L	745830.21	1790938.48
17	C/L	745873.46	1791037.12
18	C/L	745679.09	1791004.75
19	PC/PT	745660.53	1790962.43
20	C/L	745594.04	1790877.08
21	C/L	745614.87	1790867.93
22	PC/PT	745547.87	1790849.50
23	C/L	745401.38	1790784.02

**C4**  
 Δ=90°00'00"  
 R=35.00'  
 Arc=54.98'  
 ChB=S68°40'40"E  
 ChD=49.50'

**C5**  
 Δ=42°30'42"  
 R=220.00'  
 Arc=163.23'  
 ChB=S45°03'56"W  
 ChD=159.51'



**PRELIMINARY**  
 NOT TO BE USED FOR CONSTRUCTION  
 PLAN SET DATE: MARCH 2022

REVISIONS  
 MARK DATE DESCRIPTION

GREEN COURTE  
 ACQUISITION IV, LLC

CITY OF HILLIARD, FRANKLIN COUNTY, OHIO  
 FOR  
 SITE CONSTRUCTION PLAN  
**VERENA AT HILLIARD COTTAGES**  
**4522 HICKORY CHASE WAY**  
 SITE DIMENSION PLAN SOUTH

**EMH**  
 EMMETT M. HILLIARD & SONS, INC.  
 ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS  
 5500 New Albany Road, Columbus, OH 43234  
 Phone: 614.775.4500 Fax: 614.775.4500 emh.com

DATE  
 MARCH 2022

SCALE  
 1" = 30'

JOB NO.  
 2022-0078

SHEET  
 11/25  
 C111

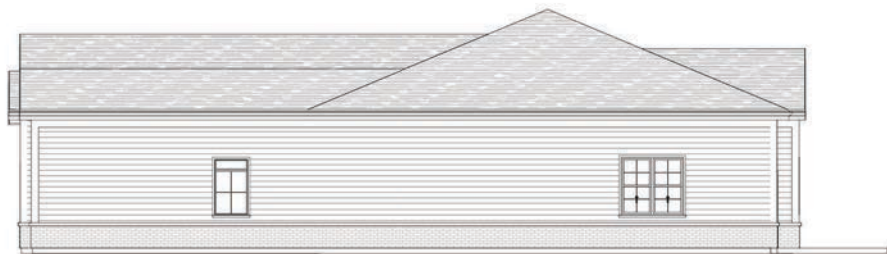


**BOB WEBB**  
7662 NORTH CENTRAL DRIVE  
LEWIS CENTER, OHIO 43085  
740.548.5577

Hickory Chase  
Ansmil PUD  
Building A  
Hilliard, OH



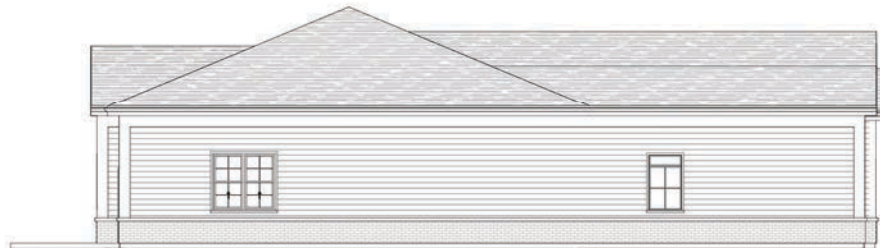
2 Front  
1/8" = 1'-0"  
Total Surface Area: 1,655.46 sf  
Surface Area - Excluding Openings: 1,231.72 sf  
Area of Brick: 172.46 sf  
Brick to Total Surface Area: 10.42%  
Brick to Surface Area Excluding Openings: 14.00%



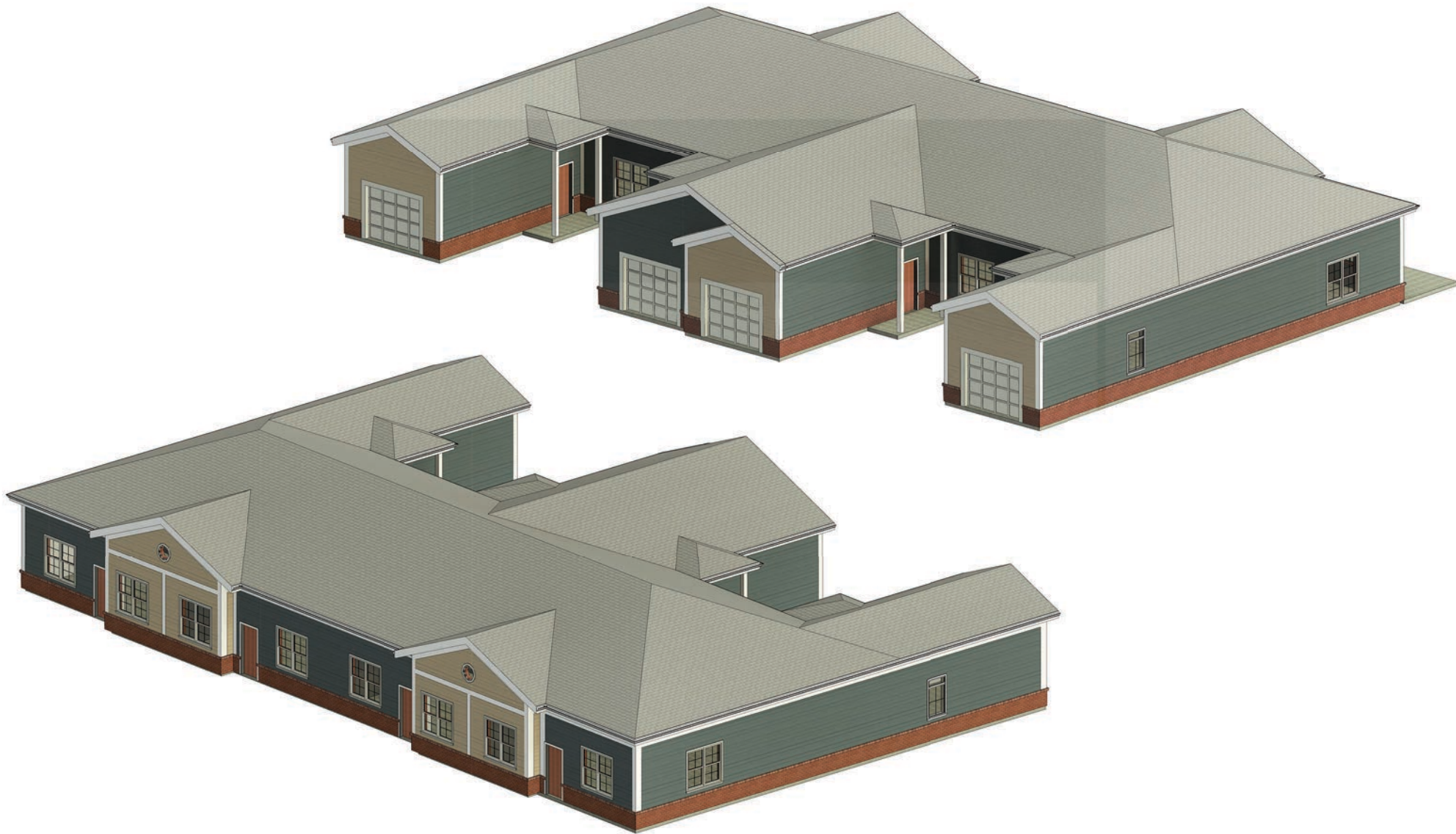
3 Right Side  
1/8" = 1'-0"  
Total Surface Area: 796.72 sf  
Surface Area - Excluding Openings: 762.80 sf  
Area of Brick: 158.60 sf  
Brick to Total Surface Area: 19.91%  
Brick to Surface Area Excluding Openings: 20.79%



1 Rear  
1/8" = 1'-0"  
Total Surface Area: 1,480.10 sf  
Surface Area - Excluding Openings: 1,106.99 sf  
Area of Brick: 233.85 sf  
Brick to Total Surface Area: 15.80%  
Brick to Surface Area Excluding Openings: 21.12%



4 Left Side  
1/8" = 1'-0"  
Total Surface Area: 796.72 sf  
Surface Area - Excluding Openings: 762.80 sf  
Area of Brick: 158.60 sf  
Brick to Total Surface Area: 19.91%  
Brick to Surface Area Excluding Openings: 20.79%



REV.	DATE	ISSUE/REVISION

NOT FOR CONSTRUCTION

Drawing Name:  
ELEVATIONS

Drawing Number:  
39 of 78  
A2.1  
Sheet 9 of 24



14-R-86 Exhibit A

**Sub Area E1**  
**AMENDMENT-~~SEPTEMBER 30~~NOVEMBER 19, 2014**

Sub Area E1 is located west side of the Britton Parkway extension, east of Leap Road, north of Sub Area C5 and south of Sub Area B1 and B2. The site is ±85.9 acres in size. See Exhibit A. The use of the entire Sub Area was originally intended as a Continuing Care Retirement Community (CCRC). However, only a portion of the Sub Area has been developed for this use, and the purpose of this Amendment is to adjust the plan and text to allow for and accommodate additional and coordinated uses within the Sub Area. A senior residential building is currently constructed within a portion of the property as shown on Exhibit A and the expectation is that this building will be used for senior residential housing. The Sub Area will also contain the development of the existing but unfinished “Community Building” which will be re-developed for use as a public library. The other areas within the Sub Area shall be used and developed in accordance with this text.

**A. Permitted Uses**

1. The following uses shall be permitted in any structure within the Sub Area:

a Senior residential (including but not limited to CCRC, independent senior residential, assisted senior residential, memory care, skilled nursing, and dementia care may be developed so long as such use does not exceed 850 residential units.

b. non-age restricted residential dwellings not to exceed **500** units provided, however, not more than 15% of such units may be 3 bedroom units, and 4 and 5 bedroom units are prohibited.

c. Public Library

d. ~~d.~~ Public or private park, Indoor and outdoor swimming pools, other public or private recreational activities and uses.

e. ~~e.~~ Office: Administrative, business, medical or professional offices, medical or dental laboratories, health and allied services, healthcare facilities including inpatient and outpatient care, medical offices, and ancillary services, physical therapy, health club and fitness facility, civic, social, and fraternal associations, photographic studios, including commercial photography, education services.

f. Bank and financial services and institutions, commercial or savings banks, credit institutions.

g. ~~g.~~ Eating and drinking places, including, without limitation, pubs and taverns, cafeteria services (provided, however, any drive up or drive through service shall obtain a conditional use permit for such activity).

h. Neighborhood and Personal services, convenience stores, Retail bakeries, Florists, pressing, alterations, and garment repair, custom tailors, shoe repair barbershops, beauty shops, spas, and pharmacies, other retail uses.

i—~~h.~~ Home occupations as permitted by the City of Hilliard Zoning Code

2. Unless the definition of a use is provided in this PUD, the use definitions contained in the City's codified ordinances shall apply, if the code contains a definition for that use.

## **B. Development Standards-Four Sided Architecture**

1. Unless specified otherwise in this written text the development standards of Chapter 1157 of the Codified Ordinances of the City of Hilliard shall apply to Sub Area E-1. Basic development standards are compiled regarding proposed density, site issues, traffic, circulation, landscape and architectural standards. These component standards ensure consistency and quality throughout the development of Sub Area E-1.
2. All buildings shall have four sided architecture with equivalent materials, fenestration and architectural details on all four sides of the building, provided, however, any residential building may reduce façade materials, fenestration, and detailing on any side which is "internal" and cannot be viewed from any public right of way or from any adjoining property, all architecture shall be subject to Planning and Zoning Commission review at the time of Final Development Plan.

### **E1.01 Density, Height, Lot and/or Setback Commitments**

1. Building coverage shall not exceed forty (40) percent as defined by Hilliard City Code Section 1107.01(46) as measured for the entire Sub Area. Total impervious surface coverage shall not exceed seventy (70) percent of the total site acreage within the entire Sub Area.
2. The maximum height limit for residential buildings shall be four stories with walkouts. No more than fifty (50) percent of each residential building's footprint can have walkouts. Maximum height for residential buildings shall be 45 feet as measured per City Code. Architectural elements, like chimneys, parapets and cupolas may exceed this height limitation. Roof top mechanical equipment shall be screened from off-site visibility in accordance with City Code. Height is determined from average grade plane to average roof plane. Walkouts are allowed in this sub area but not included in average grade plane calculation.
3. Setbacks from the right-of-way of the Leap Road shall be a minimum of 50 feet for buildings and 0 feet for pavement. However, up to sixty (60) percent of the perimeter drive located along Leap Road is permitted to encroach the pavement setback by a

The building and pavement setbacks from Hickory Chase Way shall be 20 feet minimum.

maximum of fifty (50) percent. The building and pavement setback from Britton Parkway shall be 50 feet minimum.

4. The minimum building and pavement setbacks from the north and south property lines shall be 20 feet.

of the overall Sub Area

5. Building, parking and pavement setbacks from internal property lines within the Sub Area shall be zero; provided however, building and pavement setbacks from any public park established in the Sub Area shall be 10 feet for building, and zero for parking and pavement.

6. All setbacks shall be landscaped in accordance with the requirements of this text.

#### **E1.02 Access, Loading, Parking and/or Traffic Related Commitments**

1. Parking requirements shall be determined in accordance with the City Code Section 1133.01 and as may be reduced by Planning and Zoning Commission in accordance with the approved Final Development Plan for that use based on actual parking demand.
2. Developer will work with staff to provide adequate parking in each phase of the development which shall be reviewed and approved at the time of Final Development Plan approval for that use, All parking lots shall be curbed except as required by ADA requirements.
3. All 90 degree parking spaces shall be a minimum of 9 feet wide by 18 feet in length. Drive aisles shall be a minimum of 22 feet wide.
4. Internal private drives shall be utilized within the development, provided however, an east-west public street shall be constructed and dedicated to the City located as shown on the Exhibit A . All private drives shall meet the City of Hilliard Zoning Code and the City Engineer's requirement for strength and durability. Private drives shall be a minimum of 22 feet wide, provided however, fire apparatus access drives shall be 24 feet wide.  
Unless otherwise approved by the Fire Department.
5. All access points shall be subject to the review and approval of the Hilliard City Engineer. Vehicular access to Britton Parkway Leap Road, and Davidson Road shall be as set for on the Site Plan.
6. There shall be an eight foot wide bike path along the west side of Britton Parkway and a five foot wide sidewalk shall be provided along ~~both~~ one sides of the East-West public street unless otherwise approved by the Planning and Zoning Commission upon demonstration by the applicant that sidewalks on both sides would practically difficult or unnecessary. ~~a~~. The sidewalk and bike path shall be installed with roadway improvements and will be dedicated to the City of Hilliard; provided, however, the bike path may be re-routed as approved by the City Staff to accommodate adjacent development.

7. The setback for decks and patios from Hickory Chase Way shall be 20 feet minimum. The setback for decks and patios from any other property line shall be zero.

7. A 5 foot wide sidewalk along Leap Road shall be provided by the Developer/Applicant at the time of development of the area of the adjacent to Leap Road. Connections between the private walkways and the public pedestrian facilities along Britton Parkway and Leap Road shall be made as each area adjacent to such street is developed. [Pedestrian paths and Pedestrian connectivity to the Library and Public Park from adjacent use areas are encouraged and will be determined at the time of Final Development Plan for such area.](#)

### **E1.03 Architectural Standards**

The site plan layout and architecture for each use within the Sub Area will be reviewed at the Final Development Plan stage, provided, however, the architecture, quality of design and materials for any ~~residential~~ structures shall be consistent with the existing Continuing Care Retirement Buildings (the Library and existing senior Residential building constructed on the property), and the elevations attached hereto as as Exhibits to this PUD-Modification (DRKenney elevations).

1. Color Palette: Earth tones, muted and natural tones are required. Trim colors may include white. Accent colors in brighter hues are permitted for building accent features only such as awnings, doors, limited trim, etc. A mixed palette on a single building should be carefully selected so all colors harmonize with each other.
2. Materials:
  - a. Warm-tone brick, decorative oversized masonry block, stone veneer or Ohio Limestone stucco stone (equal or better than Stone Products Corporation, type: Ohio Limestone) [REDACTED] (also see 2(f)(3) below). "Each elevation of all structures" is defined as the entire exterior surface area and excludes windows and doors in calculating the minimum percentage of material required. Bridges and covered walkway links are excluded from this requirement. [REDACTED]
  - b. EIFS or Stucco may be used as an accent material provided it does not exceed ten percent (10%) of the exterior façade material for each elevation on residential buildings, EIFS may be used as articulation on bays and balconies and around windows, and shall not be used above the soffit line. On non-residential units, EIFS may be used so long as it has the appearance of being brick or of split-faced elements.
  - c. Concrete or masonry foundations should only have +/-16 inch exposure above finished grade before the primary exterior finish materials begin.
  - d. Exterior cladding shall be within the color palette in paragraph 1 above, and be traditional materials, most commonly found on similar building types. The remaining balance of each building, less a, b, and c above shall be comprised of the following:

- 1). Hardi-plank or equivalent.
- 2). Wood lap siding, composite lap siding and cedar shake siding painted or stained.
- 3). Translucent composite/glass panels.
- 4). Other exterior cladding materials as approved by the city at the time of Final Development Plan

e. Roofs:

- 1). Pitched roofs with gables or hips at ends shall have a minimum slope of 4:12.
- 2). Flat roofs are permitted but shall have mansards to provide the appearance of a pitched roof when viewed from all sides or as approved by the city at the time of Preliminary Development Plan.
- 3). Materials on sloped roofs shall be one of the following: cedar shakes, tile, standing seam metal, slate, synthetic slate, translucent composite/glass panels or dimensional asphaltic or fiberglass shingles. Shingles to be a minimum, medium weight dimensional or dimensional-look shingles.

f. Scale:

- 1). Structures shall be designed to harmonize with landscape.
- 2). The scale of each building can be aided through the use of articulated building elements, such as porticos, dormers, recesses, awnings and other such elements, which help break up the building mass.


g. Wall Articulation/Fenestration:

- 1). In addition to using building elements to articulate the building mass, individual walls must be articulated with fenestration, pattern, or structural expression equally on all sides of each structure.
- 2). The amount of fenestration should be proportional with the amount of solid façade.
- 3). Four-sided architecture is required, which means all buildings shall have four sided architecture with equivalent materials, fenestration and architectural details on all four sides of the building, provided, however, any residential building may reduce façade materials, fenestration, and detailing on any side which is “internal” and cannot be viewed from any public right of way or from any adjoining property as approved by the Planning and Zoning Commission at the time of Final Development Plan.

#### **E1.04 Buffering, Landscaping, Open Spaces and/or Screening Commitments**

1. Landscaping

- a. All landscaping shall be in accordance with the requirements of Hilliard City Code Section 1331.

- b. Landscape plans for Leap Road and Britton Parkway frontage shall be reviewed and approved by the City Arborist at the Final Development Plan Stage.
-  Tree preservation shall include a tree survey that accounts for all 6-inch caliper trees and greater. A tree of 6 inches in caliper or greater at diameter breast height (DBH) is considered a protected tree for this development which means it is a tree which must be replaced inch per caliper inch in accordance with the requirements of Hilliard City Code Chapter 1331. Tree preservation plan shall be submitted at time of final development plan submittal. The total number of caliper inches of replacement trees for a site shall equal or exceed the combined diameter of the protected trees removed. The replacement tree requirement can be included in the total site tree landscaping requirement. The tree preservation plan must meet the requirements of Hilliard City Code Chapter 1331, unless stated within this text. Trees that are 6 inches and greater in diameter at DBH shall be preserved but may be replaced within Sub Area E-1 wherever possible.
- d. Standard tree preservation practices will be used to preserve and protect trees during all phases of construction.
- e. Within the 55-foot stream buffer preservation corridor along the south property line, the existing landscaping previously installed south of the black fence shall be maintained.
- f. Any portion of a lot upon which a building or parking area is not constructed shall be landscaped with lawn as a minimum. Those areas designated as landscaped buffers, tree lawns, tree preservation zones, entry features or other landscaped features shall be maintained meeting the minimum standards in Hilliard Codified Ordinances Chapters 917, 921 and 1331. The use of in-ground sprinkler systems, where appropriate, is strongly encouraged.
- g. Non-irrigated natural meadow and reforested areas shall be permitted.
- h. Protection of Landscaped Islands: Parked vehicles may hang over the interior landscaped area not more than two and one-half feet, as long as concrete curbs are provided to insure no greater overhang or penetration of the landscaped area. All parking spaces and landscaped islands shall meet the requirements of the Hilliard Codified Ordinances, Chapters 1133 and 1331, unless otherwise specified within this text.
- i. Screening of Mechanicals: No materials, supplies, equipment or products shall be stored on any portion of the parcel outside the permitted structure. Mechanical equipment or other utility hardware on ground, or buildings shall be screened from view with plant materials.

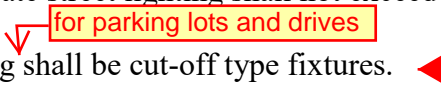
- j. Curbs to protect screening material: Whenever screening material is placed around any trash disposal unit or waste collection unit which is emptied or removed mechanically on a regularly occurring basis, a curb to contain the placement of the container shall be provided within the screening materials on those sides where there is such material. The curbing shall be at least one foot from the material and shall be designed to prevent possible damage to the screening when the container is moved or emptied.
- k. Tree Planting Requirements: There shall be tree plantings equal to one-half inch in tree trunk size for every 500 square feet in ground coverage by a residential structure. These trees shall be a minimum of 2½-inch caliper at the time of installation and are in addition to the street tree planting requirements.
- l. Minimum trees: The following minimums are required, based upon total ground coverage for the vehicular use areas:
  - 1). Up to 20,000 square feet: A minimum of one tree per 5,000 square feet of ground coverage, and a total tree planting equal to 1 inch in the tree trunk size for every 2,000 square feet of ground coverage.
  - 2). Between 20,000 and 50,000 square feet: A minimum of one tree for every 5,000 square feet of ground coverage, and a total tree planting equal to ten inches plus one-half inch in tree trunk size for every 2,000 square feet over 20,000 square feet in ground coverage.
  - 3). Over 50,000 square feet: A minimum of one tree for every 5,000 square feet of ground coverage, and a total tree planting equal to twenty-five inches plus one-half inch in tree trunk size for every 4,000 square feet over 50,000 square feet of ground coverage.
  - 4). Trees shall have a clear trunk of at least five feet above the ground, and the remaining area shall be landscaped with shrubs, ground cover, not to exceed two feet in height.
  - 5). No new tree planting shall be required if existing trees and the aggregate trunk sizes of such trees meet or exceed the requirements as set forth in this chapter. The minimum tree size for such tree plantings shall be no less than two and one-half inch in trunk diameter.
- m. The applicant or owner shall plant such trees as may be required within one year or the next planting season after issuance of a building permit. Failure to comply with the landscaping requirements shall be in violation of this section and be subject to citation.



- n. A 6 foot tall black metal ornamental picket fence has been installed ~~shall be required~~ along the Leap Road and Britton Parkway frontages and along the north and south boundary of the site.

2. A “Tree Preservation Area” located as shown on Exhibit B shall be dedicated to the city as a public park. The park shall be used for passive recreational uses. Dedication of this Tree Preservation Area as a public park shall serve to meet the parkland dedication requirements of City Code section 1179.07. The boundary of the Tree Preservation Area and adjacent private property shall be clearly demarked with dark green or black lighted or luminescent bollards not greater than 36” in height the final design of which shall be determined at the time of Final Development Plan and appropriately spaced so as to denote such boundary.

#### **E1.05 Dumpster, Lighting, Outdoor Display Areas and/or other Environmental Commitments**

1. All interior private street lighting shall not exceed 20 feet in height.
2. External lighting shall be cut-off type fixtures. 
3. All types of parking, pedestrian and other lighting shall be on poles or mounted on individual units, and shall be from the same type and style.
4. All light poles and standards shall be metal and shall be bronze in color.
5. Landscape and building uplighting from a concealed source shall be permitted, as approved by City staff.
6. All lights shall be arranged to reflect light away from any exterior street or adjacent property.
7. No colored lights shall be used to light the exterior of the buildings.
8. Waste and Refuse:
  - a. All dumpsters for waste and refuse shall be containerized and screened from view on three sides by a solid masonry wall, wood fence, vegetation or materials compatible with building materials and at least 6 inches taller than the height of the dumpster. The fourth side shall contain a durable gate with the frame to be made of metal, resin or similar material, and the outer material may be wood, metal, resin or similar material. The gate shall also be at least 6 inches taller than the height of the dumpster.
9. Storage and Equipment and Service Areas:

2. Decorative coach lighting may be used adjacent to residential units. Decorative coach lights may be building or post mounted and shall be compatible with the surrounding architecture.

- a. No area of the site will be used for outdoor storage, except within an enclosed maintenance yard as specified on an approved site plan. No materials, supplies, equipment, products or corporate owned or corporate used vehicles, shall be stored, or permitted to remain, on any portion of the parcel outside of any permitted structure or approved storage area.
- b. Mechanical equipment or other utility hardware shall be screened from public view with plant materials or materials harmonious with the building.
- c. No noises, smoke, odors, vibration or other nuisances shall be permitted.

#### **E1.06 Graphics and Signage Commitments**

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- 1. The overall design of signage and graphics shall be of a unified appearance and shall be compatible with the overall Sub Area architectural character with respect to materials and colors, and no signs shall be internally illuminated.
- 2. In regards to materials and color, all signage elements shall be compatible with the architectural character of the campus buildings.
- 3. All signage and graphics shall conform to the Hilliard Graphics and Sign Code Chapter 1191, unless noted within this text or otherwise approved as a part of a comprehensive signage package.

#### **E1.07 Miscellaneous Commitments**

- 1. Utilities: All new utility lines including water service, electricity, telephone and gas, and their connections or feeder lines shall be placed underground. Where feasible, all above ground utility boxes shall be placed at the rear lot lines or sufficiently screened, subject to staff approval.
- 2. Amendments: In the event the developer of any property within the Sub Area desires to make a minor amendment to these development standards, which minor amendment is determined by staff to be a minor amendment in their administrative capacity, such amendment must be reviewed and approved by the City of Hilliard Planning and Zoning Commission. Any amendment not determined to be a minor amendment by staff or the Planning and Zoning Commission for Sub Area E1 shall be submitted in accordance with Hilliard City Code Section 1157.04(i), PUD Amendments.

**CASE 5: PZ-22-17 – The Courtyards at Carr Farms Section 6 – 4852 Leppert Road****PARCEL NUMBERS:** 050-008252**APPLICANT:** Epcon Carr Farms LLC, 500 Stonehenge Parkway, Dublin, OH 43017; and Sydney Berry, EMH&T, 5500 New Albany Road, Columbus OH 43054.**REQUEST:** Review & approval of a Final Plat under the provisions of Hilliard Code Section 1188.05 and the Carr Farms PUD Concept Plan for a development consisting of 31 single-family lots on 8.398 acres.**BACKGROUND:**

The site is 8.398 acres located on the east side of Leppert Road approximately 290 feet north of the intersection of Davidson Road and Brixshire Drive. On November 12, 2015, the Planning and Zoning Commission approved a PUD Concept Plan consisting of 157 single-family lots on 79.5 acres and a 6-month extension of the Concept Plan was granted that extended the approval through March 11, 2019. During the extension, the Commission approved a modification to the PUD Concept Plan to allow for 59 traditional single-family homes and 179 empty nester homes (September 13, 2018).

The Planning Commission approved a Final Plat for The Courtyards at Carr Farms Phase 1 on April 8, 2021, to begin construction that included 47 single-family lots on 24.423 acres. *On October 11, 2021, Resolution 21-R-62 was adopted by City Council to modify the PUD Concept Plan for 16 townhouse dwelling units and 50 empty nester homes on the 21.44 acres that comprise Subarea B (Sections 5 and 6).* A Final Plat for Section 5 was approved on February 10, 2022, for 31 total lots and 6 reserves on 13.297 acres. On March 10, 2022, the Commission also approved Final Plats for Sections 2 and 3, located in Subarea A. All three plats have been approved by City Council and are in the process of being recorded. The applicant is now requesting approval of a Final Plat for Section 6 that consists of 31 single-family lots on 8.398 acres and is the balance of Subarea B.

**COMMISSION ROLE:**

The Commission is to review the proposed final plat for conformance to the provisions of the Courtyards at Carr Farms PUD Concept Plan and Hilliard Code Section 1188.05.

**STAFF RECOMMENDATION:**

Staff finds that the proposed final plat is consistent with the provisions of the Courtyards at Carr Farms PUD Concept Plan and Code Section 1188.05. Based on these findings, staff recommends approval of the proposed final plat with the following condition:

- 1) That the Final Plat meet the requirements of the City Engineer for format and content prior to being scheduled on a City Council agenda.

**CONSIDERATIONS:**

- The site consists of the southeastern portion of the Courtyards at Carr Farms PUD Subarea B. A total of 50 courtyard homes and 16 townhomes were approved with the PUD Concept Plan. This plat includes the final 31 courtyard home lots.
- Section 6 includes Reserve M for the creation of private streets (Embassy Drive, Champion Drive, Aristocrat Drive and the Brixshire Drive extension to connect to the south with the Brixston Subdivision).

- Reserve L (0.466-acre) will be located within the center of Section 6 and will be central greenspace owned and maintained by the Homeowners Association. The reserve will be landscaped in accordance with the approved PUD Concept Plan and includes a central sidewalk system that will provide pedestrian connectivity with the Leppert Road frontage.
- Private Roads will include sidewalk on the inside of the loop in front of Lots 241-250 and will also provide a sidewalk connection on the west side of Brixshire Drive.
- Development standards for single-family courtyard homes include 52-foot minimum lot width, 120-foot minimum lot depth, minimum 20-foot front yard, minimum 15-foot minimum setback to sidewalk for corner lots, minimum 5-foot side yard, minimum 12.5-foot rear yard from internal property lines, minimum 65-foot building setback from the eastern and southern overall property boundaries, and minimum 1,400-square-foot floor area. The proposed lots conform to the adopted text standards.



# THE COURTYARDS AT CARR FARMS SECTION 6

Situated in the State of Ohio, County of Franklin, City of Hilliard, and in Virginia Military Survey Number 3453, containing 8.398 acres of land, more or less, said 8.398 acres being part of that tract of land conveyed to EPCON CARR FARMS, LLC by deed of record in Instrument Number 202110130185048, Recorder's Office, Franklin County, Ohio.

The undersigned, EPCON CARR FARMS, LLC, an Ohio limited liability company, by JOEL D. RHOADES, Regional President, owner of the lands platted herein, duly authorized in the premises, does hereby certify that this plat correctly represents its "THE COURTYARDS AT CARR FARMS SECTION 6", a subdivision containing Lots numbered 208 to 228, and 241 to 250, all inclusive, and areas designated as Reserve "L" and Reserve "M", does hereby accept this plat of same.

Grantor hereby grants to the City of Hilliard, Ohio, its successors and assigns, easements in, over and under areas designated on this plat as "Easement" (Esmt), "Sanitary Easement" (S.E.), Reserve "M" or "Storm Water Management Easement" (SWME). Each of the aforementioned designated Easements permits the construction, operation and maintenance of all public and quasi public utilities above, beneath and on the surface of ground and, where necessary, for the construction, operation and maintenance of service connections to all adjacent lots and lands, and for storm water drainage. Within said Reserve "M", a non-exclusive easement is hereby granted to the City of Hilliard and other Governmental Employees for use in the course of providing Police, Fire, Medical or other Governmental services to Lots and Lands adjacent to said Reserve "M".

Grantor hereby grants to the City of Hilliard, Ohio, its successors and assigns, an additional easement in, over and through the areas designated on this plat as "Storm Water Management Easement" (SWME), for the purpose of constructing, operating and maintaining major storm water drainage swales and/or other storm water drainage facilities. No altering of grades and no above grade structures, dams, or other obstructions to the flow of storm water runoff are permitted within the Storm Water Management Easement areas as delineated on this plat unless approved by the Hilliard City Engineer.

Epcon Carr Farms, LLC, in recording this plat of The Courtyards at Carr Farms Section 6, has designated a certain area of land as reserve, which may contain but not be limited to, parking, walking, green areas, private streets, sidewalks and common parking areas, all of which are intended for use by the owners of the fee simple titles to the lots and reserve areas in The Courtyards at Carr Farms development. Reserve "M", is not hereby dedicated for use by the general public but is hereby dedicated to the common use and enjoyment of the owners of the fee simple titles to the lots and reserve areas in The Courtyards at Carr Farms development as more fully provided in the declaration of covenants, conditions and restrictions applicable to The Courtyards at Carr Farms Section 6 ("Declaration"), which will be recorded subsequent to the recording of this plat. The Declaration will be incorporated and made a part of this plat upon the recording of the Declaration.

The owners of the fee simple titles to lots 208 to 228 and 241 to 250, all inclusive, and areas designated as Reserve "L", and to lots and reserve areas in existing and future sections of the The Courtyards at Carr Farms development shall have and are hereby granted a non-exclusive right-of-way and easement for access to and from public streets, in and over said Reserve "M" to be shared with the owners of the fee simple titles to each other of said lots 208 to 228 and 241 to 250, all inclusive, and areas designated as Reserve "L" and Reserve "M", and with the owners of the fee simple titles to the lots and reserve areas in existing and future sections of the The Courtyards at Carr Farms development. Said owners of the fee simple titles to said lots 208 to 228 and 241 to 250, all inclusive, and areas designated as Reserve "L" and Reserve "M", shall have a non-exclusive right-of-way and easement in and over similar such access ways to public streets that future sections of the The Courtyards at Carr Farms development may provide.

In Witness Whereof, JOEL D. RHOADES, Regional President of EPCON CARR FARMS, LLC, has hereunto set his hand this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Signed and Acknowledged  
In the presence of: EPCON CARR FARMS, LLC

By  
JOEL D. RHOADES,  
Regional President

STATE OF OHIO  
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared JOEL D. RHOADES, Regional President of EPCON CARR FARMS, LLC who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said EPCON CARR FARMS, LLC for the uses and purposes expressed herein.

In Witness Thereof, I have hereunto set my hand and affixed my official seal this day of \_\_\_\_\_, 20\_\_.

My commission expires \_\_\_\_\_ Notary Public, \_\_\_\_\_ State of Ohio

## CITY OF HILLIARD

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, by the Planning and Zoning Commission  
Chairman, Planning and Zoning Commission,  
Hilliard, Ohio

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_,  
City Engineer, Hilliard, Ohio

Approved and accepted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, by Resolution No. \_\_\_\_\_ wherein all Brixshire Drive and all of the easements shown dedicated hereon are accepted, as such, by the Council for the City of Hilliard, Ohio.

Clerk of Council, Hilliard, Ohio

Transferred this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_,  
Auditor, Franklin County, Ohio

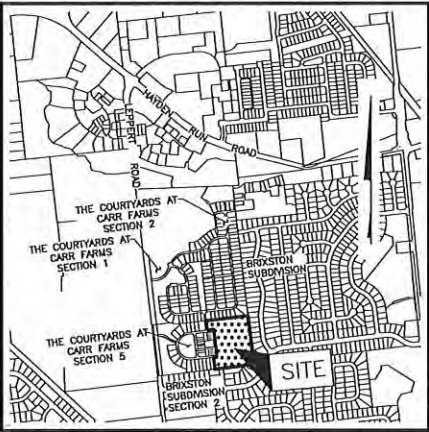
Deputy Auditor, Franklin County, Ohio

Filed for record this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ at \_\_\_\_\_ M. Fee \$ \_\_\_\_\_  
Recorder, Franklin County, Ohio

File No. \_\_\_\_\_

Recorded this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_,  
Deputy Recorder, Franklin County, Ohio

Plat Book \_\_\_\_\_, Pages \_\_\_\_\_



LOCATION MAP AND BACKGROUND DRAWING

NOT TO SCALE

## SURVEY DATA:

**BASIS OF BEARINGS:** The bearings shown hereon are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (2007). Control for bearings was from coordinates of monuments FCGS 5068 and FCGS 5069, having a bearing of North 06° 41' 27" East between said monuments, established by the Franklin County Engineering Department, using Global Positioning System procedures and equipment.

**SOURCE OF DATA:** The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Franklin County, Ohio.

**IRON PINS:** Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pipes thirteen sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

**PERMANENT MARKERS:** Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inch long, solid iron pins. Pins are to be set to monument the points indicated, and set with the top end flush with the surface of the ground and then capped with an aluminum cap stamped EMHT INC. Once installed, the top of the cap shall be marked (punched) to record the actual location of the point.

SURVEYED & PLATTED  
BY



We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- = Iron Pin (See Survey Data)
- = MAG Nail to be set
- ⊙ = Permanent Marker (See Survey Data)

By \_\_\_\_\_ Date \_\_\_\_\_  
Professional Surveyor No. 7865



# THE COURTYARDS AT CARR FARMS SECTION 6

**NOTE "A" - ACREAGE BREAKDOWN:**

Total acreage:	8.398 Ac.
Acreage in Reserve "M" (private streets)	0.682 Ac.
Acreage in Reserve:	0.466 Ac.
Acreage in remaining lots:	7.250 Ac.

**NOTE "B"**: At the time of platting, all of the land hereby being platted as The Courtyards at Carr Farms Section 6 is in Zone X (Areas determined to be outside of the 0.2% annual chance flood plain) as designated and delineated on the FEMA Flood Insurance Map for Franklin County, Ohio, and Incorporated Areas, map number 39049C0141K with effective date of June 17, 2008.

**NOTE "C"** - ACREAGE BREAKDOWN: The Courtyards at Carr Farms Section 6 is out of the following Franklin County Parcel Numbers:

050-008252 8.398 Ac.

**NOTE "D"** - RESERVE "L": A homeowner's association ("Association") shall be created which will be responsible for the maintenance of designated reserves that are not conveyed or dedicated to the City of Hilliard or a community authority. The articles of incorporation creating the Association will be filed with the Ohio Secretary of State prior to occupancy of any building on the property. The Declaration shall contain a provision that states, after the City of Hilliard provides written notice to the Association and a right-to-cure period, the City of Hilliard shall have the right to enter upon the designated reserves and perform any necessary maintenance work to said designated reserves if the Association fails to timely fulfill its maintenance obligations in accordance with the Declaration. In such an event, the City of Hilliard shall be entitled to recover from the Association its costs associated with performing said necessary maintenance work. Notwithstanding the foregoing, the City of Hilliard may neither (i) enter the clubhouse building or any other amenity facilities constructed within or upon the designated reserves nor (ii) have any obligation to maintain such amenity facilities, if any. Prior to filing the Declaration, Epcor Carr Farms, LLC shall deliver a draft of the Declaration to the law director for the City of Hilliard to confirm the Declaration contains the above-mentioned language.

Reserve "L", as designated and delineated hereon, shall be owned and maintained by the Association.

Refer to the recorded operation and maintenance agreement for the post-construction stormwater best management practices and for additional restrictions in Reserve "L".

**NOTE "E"** - RESERVE "M": Reserve "M", as designated and delineated hereon, shall be owned and maintained by the Association. The street and lanes constructed within said Reserve "M" will be private streets and lanes which will not be dedicated to the City of Hilliard and the City of Hilliard will not be responsible for the maintenance of said streets.



**Legend**

B.L. = Building Line  
Easmt. = Easement  
S.E. = Sanitary Easement  
(R) = radial to street centerline  
(NR) = non-radial to street centerline  
= Storm Water Management Easement (SWME). See paragraph regarding "Easements" and "Storm Water Management Easements" on sheet 1 for restrictions within this easement.

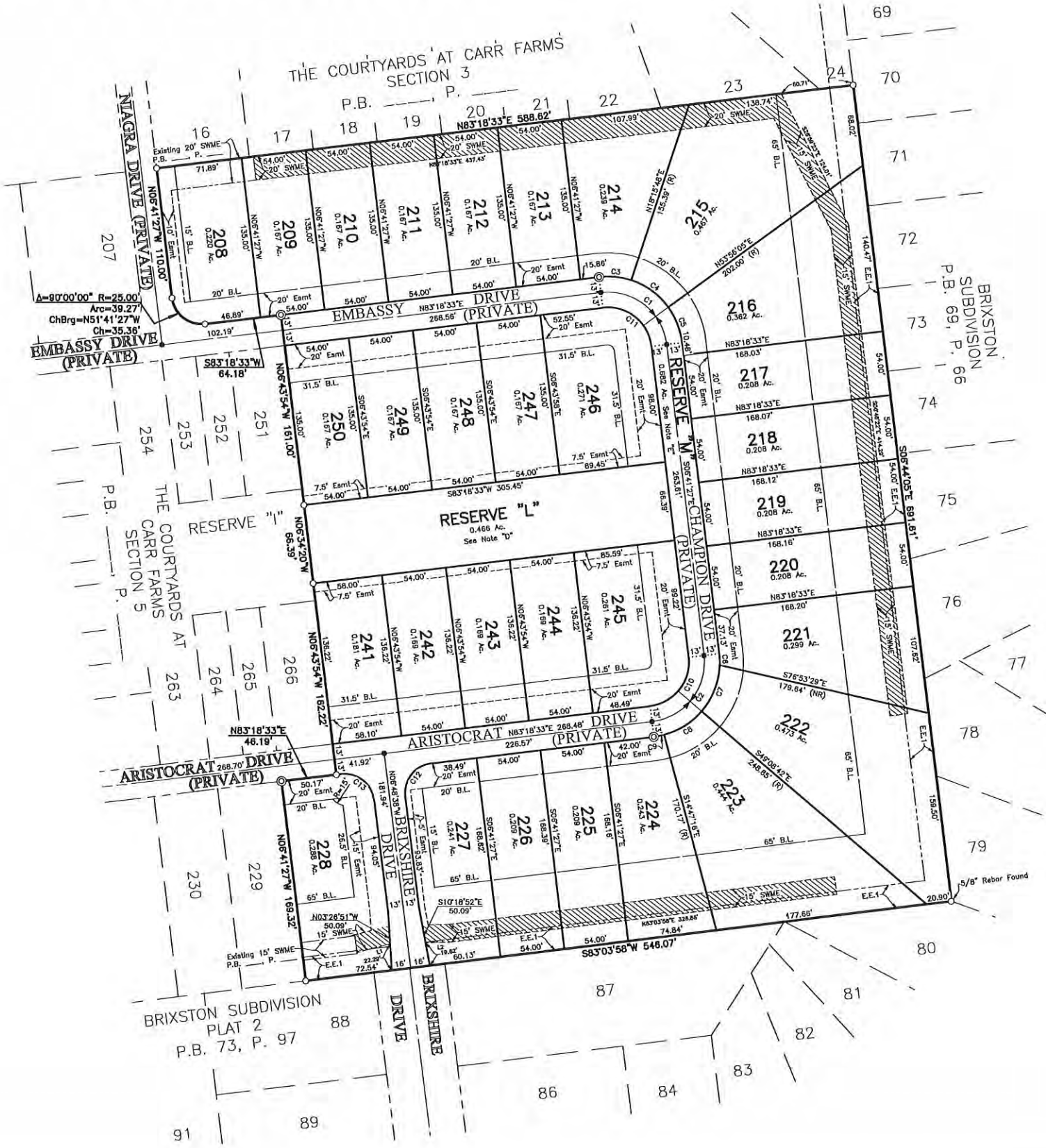
E.E.1 = Existing 20' Telephone Easmt  
D.B. 3045, P. 121

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S75°24'22"W	28.54'
L2	N88°43'18"E	21.13'

CURVE TABLE					
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	90°00'00"	50.00'	78.54'	N 51°41'27" W	70.71'
C2	90°00'00"	50.00'	78.54'	N 38°18'33" E	70.71'
C3	24°57'15"	63.00'	27.44'	N 84°12'50" W	27.22'
C4	35°40'18"	63.00'	39.22'	N 53°54'03" W	38.59'
C5	29°22'22"	63.00'	32.30'	N 21°22'41" W	31.95'
C6	8°48'35"	63.00'	9.69'	N 02°17'10" W	9.68'
C7	38°44'09"	63.00'	42.59'	N 21°29'13" E	41.79'
C8	34°21'26"	63.00'	37.78'	N 58°02'01" E	37.21'
C9	8°05'49"	63.00'	8.90'	N 78°15'38" E	8.90'
C10	90°00'00"	37.00'	58.12'	N 38°18'33" E	52.33'
C11	90°00'00"	37.00'	58.12'	N 51°41'27" W	52.33'
C12	90°07'11"	25.00'	39.32'	S 38°14'57" W	35.39'
C13	89°52'49"	25.00'	39.22'	N 51°45'03" W	35.32'

**Line Type Legend**

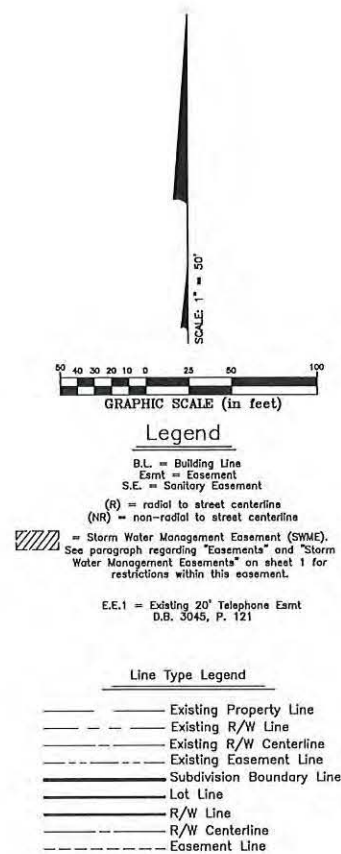
— Existing Property Line  
— Existing R/W Line  
— Existing R/W Centerline  
- - - Existing Easement Line  
- - - Subdivision Boundary Line  
— Lot Line  
— R/W Line  
— R/W Centerline  
- - - Easement Line



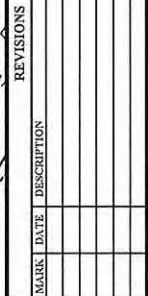


# THE COURTYARDS AT CARR FARMS SECTION 6

This sheet is to clearly designate and delineate the Sanitary Easement (S.E.). All information about Lots and Reserves can be found on Sheet 2 of 3 of this plat.







**FOR  
COURTYARDS AT CARR FARMS  
OPEN SPACE EXHIBIT**

**EMH**  
Evans, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
5500 New Albany Road, Columbus, OH 43054  
Phone: 614.775.4500 Toll Free: 888.775.3448  
[emht.com](http://emht.com)

January, 2022

1" = 100'

NO.  
20201184

1/1

54 of 78



**CASE 6: PZ-22-18 – Zoning Code Amendment**

**APPLICANT:** City of Hilliard, c/o Michelle Crandall, City Manager. 3800 Municipal Way, Hilliard, OH 43026.

**REQUEST:** Review & approval of a zoning code amendment to Code Section 1105.08 to add a definition for “Short-term Rental” to Code Section 1115.02 to add “Short-term Rental” and “Bed and Breakfast Inns” as permitted uses in the OH-MD, Old Hilliard Mixed Use District, and OH-RD, Old Hilliard Residential District, zoning districts and Code Chapter 1121 to add associated development standards.

**BACKGROUND:**

On October 27, 2014, Council adopted an ordinance (14-29) enacting a new Planning and Zoning Code and adopting a new Zoning Map. The applicant is requesting approval of a Zoning Code amendment concerning “Bed and Breakfast” and “Short-term Rental” uses.

**COMMISSION ROLE:**

The Commission is to review the proposal and forward a recommendation to Council.

**STAFF RECOMMENDATION:**

Staff finds that the proposal is consistent with the purpose of the Zoning Code to promote the public health, safety, morals, comfort, and general welfare of the City and its residents. Based on this finding, staff recommends that the Commission forward a positive recommendation to Council concerning the proposed Zoning Code amendment.

**CONSIDERATIONS:**Definitions

- Section 1105.08 - The proposal will add the following definition:

*Short-term Rental.* Any room or dwelling that is rented wholly or partly for a fee for less than thirty (30) consecutive days by persons other than the permanent occupant or owner from which the permanent occupant or owner receive monetary compensation, whether such compensation is paid directly by the short-term rental guest or is collected and remitted to the permanent occupant or owner by a hosting platform.

Schedule of Uses

- Section 1115.02 – The proposal will add “Bed and Breakfast Inn” as a permitted use in the OH-MD and OH-RD zoning districts.
- Section 1115.02 – The proposal will add “Short-term Rental” as a permitted use in the OH-MD and OH-RD zoning districts.
- Section 1115.02 – Identifies Code Section 1123.13(a) for specific conditions for “Bed and breakfast inns” uses in the OH-MD or OH-RD zoning districts.
- Section 1115.02 – Identifies Code Section 1121.06(i) for specific conditions for “Short-term rental” uses in the OH-MD or OH-RD zoning districts.

- Section 1121.06(i) – The proposal adds the following conditions for “Short-term rental” uses:
  - (1) A short-term rental shall not provide more than six guest rooms plus a common area for use by all guests.
  - (2) A short-term rental shall be located only in a detached single-family dwelling, designed and constructed for single family use, which shall contain at least 1,500 square feet of useable floor area. For each guest room in excess of two, an additional 100 square feet of floor area shall be required.
  - (3) Cooking facilities shall not be permitted in short-term rental guest rooms.



**CASE 7: PZ-22-21 – Alton Place – Northwest corner of Roberts Road and Alton Darby Road**

**PARCEL NUMBERS:** 53-000006, 053-000615, 053-000616 and 053-000714

**APPLICANT:** Alton Place LLC, c/o Dwight McCabe, 7361 Currier Road, Plain City, OH 43064; and Fischer Homes, c/o Emily Page, 3940 Olympic Boulevard, #400, Erlanger, KY 41018.

**REQUEST:** Review & approval of a variance under the provisions of Hilliard Code Section 1129.08 to permit 5 subdivision development advertising signs with more than 4 colors and to permit increased maximum sign size and maximum height.

**BACKGROUND:**

The Alton Place HCD includes approximately 350.320 acres located at the northwest corner of Roberts Road and Alton Darby Road. The site was annexed into the City of Hilliard in 2009 and was assigned the A-1, Agricultural, zoning classification. In 2014, the site was rezoned from A-1 to R-R, Rural Residential (Ordinance 14-29). Located within the Big Darby Watershed, the Big Darby Accord Panel recommended approval for the Alton Place HCD with conditions on December 11, 2018.

Rezoning of the site was approved by City Council on June 8, 2020 (Ordinance 19-26) and included 148 single-family lots, 297 attached residential units, 53 acres of commercial uses and 171.7 acres of open space. The proposed final plat for Alton Place Section 1, Phase 1 was approved in February of this year and is in the process of being recorded. This application is to approve a comprehensive development sign package for the marketing and sales of lots within the development.

**COMMISSION ROLE:**

As a subdivision development advertising package for the 350-acre development, the applicant has requested modifications to sign requirements contained within the Sign Code. The Commission is to determine whether the proposed modifications are consistent with the requirements of Hilliard Code Section 1129.08.

**STAFF RECOMMENDATION:**

Staff finds that the proposed sign package is generally consistent with the intent with the Code. Given the nature of the signage, proposed placement, traffic speeds and size of the development, staff finds that the sign package, while deviating from the standards, will not impact the general character of the neighborhood or surrounding properties and will have no impact on governmental services. Based on these findings, staff recommends approval of the comprehensive subdivision development sign package with the following three conditions:

- 1) That the proposed subdivision sign package be permitted for a period of three years at which time any extension must be obtained from the Planning Commission;
- 2) That the proposed green “Coming Soon!” blade on the main entry signs be placed horizontally below the main sign face; and
- 3) That both main entrance signs be placed at least 15 feet from the edge of right-of-way outside of sight visibility triangles for safety consistent with the Code.

## CONSIDERATIONS:

- *Proposed Entrance Signs.* A total of two single-sided main entrance signs are proposed that will be placed at the Roberts Road and Alton Darby Road entrances. The 3-post signs will be a total of 12'-2" in height (Code limit is 6 feet) and include a 64-square foot sign face (Code limit is 32 square feet). A total of 5 colors are indicated and may be higher based on the individual logos of homebuilders. Staff recommends that the proposed "Coming Soon!" blade in green be placed below the main sign face to limit the overall size.
- *Proposed Housing Product Signs.* Additional signs designed like the entry signs are proposed within the site to identify different housing types/lots available for sale. The signs to identify Estate Homes, Patio Homes and other options will include a sign face of 36 square feet and be seven feet tall.
- *Additional Code Requirements.* The Sign Code limits development signs to one per subdivision. Due to the size of the development and multiple frontages, the combination of two frontage signs with three internal signs is proposed.
- *Time Limitations.* Code requires that development signs are removed within one year or when 60 percent of the lots have been constructed or occupied (whichever is first). In the case of larger developments additional time will be necessary for build-out. Staff recommends that the proposed signs be approved for an extended period of three years to minimize procedural requirements and that any request for additional time beyond the three years be reviewed by the Commission when/if needed.
- Section 1129.08(d) sets forth the criteria by which the Commission evaluates any modifications from the established sign regulations:
  - (1) Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
  - (2) Whether the variance sought is substantial;
  - (3) Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
  - (4) Whether the variance would adversely affect the delivery of governmental services;
  - (5) Whether the property owner purchased property with knowledge of zoning restrictions;
  - (6) Whether the property owner's predicament feasibly can be obviated through some method other than variance; and
  - (7) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the requested variance.





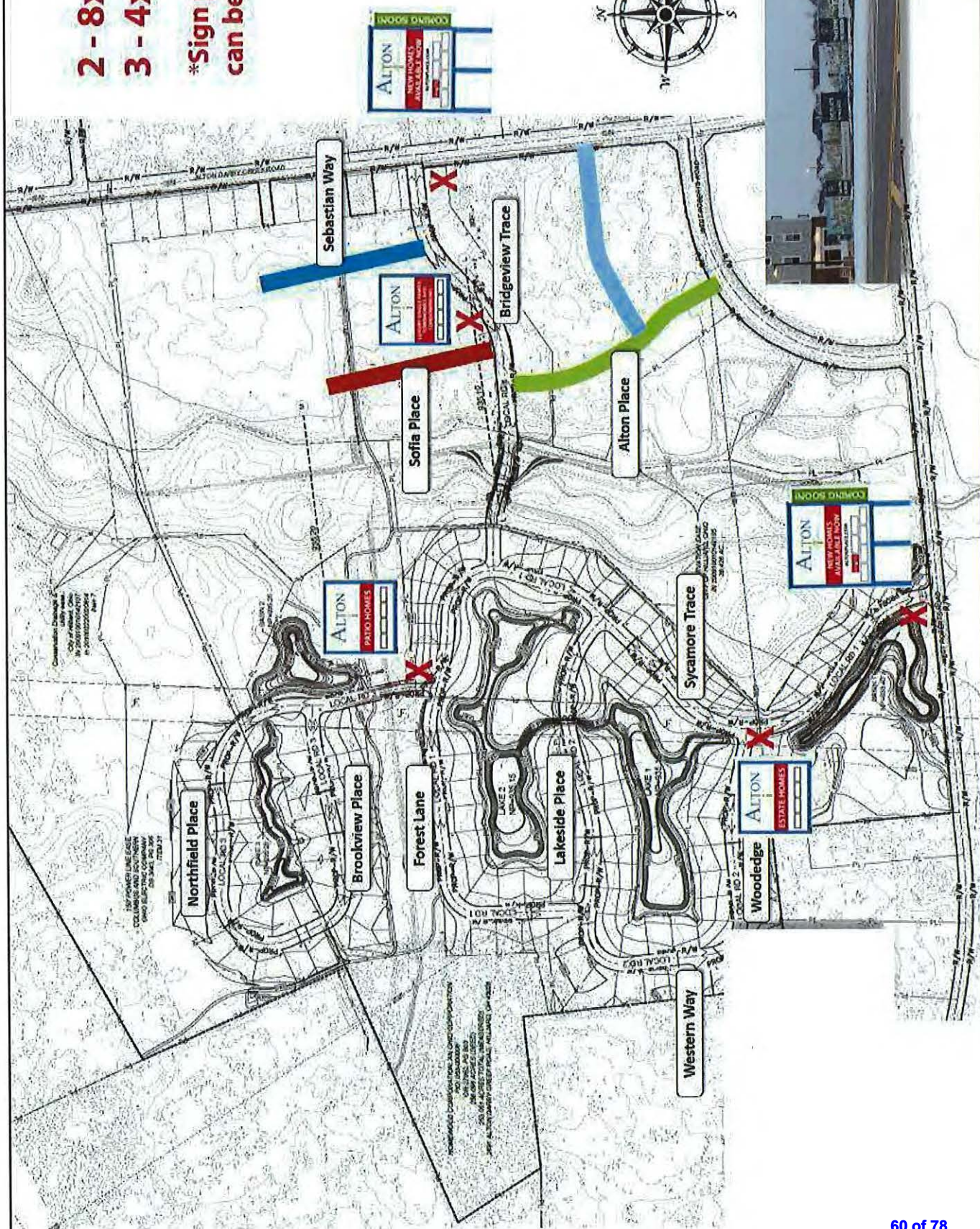
ALTON PLACE LLC  
PARCEL ID NUMBERS

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053-000006-00  
053-000008-00  
053-000009-00  
053-000010-00  
053-000011-00  
053-000012-00  
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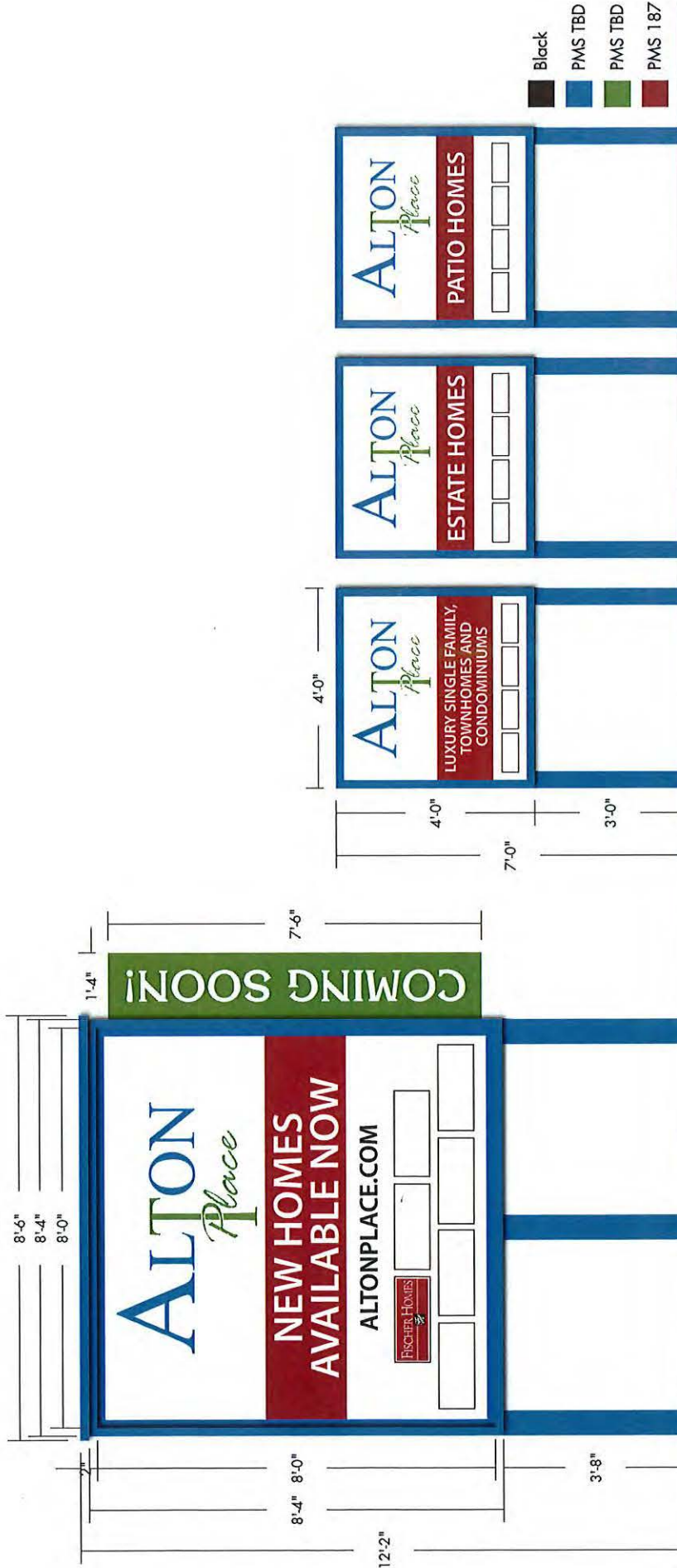
350.320 SURVEYED ACRES



**2 - 8x8 Signs**  
**3 - 4x4 Signs**  
 \*Sign placement  
 can be adjusted\*







QTY (1)

Single-sided polymetal sign in 2" frame with wood cap, mounted to (3) 6"x6" wood posts with horizontal stringers on back as needed. Structure and frame all painted "Alton Place Blue". Polymetal "Coming Soon" panel mounted to right wood post. Posts extend min. 4.5' underground with 18" dia concrete footers.

QTY (3) one each

Single-sided polymetal sign mounted to (2) 4"x4" wood posts painted "Alton Place Blue". Posts extend min 4'-8" underground.



**MORRISON SIGN**  
2757 Scio Parkway, Columbus, OH 43221  
614.276.1181 • morrisonsigns.com

Client: Fischer Homes | Alton Place  
Project: Site signage

Drawing Date: 03-03-22  
Drawing #: 22-152 SP: AE D: AW



This sign is intended to be installed in accordance with the applicable local codes and or other applicable local codes. This sign is not to be used for any other purpose, without written consent is subject to prosecution to the fullest extent allowed by law.

AS-DRAWN APPROVAL:

Client Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Morrison will not begin production until client signature is received on proof. Your signature indicates responsibility for accuracy of this proof and any adjustments after signature is received will incur additional costs and/or delays.

# ALTON PLACE

Hilliard, Franklin County, Ohio  
1/28/2022

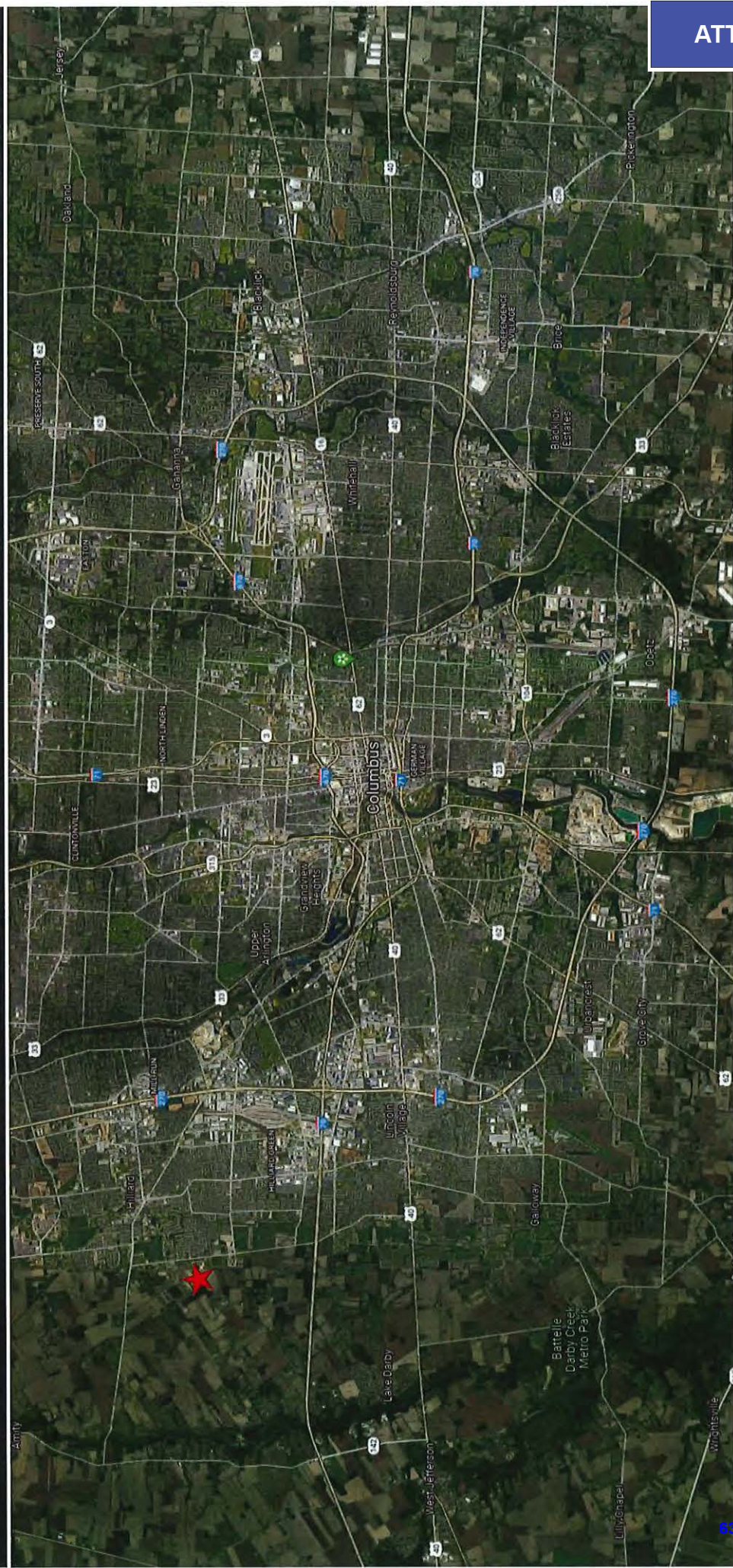




ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO



# PROPERTY





# PROPERTY

ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO



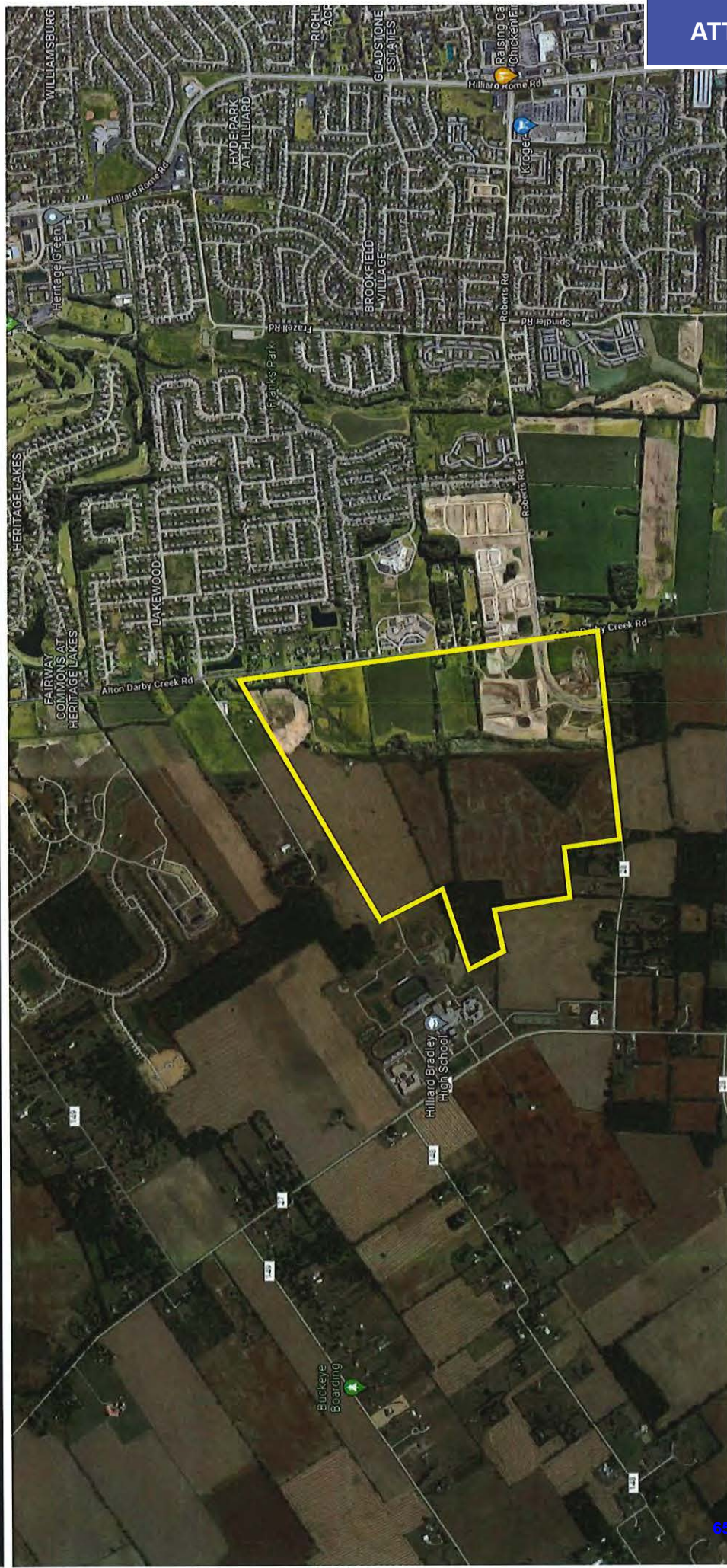
ATTACHMENT





ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO

# PROPERTY

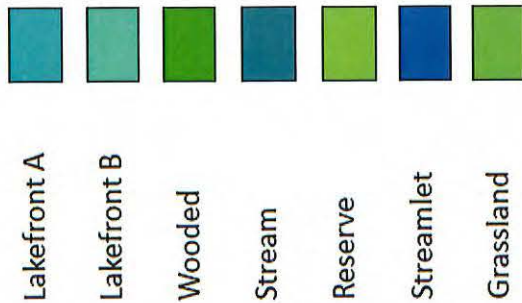






ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO

# CONTEXT - COMMUNITY PLAN



This is preliminary



ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO

# FISCHER LOTS

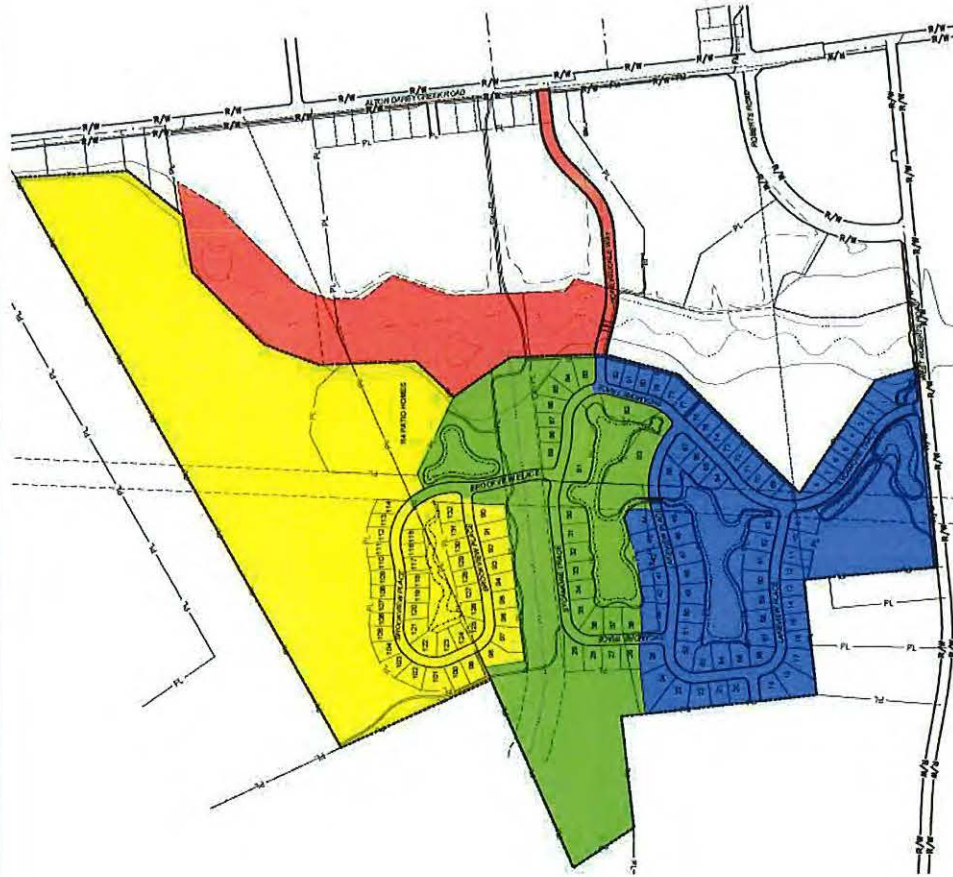


- Masterpiece Homesite
- Other Builder







# PHASING PLAN

ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO



## PHASE LEGEND

- |   |         |
|---|---------|
|  | PHASE 1 |
|  | PHASE 2 |
|  | PHASE 3 |
|  | PHASE 4 |



**ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO**



## SETBACKS

Front:	24'	Max. 10%:	2.8'	3.7'	SIDE ENTRY
Min Side:	6'	Prof. 8%:	2.4'	3.6'	
Total Side:	14'	Min. 4%:	1.6'	3.1'	
Rear:	20'				

■ BUILDABLE AREA  
■ EASEMENTS  
— HIGH IMPACT  
— UPPER EXIT  
— LOWER EXIT  
— SANITARY LINES  
— STORM LINES  
— WATER LINES  
— SUMP LINES  
— ELECTRIC LINES

PRODUCT	# OF SITES
49' OR LESS	13
57' OR LESS	14
TOTAL	27

## DRIVEWAY SLOPE

	FRONT ENTRY	SIDE ENTRY
Max. 10%:	2.8'	3.7'
Pref. 8%:	2.4'	3.6'
Min. 4%:	1.6'	3.1'





# ZONING REQUIREMENTS

ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO



- Decorative garage door w/ windows
- Driveway must be 1ft from property line
- Minimum of (2) additional trees in the rear yard
- Lamp post requirement
- Curved driveway needed for plans that don't meet 2' garage setback requirement
- Ranch homes can only be built on the ends of streets or corners - not situated in between 2-story homes (only for phases 1 and 2)
- Setbacks:
  - Side Setback | 6ft (14ft building separation)
  - Rear Setback | 20ft
  - Front Setback | 24ft
  - Minimum sqft | 1,800 sqft



# COMMUNITY RENDERINGS

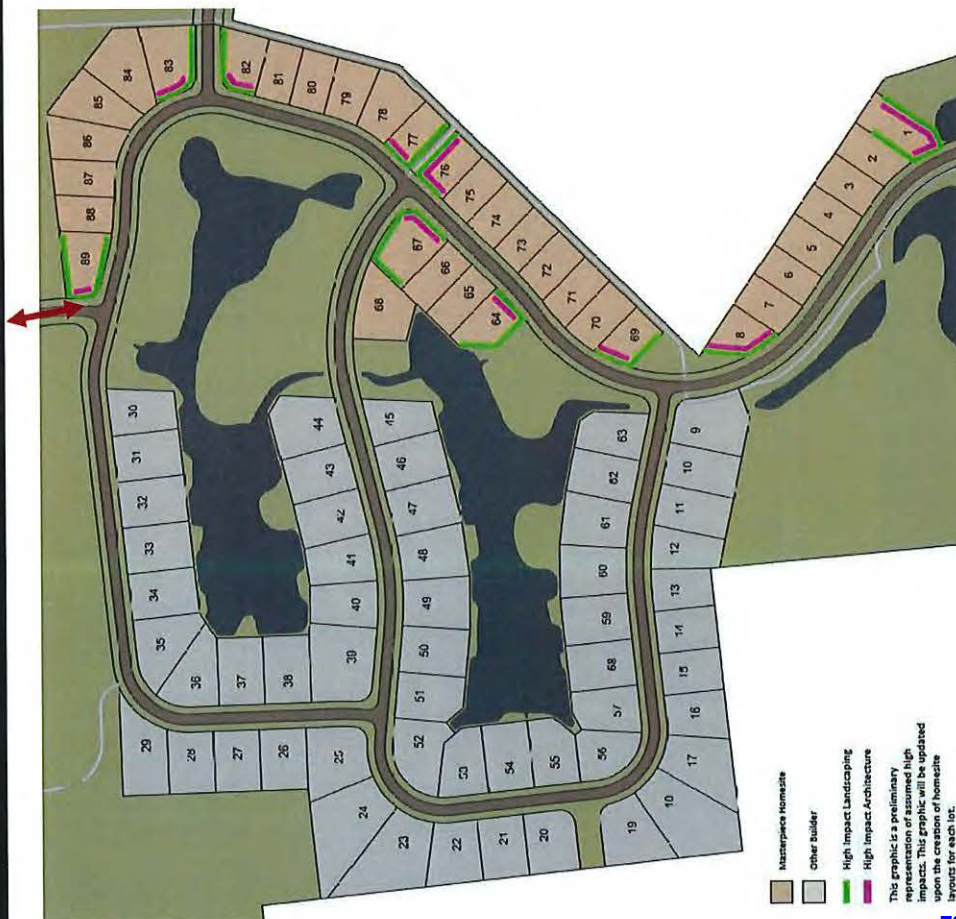
ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO





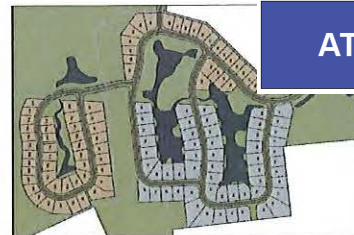
# PRODUCT STRATEGY

ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO



All Masterpiece Product also receive Landscape Package B (Transformer Landscaping)

This graphic is a preliminary representation of assumed high impacts. This graphic will be updated upon the creation of homesite layouts for each lot.



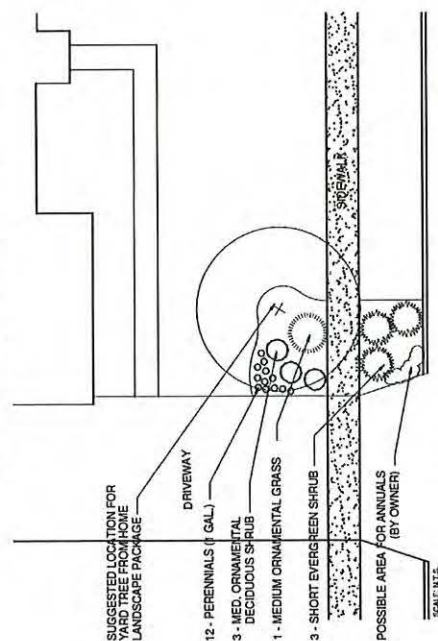
ATTACHMENT

# FISCHER HOMES STREETSCAPE PACKAGES

ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO

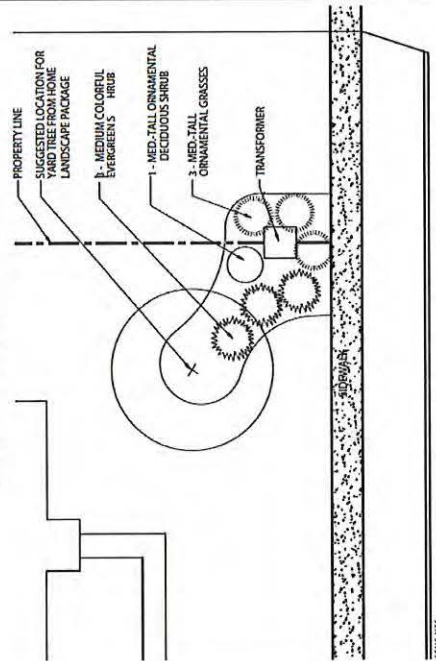


LANDSCAPE PACKAGE A



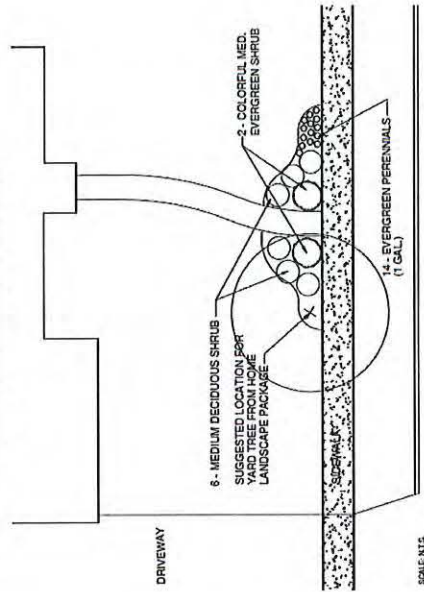
1. SUGGESTED RELOCATION OF THE INCLUDED HOME LANDSCAPE PACKAGE YARD TREE CAN BE PLACED IN THE DRIVEWAY LANDSCAPE BED. IF A COMMUNITY HAS A STREET TREE PROGRAM, THEN IT SHOULD STAY IN THE ORIGINAL LOCATION.
2. BE CAUTIOUS OF THE STREET TREE AND YARD TREE LOCATION. THEY SHALL NOT INTERFERE WITH EACH OTHER.

LANDSCAPE PACKAGE B



1. SUGGESTED RELOCATION OF THE INCLUDED HOME LANDSCAPE PACKAGE YARD TREE CAN BE PLACED IN THE TRANSFORMER LANDSCAPE BED. IF A COMMUNITY HAS A STREET TREE PROGRAM, THEN IT SHOULD STAY IN THE ORIGINAL LOCATION.
2. BE CAUTIOUS OF THE STREET TREE AND YARD TREE LOCATION. THEY SHALL NOT INTERFERE WITH EACH OTHER.
3. LANDSCAPE PACKAGE B CAN ALSO BE USED AS A CORNER LOT PLANTING BED.
4. LANDSCAPE PACKAGE B IS TO BE PARTIALLY INSTALLED (50%) WITH THE INITIAL HOUSE CONSTRUCTION AND PARTIALLY (50%) WITH THE ADJACENT HOME CONSTRUCTION. IF THE ADJACENT HOME IS COMPLETE, THEN THE ENTIRE PACKAGE SHOULD BE INSTALLED.

LANDSCAPE PACKAGE C



1. SUGGESTED RELOCATION OF THE INCLUDED HOME LANDSCAPE PACKAGE YARD TREE CAN BE PLACED IN THE SIDEWALK LANDSCAPE BED. IF A COMMUNITY HAS A STREET TREE PROGRAM, THEN IT SHOULD STAY IN THE ORIGINAL LOCATION.
2. BE CAUTIOUS OF THE STREET TREE AND YARD TREE LOCATION. THEY SHALL NOT INTERFERE WITH EACH OTHER.



# COMMUNITY AMENITIES

ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO



- Open space and walking paths will be installed by the developer.
- Commercial, retail, etc. will be provided by others.

# STREET TREES/YARD TREES

ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO



- Builder is required to furnish and install (2) street trees per homesite.



# MAILBOXES

ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO



- CBU's will be located in open space.
- The exact locations are to be determined.
- They will be installed by the developer.
- USPS to distribute keys after CBU installation

# HOA FEES, BOARD & MANAGEMENT

ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO



- No HOA
  - NCA will act as managing HOA. There are no HOA fees. NCA docs being finalized and the final millage is 'to be determined'.
  - Minimum of 5 Mills and Maximum of 10 Mills
- 
- "NCA - New Community Authority" - an annual fee that is paid with taxes. Some of this money will be used to cover what an HOA would normally manage. No HOA Fees or Closing Costs.



# MODEL HOME

ALTON PLACE,  
HILLIARD,  
FRANKLIN COUNTY,  
OHIO



Lot 2  
Leland Coastal Classic  
Market Home | TBD

28 of 78