

MEETING AGENDA (AMENDED)



Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube

Thursday, August 11, 2022 | 7:00 pm

1. **Call to Order**
2. **Pledge of Allegiance to the Flag**
3. **Roll Call**
4. **Approval of the Meeting Minutes – July 14, 2022**
5. **Oath to Tell the Truth**
6. **Changes to the Agenda (requests for postponements, withdrawals, or change in order of cases)**
7. **New Cases:**

CASE 1: PZ-22-38 – OFF CENTER PATIO & PUB – 5286 Center Street

PARCEL NUMBER: 050-000361

APPLICANT: Joel Cosmo, Off Center Patio & Pub, 5286 Center Street, Hilliard, OH 43026.

REQUEST: Review and approval of sign variances under the provisions of Hilliard Code Section 1129.08 for an 11-foot tall, 22.75-square-foot single-pole ground sign.

CASE 2: PZ-22-39 – FIRST INDUSTRIAL PROPERTY LP PUD – 3911-3959 Britton Parkway

PARCEL NUMBER: 050-011176

APPLICANT: Echo Hilliard II LLC, 560 Epsilon Drive, Pittsburgh, PA 15238; c/o Kylie Cochran, Signcom, Inc., 527 Rich Street, Columbus, OH 43215.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 and the First Industrial Property PUD to permit a 6-foot tall, 32-square-foot ground sign with multiple tenant panels located less than 15 feet from the right-of-way line.

CASE 3: PZ-22-40 – BLANK DENTAL GROUP – 5330 Cemetery Road

PARCEL NUMBER: 050-000100

APPLICANT: Blank Spaces LLC, 5330 Cemetery Road, Hilliard, OH 43026; c/o Chris Huber, Advanced Civil Design, 781 Science Boulevard, Gahanna, OH 43230.

REQUEST: Review and approval of a Level "B" Site Plan under the provisions of Hilliard Code Chapter 1131 for a parking lot expansion and replacement monument sign.

CASE 4: PZ-22-41 – ADVANCED DRAINAGE SYSTEMS – Ansmil PUD Subarea C2 - Southeast corner of Davidson Road and Lyman Drive

PARCEL NUMBER: 050-008256

APPLICANT: Ansmil LLC, c/o Daniel Smith, 203 S. Stanwood Road, Columbus, OH 43209; and Rene Jimenez, Geis Companies, 10020 Aurora-Hudson Road, Streetsboro, OH 44241.

REQUEST: Review and approval of a PUD Final Development Plan under the provisions of the Ansmil PUD Concept Plan and Text for a 107,500-square foot office on 16.66 acres.

CASE 5: PZ-22-42 – OPPIDAN DATA CENTER – 4861 Edwards Farm Road

PARCEL NUMBER: 050-006545

APPLICANT: Wolpert Enterprises Limited, c/o Larry Wolpert, 2592 Canterbury Road, Columbus, OH 43221; and Andrew Ong, American Structurepoint, 2550 Corporate Exchange Drive, Suite 300, Columbus, OH 43231.

REQUEST: Review and approval of a Lot Split under the provisions of Hilliard Code Section 1188.05 and a Level “B” Site Plan under the provisions of Chapter 1131 of the Hilliard Zoning Code for the construction of an 89,954-square-foot data center on 14.30 acres

CASE 6: PZ-22-43 – COLORADO MOUNTAIN SPORTS – 4445 Cemetery Road

PARCEL NUMBER: 050-002824

APPLICANT: Cemetery Rd Holdings LLC, c/o Eric Bahgat, 4445 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of an application to rezone Lot 231 of Easthill Acres from B-1 to PUD under the provisions of Hilliard Code Chapter 1117; a modification of the Cemetery Road Properties Located Between Leap and Lacon Roads PUD by adding Lot 231 of Easthill Acres to the PUD, and revising development standards under the provisions of Hilliard Code Section 1117.08.

CASE 7: PZ-22-44 – THE GREYSON AT HICKORY CHASE – 4400 Mountain Laurel Drive

PARCEL NUMBER: 050-011436, 050-011437

APPLICANT: Paul Fingerst, The Greyson at Hickory Chase, 4400 Mountain Laurel Drive, Hilliard, OH 43026; Troy Richards, Landscapes by Terra, Inc., 11201 Watkins California Road, Marysville, OH 43040.

REQUEST: Review and approval of a revised final development plan under the provisions of Hilliard Code Chapter 1131 and the Ansmil PUD Development Text (Subarea E1) for the installation of a revised entry feature and pedestrian plaza with food truck lane.

CASE 8: PZ-22-46 – CONVERGE TECHNOLOGIES and HILLIARD CITY LAB – 4621 LYMAN DRIVE

PARCEL NUMBER: 050-011534

APPLICANT: Converge Technologies, c/o John Bair, 4621 Lyman Drive, Hilliard, OH 43026; City of Hilliard, c/o Michelle Crandall, 3800 Municipal Way, Hilliard, OH 43026.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to increase the maximum area for two wall signs.

8. Discussion Items
9. Chairman’s Communication
10. Committee Communications
11. Adjournment

[END OF AGENDA | AUGUST 11, 2022]

MEETING MINUTES

Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube



Thursday, July 14, 2022 | 7:00 pm

CALL TO ORDER

Chairman Jay Muether called the Regular Meeting of Planning and Zoning Commission to order at 7:00 PM.

PLEDGE OF ALLEGIANCE TO THE FLAG

Commission Member Chris Lewie led the Commission and attendees in the Pledge of Allegiance.

ROLL CALL

Attendee Name:	Title:	Status:
Chairman Jay Muether	Chair	Present
Vice Chair Bevan Schneck	Vice Chair	Present
Eric Gutknecht	Member	Present
Chris Lewie	Member	Present
Tracey Nixon	Member	Present
Tom Pannett	Member	Present
Bill Uttley	Member	Present

Staff Members Present: Assistant City Manager Dan Ralley, Planning Director John Talentino, Planning Manager Carson Combs, Staff Attorney Kelly Clodfelder, City Engineer Clark Rausch and Planning Intern Abby Theil.

Others Present: Michael Hatter, Barbara Bloetscher and Winneford Williams representing COBA (Case #PZ-22-27); Melissa Miller, representing Chase (Case #PZ-22-31); Michael Sullivan, Joe Gioffri, Steve Hines, Ellen Puckett and Mark Mitchell as interested parties (Case #PZ-22-32); Steve Wathen, Patrick Wathen and Shawn Boysko representing Truepointe (Case #PZ-22-32); Derik Leary representing Amazon (Case #PZ-22-33); Kevin Hamilton representing JC & Company (Case #PZ-22-36); Cole Antle representing Old Hilliard LTD (Case #PZ-22-37); Kyle Weber of the Kleingers Group and other members of the public in attendance.

APPROVAL OF MEETING MINUTES – June 9, 2022

Chairman Muether asked if there were any changes or corrections to the June 9, 2022, Planning and Zoning Commission minutes. With no comments, the minutes were approved by a voice vote.

Status:	Accepted by voice vote (6-0-1)
Ayes:	
Abstain:	Ms. Tracey Nixon (not present at June 9 meeting)

OATH TO TELL THE TRUTH

Staff Attorney Kelly Clodfelder administered the Oath to Tell the Truth.

CHANGES TO THE AGENDA (requests for postponements, withdrawals, or change in order of cases)

Chairman Muether requested that PZ-22-27 – CODE AMENDMENT – Backyard Chickens & Rear Yard Beekeeping be moved to the end of the agenda.

NEW CASES:

CASE 2: PZ-22-31 - CHASE BANK – 4199 Parkway Lane

PARCEL NUMBER: 050-003211

APPLICANT: Rachel Wolff, Mannik Smith Group, 1160 Dublin Road, Suite 100, Columbus, OH 43215; Vaughn Benson, FMS Architects, 995 W. 3rd Avenue, Columbus, OH 43212; Max Hartings, Equity, 4653 Trueman Boulevard, Suite 100, Hilliard, OH 43026; Jim Byun AIA, NCARB, J.P. Morgan Chase & Co., 10 S. Dearborn Street, 25th Floor, Chicago, IL 60603; Central Ohio Transit Authority, 1600 McKinley Avenue, Columbus, OH 43222.

REQUEST: Review & approval of a lot split under the provisions of Hilliard Code Section 1188.05 to create a 0.89-acre parcel, and a Level “B” Site Plan under the provisions of Hilliard Code Chapter 1131 for a 3,410-square-foot bank.

[Mr. Combs gave the staff report]

BACKGROUND:

The site consists of 1.805 acres located at the southwest corner of Cemetery Road and Parkway Lane between Parkway Lane and the CSX railroad. The property is Lot #1 of the Freeway Business Park platted in 1984. The original parcel was 2.097 acres and over the years has been reduced by right-of-way acquisition to accommodate intersection, street and railroad improvements. The site is currently owned by the Central Ohio Transit Authority as a park-and-ride location along Cemetery Road and is zoned B-4 as part of the I-270 Corridor District. The applicant is requesting approval of a lot split to create a 0.89-acre parcel to construct a 3,410-square foot Chase Bank. The proposed split and requested approval of a Level “B” Site Plan for the site would maintain shared parking with COTA for park-and ride users.

COMMISSION ROLE:

The Commission is to review the proposed lot split for conformance to the provisions of Hilliard Code Section 1188.05 and assess the proposed Level “B” Site Plan under the provisions of Hilliard Code Chapter 1131.

STAFF RECOMMENDATION: MOTION 1 (LOT SPLIT)

Given the unique shape of the property and the various right-of-way acquisitions that have occurred for transportation-related improvements, staff finds that the proposed lot split is generally consistent with the intent of the Code. Based on this finding, staff recommends that the proposed lot split be approved with three conditions:

- 1) That the necessary variance to reduce the minimum lot sizes below 1.0 acre be approved by the Board of Zoning Appeals;
- 2) That the legal description and exhibit for the lot split/deed transfer and any access easements meet the requirements of the City Engineer for format and content; and
- 3) That the lot split/deed transfer be recorded and that evidence thereof is provided to staff.

STAFF RECOMMENDATION: MOTION 2 (LEVEL B SITE PLAN)

Staff finds that the proposed site plan is generally consistent with the overall intent of the Code and appropriately addresses site constraints given the unique nature of the site. Based on this finding, staff recommends that the proposed Level “B” Site Plan be approved with three conditions:

- 1) That necessary variances relating to the site plan be obtained from the Board of Zoning Appeals prior to submitting for permits;

- 2) That required street tree caliper inches be planted on-site or within a public park space as determined by the City Forester; and
- 3) That the proposed development comply with all sign code provisions or return to the Planning and Zoning Commission for a sign variance package.

CONSIDERATIONS:

- *Site Overview.* The site is zoned B-4, I-270 Corridor District and banks are a permitted use. To the east, across Parkway Lane, is the Sheetz convenience store and gas station zoned B-4. To the north across Cemetery Road are commercial properties within the First Industrial PUD that includes the Rusty Bucket. West of the site is the CSX Railroad line that links Columbus to Toledo. Sunbelt Rentals to the southeast is also zoned B-4. The COTA park-and-ride would be altered to accommodate the bank site and would share parking and access. The proposed bank includes a parking lot with center island and ATM lane along the railroad corridor.
- *Lot Split.* The proposed lot split would create a ± 0.89 -acre parcel for the bank and leave a residual parcel for COTA of ± 0.915 -acre, which requires a variance for minimum lot size. Right-of-way acquisitions for public improvements have reduced the size of the original 2-acre parcel making it substandard. Recording of lot split and shared access exhibits/legal descriptions must occur to obtain necessary permits.
- *Building Setbacks.* Plans include a 3,410-square foot bank building that will be located close to Cemetery Road. The proposed location would require a building line reduction from 50 feet to 34 feet but meets the general intent of the Comprehensive Plan to establish a more architecturally-focused streetscape along Cemetery Road. The proposed building placement is similar to the Rusty Bucket on the north side of the corridor and will be elevated by the existing grade change above Cemetery Road.
- *Access & Connectivity.* Access will be provided from the existing curbcut along Parkway Lane. The proposed site layout is integrated into and coordinates with the existing COTA lot. Due to grade changes, pedestrian access is provided from the bank building to the street nearer the access point instead of at the intersection with Cemetery Road.
- *Parking.* A total of 31 spaces are proposed for the bank site. A maximum number of 20 parking spaces is permitted in the site per Section 1127 of the City Code, but the provided spaces will serve both the bank and adjacent park-and-ride location.
- *Landscape Requirements.* Visibility of the site from public rights-of-way are largely limited to the Parkway Lane frontage. The landscape buffer for parking along Parkway Lane will be planted to comply with Code, but is reduced from 20 feet to 10 feet due to site constraints. As a shared parking lot, required landscape buffer and plantings are not provided along the proposed south property line. No landscaping is proposed along the railroad frontage because of rail line is elevated above the site and includes existing vegetation.
- *Tree Preservation.* 20 inches of protected trees will be removed and have been replaced on the proposed landscape plans according to Code.
- *Street Trees.* Due to underground utilities along Parkway Lane and Cemetery Road, the proposed plans request a waiver from street tree requirements. Staff recommends that equivalent inches be provided elsewhere on site or at a nearby park location.
- *Accessory Structures.* Plans include a dumpster location along the proposed southern property line, as well as an ATM kiosk. General standards within the code require a six-foot setback and a reduction to the setback is necessary since pavement is coordinated between the site and remaining parent tract. The proposed ATM includes an 8-foot drive aisle and will require variances from the BZA for the reduced lane and stacking width.
- *Stormwater Management.* The proposed site plan will be required to meet all applicable stormwater management requirements, including quantity and quality. Given the existing coverage of the site,

impacts will be negligible or even reduce impervious surfaces. Final plans will be required to meet engineering requirements.

- *Signage and Lighting.* Lighting for the site will comply with Code requirements. At this time, no comprehensive sign package has been created, but will either comply with Code or return to the Commission for a sign variance request.

[END OF REPORT | PZ-22-31]

Mr. Uttley inquired if there is adequate right-of-way consistent with what is necessary for the site. Staff confirmed the right-of-way and noted that improvements over time have reduced the parcel size.

Mr. Lewie asked if the park and ride would remain; Mr. Combs noted that the Chase site would utilize the existing parking lot area. He said the bus stop and turnaround would remain and the parking lots would be connected. He indicated that the Chase plan has more spaces than required and would establish a common parking arrangement that uses the existing curbcut.

Mr. Gutknecht asked if the park-and-ride would also need a variance. Mr. Combs explained that the variance request would be for the parent parcel, so in effect both properties would be requesting a variance.

Vice Chair Schneck noted that the existing park-and-ride sign will be impacted and it is important to advertise the park-and-ride use.

Melissa Miller (Mannik Smith), representing the applicant, noted that staff had fully explained the application and that they agreed with the conditions for the case.

With no public comment Vice Chairman Schneck, seconded my Mr. Lewie, made a motion to approve a lot split under the provisions of Hilliard Code Section 1188.05 to create a 0.89-acre parcel with three conditions:

- 1) That the necessary variance to reduce the minimum lot sizes below 1.0 acre be approved by the Board of Zoning Appeals;
- 2) That the legal description and exhibit for the lot split/deed transfer and any access easements meet the requirements of the City Engineer for format and content; and
- 3) That the lot split/deed transfer be recorded and that evidence thereof is provided to staff.

Status:	Approved with three conditions (7-0).
Mover:	Vice Chair Bevan Schneck
Seconder:	Chris Lewie
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, Bill Uttley.

Vice Chair Schneck, seconded by Mr. Gutknecht, made a motion to approve a Level “B” Site Plan under the provisions of Hilliard Code Chapter 1131 for a 3,410-square-foot bank with three conditions:

- 1) That necessary variances relating to the site plan be obtained from the Board of Zoning Appeals prior to submitting for permits;
- 2) That required street tree caliper inches be planted on-site or within a public park space as determined by the City Forester; and
- 3) That the proposed development comply with all sign code provisions or return to the Planning and Zoning Commission for a sign variance package.

Status:	Approved with three conditions (7-0).
Mover:	Vice Chair Bevan Schneck
Seconder:	Chris Lewie

Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, Bill Uttley.
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CASE 3: PZ-22-32 - TRUEPOINTE DEVELOPMENT – 4525 Trueman Boulevard

PARCEL NUMBER: 050-003043 & 050-010984

APPLICANT: Trueman Boulevard LLC, 4653 Trueman Boulevard, Suite 100, Hilliard, OH 43026; RRIHQ LLC, 4653 Trueman Boulevard, Hilliard, OH 43026; and Shawn Boysko, Equity Construction Solutions, 4653 Trueman Boulevard, Suite 200, Hilliard, OH 43026.

REQUEST: Review & approval of a PUD Modification under the provisions of Hilliard Code Section 1117.08 for a mixed-use development including office, commercial, restaurant, hotel, and residential uses on 27.73 acres.

[Mr. Talentino gave the staff report]

BACKGROUND:

The site consists of two parcels totaling 27.73 acres located on the west side of Trueman Boulevard approximately 1,500 feet south of Davidson Road. The site has approximately 1,900 feet of frontage on Trueman Boulevard and approximately 2,010 feet of frontage along I-270. On October 26, 1998, City Council approved a rezoning by ordinance (98-36) to create the Soma Company PUD which consists of approximately 146 acres on the east side of I-270 between Davidson Road and Cemetery Road. The applicant is requesting approval of a modification to the Soma Company PUD development text for Subareas 5 and 6 to create a mixed-use development that includes office, commercial, restaurant, hotel, and residential uses on 27.73 acres.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1117.08 and the Soma Company PUD Concept Plan. Upon its review, the Commission is to make a recommendation to City Council who will make a final determination on the proposed PUD text modification.

STAFF RECOMMENDATION:

Staff finds that the proposal is consistent with the Hilliard Comprehensive Plan recommendations concerning land use and that the proposal is consistent with the purpose of the Soma Company PUD “to create a unified, high quality, multiple use development.” Staff finds that the proposal is consistent with the provisions of Hilliard Code Section 1117.06 and recommends that the Commission forward a positive recommendation to Council concerning the proposed PUD modification with the following two conditions:

- 1) That cross-access easements between the site and the adjacent property to the north are recorded, subject to the approval of the Law Director; and
- 2) That emergency vehicle access shall meet the requirements of Norwich Township Fire Department.

CONSIDERATIONS:

- The site consists of Soma Company PUD Subarea 5 and a portion of Subarea 6. Permitted uses in Subareas 5 and 6 include those listed in Chapter 1123.01 for B-3 zoning districts, except for the following which are prohibited: restaurants, banks, helicopter pads, commercial recreational facilities, essential services, fraternal uses and semi-public uses.
- The proposed plan shows new office buildings and a parking garage in the northwest portion of the proposed site. Retail, restaurant, and hotel uses are shown in the center and northern portion of the

site. Multi-family residential buildings including a parking garage are shown in the southern portion of the site. Access to the site will be from the three existing access points on Trueman Boulevard.

- *Community Plan Issues.* The Comprehensive Plan recommends the site for professional office uses. Principal structures should be built near the street with parking lots to the side or rear. Parking lots should be well landscaped with shade trees and shared parking agreements are encouraged. Structures should be connected to pedestrian/bike facilities in the area. Buildings and sites are also recommended to be well designed and have distinct architectural character. The adjacent office development to the north is recommended for corporate office uses which are to be well integrated with surrounding development and amenities, ideally including retail uses within walking distance.
- *Proposed Text Modifications.* The proposed text combines the current Subarea 5 and a portion of Subarea 6 into a new Subarea 5. The proposal recognizes the need to provide the amenities and supporting uses that are needed in the current economy to attract and retain income producing land uses. The proposed text includes the following:

Section 5.A	Specifies the size of the new Subarea 5 as 27.73 acres.	
Section 5.B	Specifies the permitted uses and conditional uses as those listed in the Zoning Code for the B-3 and B-4 zoning districts. Multi-family residential is limited to a maximum of 367 dwelling units.	
Section 5.C	Specifies a maximum lot coverage of 80 percent for impervious surfaces.	
Section 5.D	Specifies the maximum heights and maximum sizes of buildings, the maximum number of parking garage spaces, the maximum number of hotel rooms, and the maximum number of dwelling units.	
Section 5.E.1	Specifies the following minimum building setbacks from the overall Subarea 5 boundary	
	North (side) – 0 feet	East (front) – 40 feet
	South (side) – 5 feet	West (rear) – 50 feet
Section 5.E.2.	Specifies the following minimum pavement setbacks from the overall Subarea 5 boundary:	
	North (side) – 20 feet	East (front) – 25 feet
	South (side) – 20 feet	West (rear) – 60 feet
Section 5.F.6.	Requires tree replacement per Code.	
Section 5.F.7.a.	The screening of vehicular use areas from Trueman Boulevard will be from the existing 4-foot-tall landscaped mound. Additional tree plantings along the property perimeter will be consistent with the existing easement limitations.	
Section 5.F.7.b.	Requires interior landscaping consistent with the provisions of the Code.	
Section 5.G	Requires cut-off type site lighting fixtures with a maximum height of 25 feet in parking lots and the main entry drive, and 14 feet in park areas.	
Section 5.H.1	Specifies the minimum number of parking spaces for the overall Subarea 5 is 2,340 including 820 surface spaces, 1,180 garage spaces, and 340 shared spaces. Specifies the parking ratios for permitted uses.	
Section 5.I.	Access to the site will be from the three existing access points on Trueman Boulevard.	
Section 5.J	Requires trash receptacles to be screened on all sides.	
Section 5.K.	Prohibits outdoor storage. Requires mechanical equipment to be screened on all sides.	
Section 5.L.1	Requires outdoor public spaces to be incorporated into the overall site.	
Section 5.L.2.	Requires park land dedication consistent with the provisions of the Zoning Code for residential uses.	
Section 5.M.	Includes conceptual renderings which demonstrate the level of quality of design and exterior materials that will be required for commercial and residential buildings.	

Section 5.N.	All new utility lines will be underground. The existing overhead transmission lines will be permitted to remain above ground.
Section 5.P	All signage shall meet the requirements of the Sign Code unless otherwise approved as part of a comprehensive signage plan by the Planning and Zoning Commission.
Section 5.Q.	Building locations, designs, uses, etc., are subject to change as part of the Final Development Plan review.
Section 7.A.2	Specifies the size of the new Subarea 6 as 2.65 acres. The existing building in the northeast portion of Subarea 6 will remain. The majority of current Subarea 6 will be included in the proposed Subarea 5.

[END OF REPORT | PZ-22-32]

Vice Chair Schneck inquired whether a crossing will be provided to get people from the sidewalk on the west side of Trueman Boulevard to the path on the east side. Mr. Talentino explained that the text modification is focused on the uses and general proposal and final details for pedestrian connections will be addressed further along in the process. Mr. Talentino clarified for Chairman Muether that the offices would be approved administratively, but the concept renderings would be used for the Commission to evaluate all other uses as a final development plan.

Steve Wathen, representative for the developer, described their background in the community and provided an overview to Commission and audience. He added that the campus to the north has an existing $\frac{3}{4}$ -mile trail that will be extended into the site to create a 2-mile system.

The site includes internal green spaces and a dog park. He provided a slide show and described the site and renderings. Mr. Wathen noted that every tenant for retail and restaurants are not local purposely to make the site a Hilliard destination. He explained that they have commitments at varying levels for both office buildings, with most health-related jobs new to the city. Mr. Wathen described many of the proposed restaurant options which would include two white tablecloth options. He noted that the demographics within 1 mile of the site include an average family income of \$130,000. He noted some other types of proposed uses that include fitness, co-working, coffee shop and bakery, salons and other entertainment uses that are also intended to be unique.

Mr. Lewie agreed with the need for higher-end restaurants and inquired about the timing for build-out. Mr. Wathen explained that the site will include a daytime population of 2,000 people that will be coupled with a nighttime population to benefit retailers. He said the apartments are committed and are looking to break ground this year and build out the site within approximately two years. He said the parking structures will be the first in the city.

Mr. Uttley inquired about traffic and asked about a traffic study and the need for a light. It was explained that a light is planned for the north entrance to encourage office users not to congest the retail area during peak times. Mr. Wathen noted that Trueman Boulevard was planned to accommodate three large Class A office buildings.

Mr. Gutknecht asked about noise impacts from the project. Mr. Wathen explained that the buildings would help to provide a buffer from the I-270 noise. He also pointed out that the mounding and landscaping was implemented years prior to address the noise and impacts of what was expected to be large offices. Mr. Wathen noted for Chairman Muether that they agree with the conditions.

Mark Mitchell, 4040 Idlewood Court, Columbus, noted that he did not agree with the project. He said that the Comprehensive Plan indicated three story offices, while the proposal calls for increased height. Mr. Mitchell said he understands the need for mixed use but the project is in the wrong location. He voiced concerns about traffic

impacts and inquired about the Comprehensive Plan's pedestrian bridge in addition to lighting impacts. He said that this plan does not take neighborhood concerns into consideration.

Mr. Talentino clarified for the Commission that the subarea currently permits a height of 80 feet. He noted that every PUD can be changed, but in this case a maximum number of units is denoted that would require going back through both the Commission and City Council for approval.

Michael Sullivan, 4344 Huntwicke Court, said as a resident for 28 years complemented the developer and said he agreed with 90 percent of what's proposed. He asked for more information about the residential uses. He asked for clarification about the walk-up units.

Mr. Wathen stated that 2-bedroom units will sell at over \$2,000/month. He explained that the residential in the center includes flats above retail uses that are attached to a parking garage. He said the walk-up units are in the back and would be townhomes that will rent for even higher prices. Mr. Wathen explained that his company manages the site and the office buildings. Millhouse from Indianapolis will manage the residential uses because that is their focus.

Mr. Pannett asked about the pedestrian bridge and how light pollution will be addressed. Mr. Talentino said the Plan has a bridge across I-270 along the southern edge of the site that will not happen. Lighting will be regulated through lighting plans, and elements such as shields, etc. can be implemented to meet the requirements.

Mr. Pannett (seconded by Mr. Uttley) made a motion to approve a PUD Modification under the provisions of Hilliard Code Section 1117.08 for a mixed-use development including office, commercial, restaurant, hotel, and residential uses on 27.73 acres with the following two conditions:

- 1) That cross-access easements between the site and the adjacent property to the north are recorded, subject to the approval of the Law Director; and
- 2) That emergency vehicle access shall meet the requirements of Norwich Township Fire Department.

Status:	Approved with two conditions (7-0).
Mover:	Tom Pannett
Second:	Bill Uttley
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, Bill Uttley.

Mr. Lewie wanted clarification that a traffic study will be produced by the applicant; clarification was made that a traffic study has been reviewed by staff.

CASE 4: PZ-22-33 – AMAZON DATA CENTER – 4120 Scioto Darby Road

PARCEL NUMBERS: 050-003336, 050-002806, 050-003210, 050-0002427, 050-002299 & 050-002301

APPLICANT: Amazon Data Services, Inc., 410 Terry Avenue North, Seattle, WA 98108; c/o Isabella Culliton, Kimley-Horn, 7965 North High Street, Columbus, OH 43235.

REQUEST: Review & approval of a Level "B" Site Plan consisting of 7 data center buildings and additional security and utility buildings on 152.13 acres in accordance with Chapter 1131 of the Zoning Code.

[Ms. Thiel gave the staff report]

BACKGROUND:

The site consists of six parcels totaling 152.13 acres located north of Scioto Darby Creek Road and west of I-270. The site is bounded by the CSX railroad to the north and the Conrail railroad to the west. On October 27, 2014, the site was zoned to M-1, Restricted Industrial District (Ordinance 14-29). On November 12, 2020, data centers were added as a permitted use within the M-1 zoning district (Ordinance 20-36). On August 12, 2021, the Planning and Zoning Commission approved a similar plan for an Amazon data center site located between Cosgray and Leppert Roads. The applicant is requesting approval of a Level “B” Site Plan for the construction of a seven-building data center complex.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Chapter 1131.

STAFF RECOMMENDATION:

Staff finds that the proposed site plan generally conforms with the provisions of the Hilliard Zoning Code. Based on these findings, staff recommends approval of the proposed site plan with the following conditions:

- 1) That all necessary variances be obtained from the Board of Zoning Appeals;
- 2) That the 30-foot trail easement be indicated on plans to the satisfaction of staff;
- 3) That a tree survey and tree replacement plans be provided subject to staff approval.
- 4) That approval for access points along Scioto Darby Creek be obtained from the City of Columbus and evidence of such be provided to staff;
- 5) That required street trees be installed subject to the approval of the City Forester; and
- 6) That all parking spaces within the Storm Corridor Protection Zone be removed to the satisfaction of the City Engineer.

CONSIDERATIONS:

- The data center complex is zoned M-1, Restricted Industrial District and is a permitted use. It is immediately bounded to the west by the Conrail railroad, to the north by the CSX railroad, to the east by I-270 and to the south by Scioto Darby Creek Road. Properties beyond the Conrail railroad to the west are single-family residences in the Darby Glen Subdivision. Properties beyond the CSX railroad to the north are zoned as M-1 uses. Properties beyond I-270 to the east and Scioto Darby Creek Road to the south are located within the City of Columbus, including the Scioto Darby Creek Road right-of-way.
- The proposed site plan shows seven data center buildings oriented east-west, an AEP substation and transformer yard located in the southeast corner of the site. A security building is located to the immediate west of the AEP substation, and three smaller support buildings are located in the northwest corner of the site. Access to the data center will be a 30-foot-wide drive from Scioto Darby Creek Road, located approximately 750 feet west of the eastern property line. Access to the AEP substation will have a separate 20-foot-wide drive, to also be located from Scioto Darby Creek Road at approximately 350 feet west of the eastern property line. A fire access road will be located to the rear at the northern end of the site.
- The Thoroughfare Plan classifies Scioto Darby Creek Road as a Minor Arterial with a designated 100-foot right-of-way with two lanes and either a center left turn lane or separate left turn lanes at driveways and intersections. 20 feet of right-of-way will be dedicated consistent with the plan. A 20-foot sanitary easement is proposed outside the right-of-way west of the data center entrance and a 30-foot trail easement is also placed outside the sanitary easement. A small section of the trail easement is not clear on the plans and should be revised.
- Four of the data center buildings will be two stories tall with a height of approximately 63 feet. These buildings will be located in the northeast area of the site along I-270. The maximum building height for buildings located in M-1 Districts is 45 feet, and a variance will be necessary.

- A double row of fences will be located around the data center buildings and transformer yard with the outermost fence being a security fence and the innermost fence being a black vinyl-coated chain link fence. Both fences will be 8 feet tall to match fencing used for the Amazon site between Cosgray and Leppert Roads. Necessary variances will be requested for the fencing due to the unique nature of the use.
- Similar to the data center project on Cosgray Road, the size of the AEP substation will be approximately 700 x 600 feet with an additional transformer yard that includes gravel surface. The substation access drive will be paved from Scioto Darby Road to the substation.
- Seven extended wet detention basins are provided on the site, with six detention basins located along the 164-foot-wide Stream Corridor Protection Zone that runs east-west through the center of the site and the remaining basin located on the southeasternmost corner. A 75-foot-wide clearance has been given to the Stream Corridor Protection Zone (SCPZ) located between the southeastern detention basin and AEP substation. All final plans will be required to meet engineering requirements for stormwater management. All parking (32 spaces) located within the SCPZ must be removed to comply.
- 489 new parking spaces have been proposed for the site, with the majority of spaces located as single row parking alongside the data center buildings. A small parking lot with double row parking is provided outside the complex fencing adjacent to the security building. The proposed number of parking spaces surpasses the 10% maximum as outlined in City Code, and a variance will be required for additional spaces needed for this particular land use.
- Neither a tree survey nor tree preservation plan has been provided and is currently being completed. Submitted landscape plans assume the existing wooded area is 63.6 acres and estimates a tree replacement requirement of 954 tree caliper inches. Additional plantings may be provided pending the outcome of a tree waiver/reduction from the Board of Zoning Appeals.
- Proposed landscaping generally conforms to the other provisions of the Code, with the exception of utilizing existing vegetation in place of the 10-foot vehicular use area perimeter landscaping requirement for the eastern side of the site. Given the unique site conditions, variances will be sought and plans will be revised as part of the permit process to meet requirements. Because the right-of-way along Scioto Darby Road is outside the city's jurisdiction, placement of street trees will be coordinated with the City Forester.

[END OF REPORT | PZ-22-33]

Ms. Thiel noted for the Commission that a tree survey is being completed.

Mr. Gutknecht inquired about water usage for the facility. Mr. Talentino noted that he is not aware of any study.

Vice Chair Schneck asked about the trail easement; Ms. Thiel explained that staff wanted revised plans that clearly indicated the easement location.

Mr. Uttley inquired if the existing pond would go away. Ms. Thiel explained that most of the pond would be removed.

Mr. Gutknecht inquired as to why more parking is necessary. Ms. Thiel noted that due to the expanse of the site, parking is located proximate to each of the individual buildings.

Ms. Nixon noted that the address should be Scioto Darby Creek Road according to the internet. Ms. Thiel reviewed the individual building heights. Mr. Talentino further clarified that there is a two-story building under construction at Hayden Run Road. Ms. Thiel

Mr. Rausch explained that an existing City of Columbus line along the road is being petitioned for this use. He said that the basin to be filled in was a borrow pit and does not have a stormwater function.

Mr. Uttley voiced a concern that the use may be too intense for the site.

Derik Leary, applicant representative from Kimley Horn, noted that the applicant has completed wetland permits and the pond is not regulated.

Chris Lewie asked if Homeland Security is consulted with regard to site selection; Mr. Leary noted that there are many security elements that are implemented on the site plan but he could not speak specifically as to what conversations are had. Mr. Lewie asked if other locations had been considered.

Chairman Muether asked whether changing the density could be considered. Mr. Leary noted that the site plan utilizes what is needed given the zoning standards;

Mr. Uttley voiced concern about the rooftops of the buildings and the density. Mr. Leary noted that the mechanicals would be screened per Code.

Mr. Talentino explained that elevation of the site is much lower than I-270. He said the density is comparable to the other sites and includes a lot of additional space that more than meets setback requirements on the M-1 zoned property. He said the buildings are spread out more than the other sites because of the setbacks and SCPZ. He said the appearance will be a non-issue because of the elevation difference.

Mr. Pannett asked about the number of sites in Hilliard; Mr. Leary noted that there are multiple sites in New Albany and Dublin/Jerome Township.

Ms. Nixon inquired about parking; Mr. Leary explained that Amazon wants a minimum of 50 spaces at each of the data center buildings to accommodate contract employees but would like more. He said they are close to the minimum necessary for Amazon.

Chairman Muether asked if staff would have input as to the appearance of the rooftops. Mr. Talentino said there is limited opportunity to change the roof appearance during the permit process.

With no public input, Ms. Nixon, seconded by Mr. Gutknecht, made a motion to approve a Level “B” Site Plan consisting of 7 data center buildings and additional security and utility buildings on 152.13 acres in accordance with Chapter 1131 of the Zoning Code with seven conditions:

- 1) That all necessary variances be obtained from the Board of Zoning Appeals;
- 2) That the 30-foot trail easement be indicated on plans to the satisfaction of staff;
- 3) That a tree survey and tree replacement plans be provided subject to staff approval.
- 4) That approval for access points along Scioto Darby Creek be obtained from the City of Columbus and evidence of such be provided to staff;
- 5) That required street trees be installed subject to the approval of the City Forester;
- 6) That all parking spaces within the Storm Corridor Protection Zone (SCPZ) be removed to the satisfaction of the City Engineer; and
- 7) That construction within the SCPZ, including but not limited to culverts and utilities minimize impacts to the satisfaction of the City Engineer.

Status:	Approved with seven conditions (4-3).
Mover:	Tracey Nixon
Second:	Eric Gutknecht
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Tom Pannett.
Nays:	Chris Lewie, Tracey Nixon, Bill Uttley

CASE 5: PZ-22-36 – JC & COMPANY – 4010 Main Street

PARCEL NUMBERS: 050-000175

APPLICANT: Brian Long, JC & Company, 4010 Main Street, Hilliard, OH 43026; 4010 Main Street, LLC. 4010 Main Street, Hilliard, OH 43026

REQUEST: Approval of an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115.05 for exterior building colors.

[Mr. Combs gave the staff report]

BACKGROUND:

The site consists of 0.58-acre located on the southeast side of Main Street between Center Street and Franklin Street in Old Hilliard. The site is zoned OH-MD, Old Hilliard Mixed Use District, which allows for a wide range of residential and commercial uses. The former lumber yard building is currently home to a Certified Public Accountant and financial planning firm. As part of the Old Hilliard District, the applicant is requesting approval of exterior building colors.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1115.05 for exterior building colors.

STAFF RECOMMENDATION:

Staff finds that the proposal is generally consistent with the provisions of the Zoning Code and the overall intent of the Old Hilliard District. The Comprehensive Plan identifies the historic downtown of the community as a place to encourage activity and investment. The proposed color, while pushing the boundaries of the existing Code, will add greater visual interest and vibrancy to the district. The color choice can contribute toward efforts to establish Old Hilliard as a vibrant and active pedestrian environment, and greater flexibility in color choices may be considered as part of updates to the city's Comprehensive Plan and Zoning Code.

CONSIDERATIONS:

- Section 1115.05(a)(3) of the Code denotes that color should be neutral with natural tones that have low reflectivity. More intense colors that are bold, brash intense or bright are prohibited unless approved by the Commission. The proposed yellow is a higher chroma than most buildings in the District.
- The building was painted approximately 13 years ago with a cream color accented by slightly darker tan trim that matched the limestone watercourse at the base of the building. These previous colors were muted and blended with the surrounding area.
- The building has been painted yellow (Golden Plumaria #SW9019) with medium tan trim (Tea Chest #SW6103). Upon notification by Code Enforcement the applicant immediately submitted an application for review.

[END OF REPORT | PZ-22-36]

Kevin Hamilton, representing the applicant, explained that the original color was yellow but what was painted is brighter than expected. Vice Chair Schneck pointed out that the color is similar to the original color of the train station which is now in the historic park.

With no comment from the audience, Mr. Uttley (seconded by Chairman Muether) made a motion to approve an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115.05 for exterior building colors.

Status:	Approved as submitted (7-0).
Mover:	Bill Uttley
Seconders:	Chairman Jay Muether
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, Bill Uttley.

CASE 6: PZ-22-37 – OLD HILLIARD, LTD – 4055 Main Street

PARCEL NUMBERS: 050-000084, 050-000188

APPLICANT: Old Hilliard, LTD, PO Box 1471 Hilliard, OH 43026; c/o Andrew Warnock, 3523 Goldenrod Street, Hilliard, OH 43026

REQUEST: Approval of an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115.05 for exterior modifications that include metal awnings.

[Mr. Combs gave the staff report]

BACKGROUND:

The site is 0.294-acre located on the western corner of Main Street and Norwich Street in Old Hilliard. The site is zoned OH-MD, Old Hilliard Mixed Use District, which allows for a wide range of residential and commercial uses. The building is approximately 9,900 square feet in area and includes a mix of retail uses. The property includes a plaza space along Main Street and is the former location of the Lawn Equipment Repair Center and Old Hilliard Brewery. As part of the Old Hilliard District, the applicant is requesting approval of exterior awnings, lighting and colors.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1115.05 for exterior building modifications within the historic district.

STAFF RECOMMENDATION:

Staff finds that the proposal is generally consistent with the provisions of the Zoning Code and the overall intent of the Old Hilliard District. The Comprehensive Plan identifies the historic downtown of the community as a place to encourage activity and investment. Staff believes that the proposed awning upgrades and colors significantly improve the visual interest of the building and create more viable tenant spaces. The upgrades to the building will contribute toward efforts to establish Old Hilliard as a vibrant and active pedestrian environment. Staff recommends approval of the proposed exterior color changes and awnings with one condition:

- 1) That required building/electrical permits for lighting and awnings be obtained prior to installation.

CONSIDERATIONS:

- Section 1115.05(a)(3) of the Code denotes that color should be neutral with natural tones that have low reflectivity. More intense colors that are bold, brash intense or bright are prohibited unless approved by the Commission. The exterior of the building has been changed from a battleship gray to a much brighter cream or eggshell color that improves the streetscape appearance. Window and trim are now black as a contrasting color. Black gooseneck light fixtures have been added above tenant windows.
- Section 1115.05(a)(7) specifies that entrances should include an awning or architectural treatment that correspond to the shape of the windows or door openings. The proposed metal awnings over entrances will provide a very clean and upscale look to the building and coordinate with the trim colors. Permanent steel canopies are acceptable in the Code provided they are consistent with the overall theme of the building.

- The applicant has painted the building and trim, installed lighting and removed the blue awning. Upon notification by Planning an application was immediately submitted for review.

[END OF REPORT | PZ-22-37]

Mr. Lewie inquired about the owners; Mr. Combs noted the owner was Andy Warnock.

Cole Antle, representing Westwood Collective, provided a statement from Andy Warnock thanking city staff and apologized for the installation of the awnings prior to the Commission's review and would accept any decision from the Commission.

Mr. Lewie requested that the applicant adhere to the process and inquired whether the color is historically compatible.

Mr. Talentino explained that many of the paint manufacturers no longer have historic palettes. He noted that higher chroma colors were available historically but were only used by the wealthy due to cost. Mr. Lewie voiced concern about post-paint approvals.

With no comment from the audience, Chairman Muether (seconded by Mr. Uttley) made a motion to approve an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115.05 for exterior building colors with one condition:

- 1) That required building and electrical permits and inspections be obtained.

Status:	Approved with one condition (7-0).
Mover:	Chairman Jay Muether
Second:	Mr. Bill Uttley
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, Bill Uttley.

CASE 1: PZ-22-27 – Code Amendment

APPLICANT: City of Hilliard, c/o Michelle Crandall, City Manager, 3800 Municipal Way, Hilliard, OH 43026.

REQUEST: Review & approval of an amendment to Hilliard Code Sections 505.14 & 1121.07 to permit non-commercial raising of chickens and honeybees, Section 1121.08 to specify standards for the raising of chickens and Section 1121.09 to specify standards for the raising of honeybees.

[Mr. Combs gave the staff report]

UPDATE:

The Planning and Zoning Commission conducted an initial review of the ordinance at its meeting in June. The Commission requested further time to consider the legislation and requested that PUD-zoned residential properties be included. The Commission also provided direction to look at a reduction in the minimum parcel size from 1.0-acre to 0.5-acre. Changes from the June staff report are highlighted in orange.

BACKGROUND:

On October 27, 2014, Council adopted an ordinance (14-29) enacting a new Planning and Zoning Code and Zoning Map. City administration is requesting approval of a Zoning Code amendment concerning the backyard raising of chickens and bees for personal use. Since adopting the Code in 2014, the chicken rearing has become popular as outdoor family pets, as a personal source for meat and eggs and as children's projects for organizations such as 4-H. Backyard beekeeping has also become of much greater interest since the widespread

awareness of colony collapse disease. The proposed code changes provide a means by which to permit limited raising of chickens and bees on properties of an appropriate size throughout the city. On May 11, 2022, the Environmental Sustainability Commission reviewed the proposed ordinance and forwarded the proposed code sections on to the Planning and Zoning Commission for consideration.

COMMISSION ROLE:

The Commission is to review the proposed code amendment and provide recommended changes to the proposed ordinance. Upon its review, the Commission is to make a recommendation to City Council who will make a final determination on the proposed Code language.

STAFF RECOMMENDATION:

Staff finds that the proposal is consistent with the purpose of the Zoning Code to promote the public health, safety, morals, comfort, and general welfare of the City and its residents. Based on this finding, staff recommends that the Commission forward a positive recommendation to Council concerning the proposed Zoning Code amendments.

CONSIDERATIONS:

Section 505.14: Prohibition on the Keeping of Animals, Bees, Reptiles, Fowl or Livestock within the City Limits

- Section 505.14 within *Part Five – General Offenses Code* currently prohibits bees and fowl citywide. This section has been modified to reference its allowed use as defined in the proposed code language in Sections 1121.07 through 1121.09. This would eliminate a conflict with the Zoning Code.

Section 1121.07: Other Provisions

- This section has been modified to permit the non-commercial raising of chickens and bees as defined in Sections 1121.08 *Backyard Chickens* and 1121.09 *Rear Yard Beekeeping*

Section 1121.08: Backyard Chickens

- Keeping of backyard chickens would be permitted in the R-R, Rural Residential District; R-1, Low Density Residential District; and the R-2, Low/Medium Residential district for properties at least 1 acre in size with a specified maximum number of chickens based on acreage. Flock sizes greater in number would be regulated as an agricultural use. Review of ordinances in other municipalities reveal that there is no real established number of birds that are commonly accepted.
- The code denotes that homeowners are responsible for any deed restriction or HOA requirements not enforced by the City. The code also limits raising of chickens for personal use.
- Due to noise issues no roosters, ducks, geese, turkeys or other fowl are permitted; on-site slaughtering of animals is prohibited. Those raising chickens as a source of meat would be required to transport chickens to an approved facility.
- The code requires adequate shelter with at least 4 square feet per chicken and yard of at least 8 square feet per bird. Placement of any chickens are required to be within the rear yard at least 15 feet from property lines.
- A certificate of zoning compliance is required to ensure that the placement of any coop and yard meets all zoning requirements. All chicken runs would be required to meet the fence code and obtain a fence permit.

Section 1121.09: Rear Yard Beekeeping

- Keeping of honeybees would be permitted in the R-R, Rural Residential District; R-1, Low Density Residential District; and the R-2, Low/Medium Residential district for properties at least 1 acre in size.

- The number of permitted hives for personal use is limited based upon the size of the property and district in which it is located. Number of hives greater than that specified would be regulated as an agricultural use.
- Hives that are productive will naturally swarm, so the ordinance provides the ability to have a nucleus hive (starter hive) for the captured swarm as part of general management.
- Hives are for personal use with no on-site sales permitted. The property owner will be required to have a valid apiary license from the State of Ohio that will ensure the hives are inspected annually and maintained in accordance with regulatory standards.
- Hives are required to be located within the rear of the property no less than 20 feet from property lines. A minimum of 75 feet is also required to an adjacent residence/primary structure.
- A flyway barrier is required if hives are placed within 30 feet of a property line to ensure that bees fly up and over eyelevel on adjacent properties. Any use of fencing as a barrier requires a fence permit.
- General standards of practice are provided to provide a level of enforcement capability if hives are not being maintained properly; however, annual inspection from the Ohio Department of Agriculture should address practice issues with the beekeeper.
- The code also denotes that the beekeeper assumes all liability and their personal insurance policies should address their activity.
- A certificate of zoning compliance is required to ensure that the placement of hives and flyway barriers meet all zoning requirements.

Applicability of Proposed Code Amendment

- Existing code allows for chickens and bees as agricultural uses in a very limited manner and would be expanded to other properties with the code update as follows, **assuming a 1.0-acre minimum lot size within the R-R, R-1 and R-2 Districts:**

Chicken Rearing and Beekeeping as a Permitted Activity		
	# of parcels permitted / total # of parcels	
Zoning District:	Existing Code	1.0-acre Minimum
R-R, Rural Residential District	32 / 170*	56 / 170
R-1, Low Density Residential District	Not Permitted	36 / 136
R-2, Low/Medium Residential District	Not Permitted	36 / 2007
Total	32 / 170	118 / 2313

*Permitted only on properties of three acres or greater under agricultural definition.

- As requested by the Commission, staff has included an updated table that includes single-family residential properties that are zoned PUD, Planned Unit Development, District and has analyzed properties based on a 0.5-acre minimum in addition to the 1.0-acre minimum that was initially proposed.

Chicken Rearing and Beekeeping as a Permitted Activity (UPDATED 7-14-22)			
	# of parcels allowed / total parcels		
Zoning District	Existing Code	1.0-acre Minimum	0.5-acre Minimum
R-R	32/170	56/170	123/170
R-1	Not Permitted	36/136	78/136
R-2	Not Permitted	36/2007	47/2007
PUD	Not Permitted	7/5072	152/5072
Total	32/170	135/7385	400/7385

*Permitted only on properties of three acres or greater under agricultural definition.

- Consideration of parcels that are between 0.5-acre and 1.0-acre include properties located primarily within the following subdivisions:

Britton Farms	Heritage Preserve
Carrington Place	Hoffman Farms
Estates at Hoffman Farms	Lakewood
Heritage Lakes	Tarlton West

[END OF REPORT | PZ-22-27]

Mr. Combs noted the changes to include PUD-zoned properties and reduced lot size to 0.5-acre and provided an overview of the number of parcels. He noted a meeting earlier in the day with a representative from the Central Ohio Beekeepers Association (Med Lutmerding, Vice President). He summarized the meeting as follows:

Major Requests:

- Reducing minimum acreage further to 0.25-acre to match Franklin County
- Modifying restrictions to allow COBA members to manage hives – not just the property owner
- Requiring registration through the hive owner – not the property owner

Minor Requests:

- Clarifying language on swarms/splits during foraging season and permitting COBA members to sell those hives
- Encouraging natural barriers for flyways to provide additional vegetation for foraging and pollination
- Reference and encourage the Ohio Department of Agriculture's Apiary Best Practices
- Adjusting language regarding water provision

Mr. Uttley noted that reducing the minimum acreage further would cause concern.

Mr. Talentino confirmed that the intent of the ordinance with regard to registration is to encourage beekeeping by property owners as a hobby and to discourage commercial activity.

Mr. Pannett indicated he is opposed to all of the major requests.

Ms. Nixon voiced concern about smaller lot sizes and the required setbacks; Vice Chair Schneck also asked for clarification with regard to Franklin County.

Mr. Combs explained that Franklin County is referred to with regard to unincorporated areas. He noted that the lot size is being used as a test case and that the lower the acreage goes, the more parcels involved. He said the chance for conflict will go up and staff is looking for an ordinance that involves a low level of administration.

Chairman Muether asked for clarification as to the number of parcels involved. Mr. Combs noted that changing from 1-acre to 0.5-acre as a minimum lot size increased available parcels from 135 to 400.

Vice Chair Schneck asked about COBA involvement. Mr. Combs explained that the ordinance currently requires the property owner to be the beekeeper.

Mr. Lewie asked if homeowner associations can change their requirements to allow the keeping of chickens and bees. Mr. Lewie asked if the city could approved the use and then the homeowner association could then say "no."

Mr. Combs explained that allowing this in PUD zoned developments is different than the private deed restrictions. He verified that point and that the ordinance specifically points out that homeowners should follow private deed restrictions. Mr. Talentino explained that with deed restrictions it doesn't matter what the zoning allows. It is up to the association as to whether they enforce the private restrictions.

Chairman Muether asked for public testimony.

Michael Hatter, Past President of the Central Ohio Beekeepers Association (COBA), indicated that there are several members in Hilliard that have bees. He voiced concerns about the minimum acreage, noting that Franklin Park Conservatory and the Statehouse have hives in urban environments and are not a problem. Mr. Hatter noted that Franklin County allows everyone to have bees and the number of hives are based on acreage. He noted that New York City's legislation to permit beekeeping resulted in 100,000 registrations.

Barb Bloetscher, State Apiarist, said that beekeepers are entrepreneurs that will add to the local economy. She noted that the city has a farmers market that should include local bee products. Ms. Bloetscher pointed out that there are feral hives all over the state and beekeepers are necessary to capture swarms and maintain docile queens. She also noted that the State of Ohio has registration to ensure that hives can be managed for diseases.

Winneford Williams, former Hilliard resident and Treasurer of COBA, noted that she moved out of Hilliard to be able to keep bees years ago because she was not grandfathered to do so. She emphasized that beekeepers are necessary in the community to catch swarms and that the bees, which will fly up to a 3-mile circumference from the hive are important for fruit and vegetable pollination.

Mr. Pannett asked if current beekeepers would be grandfathered as part of the ordinance. Mr. Combs explained that currently only rural-zoned properties can be the requirement to be legal. Mr. Talentino confirmed that you must first be legally established for the possibility of being grandfathered, which only applies now to the R-R District.

Mr. Hatter noted that Hilliard does not have the acreage for commercial beekeeping.

Mr. Lewie asked how many members of COBA are in Hilliard. [answer from the COBA members cannot be clearly understood on the record as either 8 or 80]

Mr. Pannett suggesting that we would be impacting people that are registered with the state; Ms. Clodfelder clarified that we do not clearly know that answer without knowing the size of the property and the zoning district. She also mentioned that the city only addresses issues on a complaint basis.

Vice Chair Schneck inquired further about "grandfathering" and inquired whether a variance could be requested. [it was noted that the Commission does not "grandfather" beekeepers, but that property owners could apply for a variance].

Chairman Muether said he was comfortable with the 0.5-acre limit and polled the Commission for input. Mr. Gutknecht agreed with the 0.25-acre. Mr. Uttley noted that the Commission is recommending to Council and the ordinance is a first step. Ms. Nixon voiced concerns about the impact of setbacks on the smaller lots and as a result, Mr. Lewie changed from supporting the 0.25-acre size to 0.5-acre. Vice Chair Schneck indicated either size would be okay, and Mr. Pannett deferred to the Chair.

Mr. Gutknecht inquired about review of the ordinance in a year. Ms. Clodfelder noted that Council added a review period for the Short-Term Residence ordinance that was just approved. It could be noted in the recommendation.

Ms. Bloetscher informed the Commission that Cuyahoga County just approved an ordinance that regulates hives at 1 per 2500 square feet of property.

Vice Chair Schneck cautioned that the Commission does not recommend too many ordinances that City Council must revisit.

With no additional discussion, Chairman Muether (seconded by Mr. Uttley) made a motion to approve an amendment to Hilliard Code Sections 505.14 & 1121.07 to permit non-commercial raising of chickens and honeybees, Section 1121.08 to specify standards for the raising of chickens and Section 1121.09 to specify standards for the raising of honeybees.

- 1) That the proposed ordinance incorporate a minimum proposed lot size of 0.5-acre;
- 2) That the following four minor requests made by the Central Ohio Beekeepers Association be included;
 - ✓ Clarify language on swarms/splits during foraging seasons and permitting COBA members to sell swarm/split hives;
 - ✓ Encourage natural barriers for flyways as additional vegetation for foraging/ pollination;
 - ✓ Referencing and encouraging ODA's Apiary Best Practices; and
 - ✓ Adjusting language regarding water provision.
- 3) That language be added to include a review of the ordinance by City Council within one year of passage; and
- 4) That PUD-zoned residential properties be included as part of the ordinance.

Status:	Approved with four conditions (7-0).
Mover:	Chairman Jay Muether
Second:	Mr. Bill Uttley
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, Bill Uttley.

DISCUSSION ITEMS

Ms. Nixon inquired about the City Forester position. Ms. Clodfelder noted that the City Arborist was a contracted position. Within the last year the City has hired a full-time City Forester.

COMMITTEE COMMUNICATIONS

There were no committee reports due to vacations.

ADJOURNMENT

Chairman Muether, seconded by Mr. Lewie, motioned to adjourn at 9:31 p.m.

CERTIFICATION:

Carson Combs, Planning Manager/Acting Clerk
August 11, 2022

[END OF MINUTES | July 14, 2022]

STAFF REPORT

Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube



Thursday, August 11, 2022 | 7:00 pm

CASE 1: PZ-22-38 – OFF CENTER PATIO & PUB – 5286 Center Street

PARCEL NUMBER: 050-000361

APPLICANT: Joel Cosmo, Off Center Patio & Pub, 5286 Center Street, Hilliard, OH 43026.

REQUEST: Review and approval of sign variances under the provisions of Hilliard Code Section 1129.08 for an 15-foot tall, 22.75-square-foot single-pole ground sign.

BACKGROUND:

The site is approximately 0.26-acre located approximately 185 feet south of the intersection Columbia Street and Center Street. The site is zoned OH-RD, Old Hilliard Residential District and consists of two parcels, 050-000361 and 050-002342. On September 1, 1982, the Old Hilliard Commission approved a twelve-foot by thirty-foot building addition. The Old Hilliard Commission also approved inside dining and customer parking in June of 1992, and the Graphics Commission approved an A-Frame sign (October 5, 1992). On November 4, 1992, the Old Hilliard Commission also approved a temporary A-Frame sign at the corner of Norwich and Grove St. for a total of three months. On May 3, 2001, the Old Hilliard Commission approved a sandwich board sign and denied an off-premise sign that was proposed to be located at the corner of Main and Center Streets. The Old Hilliard Commission further approved a conditional use for a mixed occupancy for a restaurant and residential use for the site on August 2, 2001. Although there is no record of a permit for the existing ground sign, photographic evidence shows it on the site as far back as 1992. The applicant is requesting a variance to permit a face change to the existing fifteen foot tall, 22.75-square-foot sign located within the public right-of-way.

COMMISSION ROLE:

The Commission is to review the proposed signage for conformance to the provisions of Hilliard Code Section 1129.08.

STAFF RECOMMENDATION:

Staff finds that there can be beneficial use of the property without the variance and that the requested variance is substantial. Staff finds that the essential character of the neighborhood would be substantially altered, and that adjoining property owners would suffer substantial detriment as a result of granting the variance because the proposal is not consistent with the spirit and intent of the sign code and is technically off-site on city right-of-way. Based on these findings, consistent with Hilliard Code Sections 1129.02, 1129.04, and 1129.05, staff respectfully recommends that the proposed variance request be denied because the sign must be removed from the right-of-way.

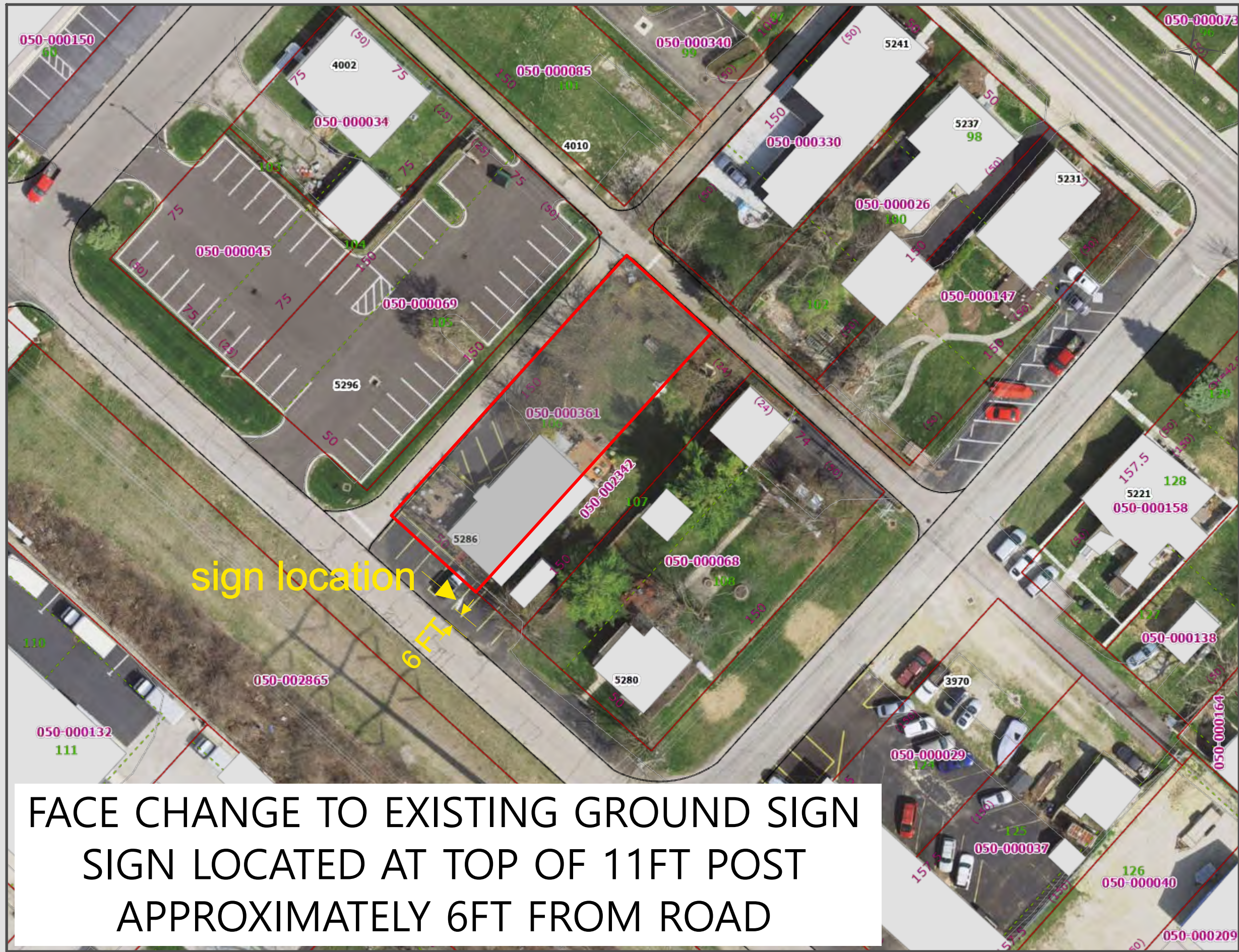
CONSIDERATIONS:

- The site is zoned OH-RD, Old Hilliard Residential District. The site abuts other OH-RD properties on all sides. The business was granted a zoning certificate for a change of use on January 11, 2022, after the business began operation and it was brought to the attention of Code Enforcement. The approved

zoning certificate specifically notes as a condition of approval that a sign permit is required for any changes.

- According to Section 1129.04(b)(7) of the zoning code, pole signs are prohibited within Old Hilliard. Section 1129.05 also limits the size of ground signs within Old Hilliard to a maximum of seven feet. The existing pole sign has a height of 15 feet. The sign face as noted in the application was installed without a permit and a notice of violation was issued.
- Section 1129.05 of the Code prohibits business identification signs within the right-of-way and requires a minimum setback of five feet from the right-of-way for signs within Old Hilliard.
- The edge of right-of-way for Center Street is located approximately 20 feet from the edge of pavement and includes most of the perpendicular parking along the street. The leading edge of the sign is located approximately 9 ½ feet from the edge of pavement and the pole is located a distance of twelve feet from the edge of pavement (completely within the right-of-way). A variance to approve the sign in its currently location cannot be granted by the Commission without authorization of the City Manager. The Commission only has the review power, should it choose, to approve relocating the existing pole sign to a location within the property.

[END OF REPORT | PZ-22-38]



FACE CHANGE TO EXISTING GROUND SIGN
SIGN LOCATED AT TOP OF 11FT POST
APPROXIMATELY 6FT FROM ROAD

Planimetric Legend

Source: 2021 Aerial Photography

- Edge of Pavement
- Roadway Centerlines
- Railroad Centerlines
- Building Footprints
- Building Under Construction
- Creeks, Streams, Ditches
- Rivers & Ponds

Topographic Legend

Source: OSIP - 2019 LiDAR Collection

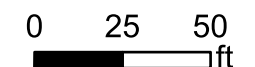
- Spot Elevation
- Index Contour
- Intermediate Contour

Appraisal Legend

Source: Franklin County Auditor & Engineer

- Parcel IDs
- Parcel Dimensions
- Lot Numbers
- Site Address
- Parcel Boundary
- Subdivision Boundary
- Condominium Boundary
- County Boundary
- City or Village Boundary
- Tax District Boundary
- School District Boundary
- Zip Code Boundary

This map is prepared for the real property inventory within the county. It is compiled from record deeds, survey plats, and other public records and data. Users of this map are notified that the public primary information sources should be considered for verification of the information contained on this map. The county and the mapping companies assume no legal responsibility for the information contained on this map. Please notify the Franklin County Auditor's GIS Department of any discrepancies.



The data on this map was originally compiled at 1"=100' based on the Ohio State Plane South Coordinate System, North American Datum 1983 with 2' contours based on the North American Vertical Datum 1988 (when displayed).



**Franklin County
Auditor's Office
Auditor**

Michael Stinziano
Map Produced July 16, 2022

(2) 45.5"x72" - 1/8" aluminum composite panel with digital vinyl print applied, custom shape, fastened to existing wood structure with wood screws

ATTACHMENT



Customer:	Emily Grimm
Company:	Off Center Pub
Address:	5286 Center St
City:	Hilliard
State/ZIP:	OH 43026
Phone:	614-216-5778
Email:	admin@mycommunitygrounds.com



NextDaySignsCols.com

P: 614.764.7446 F: 614.798.0003
6403 Nicholas Dr., Columbus, OH 43235

Salesperson:	aaron	Date:	7/16/2022	Estimate:	
Customer Signature:			Date:		
Comments:					





CASE 2: PZ-22-39 – FIRST INDUSTRIAL PROPERTY LP PUD – 3911-3959 Britton Parkway

PARCEL NUMBER: 050-011171

APPLICANT: Echo Hilliard II LLC, 560 Epsilon Drive, Pittsburgh, PA 15238; c/o Kylie Cochran, Signcom, Inc., 527 Rich Street, Columbus, OH 43215.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 and the First Industrial Property PUD to permit a 6-foot tall, 32-square-foot ground sign with multiple tenant panels located less than 15 feet from the right-of-way line.

BACKGROUND:

The site is 11.03± acres located approximately 600 feet north of the intersection of Britton Parkway and Cemetery Road. This parcel is zoned PUD, Planned Unit Development, and falls under the development regulations of the First Industrial LP PUD (Ord. 12-45) which was originally approved by City Council on August 9, 2012. The adjacent properties to the north, west, and south are also zoned PUD within the First Industrial LP PUD and include a mix of other retail, restaurant and service uses. Properties directly across Britton Parkway are zoned B-4, I-270 District. On February 14, 2013, the Commission approved a comprehensive signage plan for the overall development (formerly addressed as 4300 Cemetery Road) with the following conditions: (1) That all ground signs are limited to not more than 7 feet in height and located not less than 15 feet from any public right-of-way line; (2) That all signage is externally illuminated unless otherwise specifically approved by the Planning and Zoning Commission; and (3) That the proposed signage plan is revised consistent with the 12 recommendations listed in the staff report, as discussed at that meeting (reflected in the minutes), and subject to staff approval. The applicant is requesting approval of a variance to reduce the minimum setback from the Britton Parkway right-of-way line from 15 feet to 9 feet.

COMMISSION ROLE:

The Commission is to review the proposed sign variance for conformance to the provisions of City Code Section 1129.08 and the comprehensive signage plan for the First Industrial Property PUD.

STAFF RECOMMENDATION:

Staff finds that the proposal is generally consistent with the spirit and intent of City Code Section 1129 and the First Industrial LP Property PUD comprehensive signage plan. Based on this finding, staff recommends approval of the proposed signage with the following conditions:

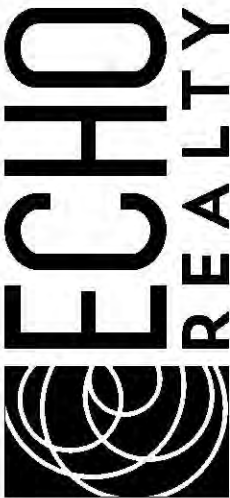
- 1) That the sign location be modified to comply with the 15-foot setback required by City Code Section 1129 and the approved First Industrial LP Property PUD comprehensive signage plan;
- 2) That the applicant obtain an approved sign permit prior to installation;
- 3) That all future tenants obtain a sign permit for their individual tenant panel on the proposed sign; and
- 4) That the sign be landscaped in compliance with City Code Section 1129.

CONSIDERATIONS:

- The First Industrial LP Property PUD comprehensive signage plan approved by the Planning and Zoning Commission required that all ground signs in the development are setback a minimum of 15 feet from the right-of-way consistent with City Code Section 1129.
- The applicant is requesting a variance to reduce the required setback of a ground sign from the Britton Parkway right-of-way from 15 feet to 9 feet.
- The proposed 6.1-foot-tall, 31.75-square-foot non-illuminated ground sign will be located 20 feet south of the southern entrance for the shopping center.

[END OF REPORT | PZ-22-39]

560 EPSILON DRIVE
PITTSBURGH, PENNSYLVANIA 15238
(412) 968-1660
WWW.ECHOREALTY.COM

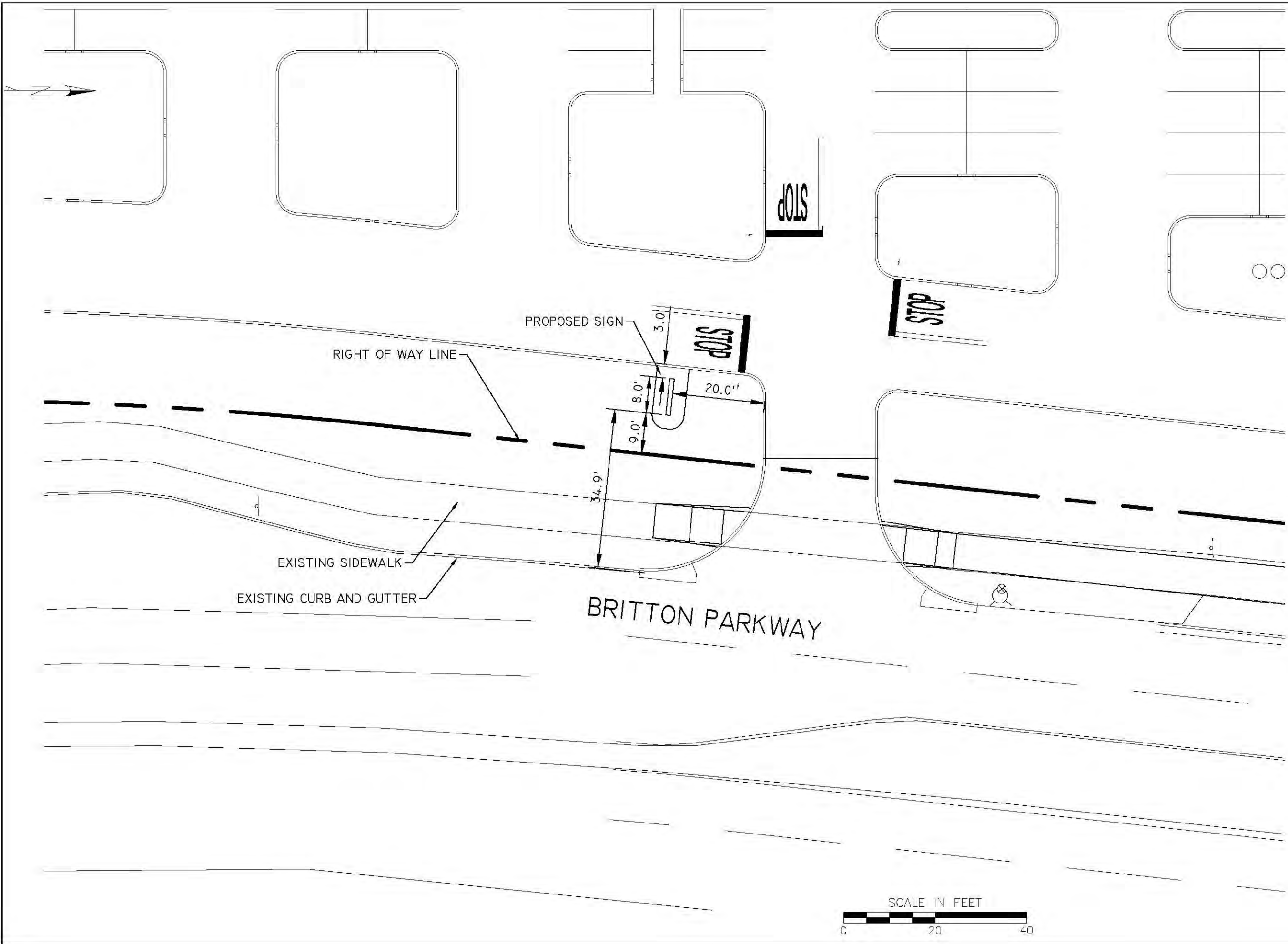


SIGN LOCATION PLAN
GATEWAY AT HILLIARD
CITY OF HILLIARD
FRANKLIN COUNTY, OHIO

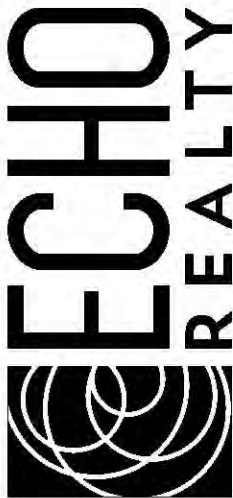
DRAWN BY JCT
CHECKED BY

C201

7/5/22



560 EPSILON DRIVE
PITTSBURGH, PENNSYLVANIA 15238
(412) 968-1660
WWW.ECHOREALTY.COM

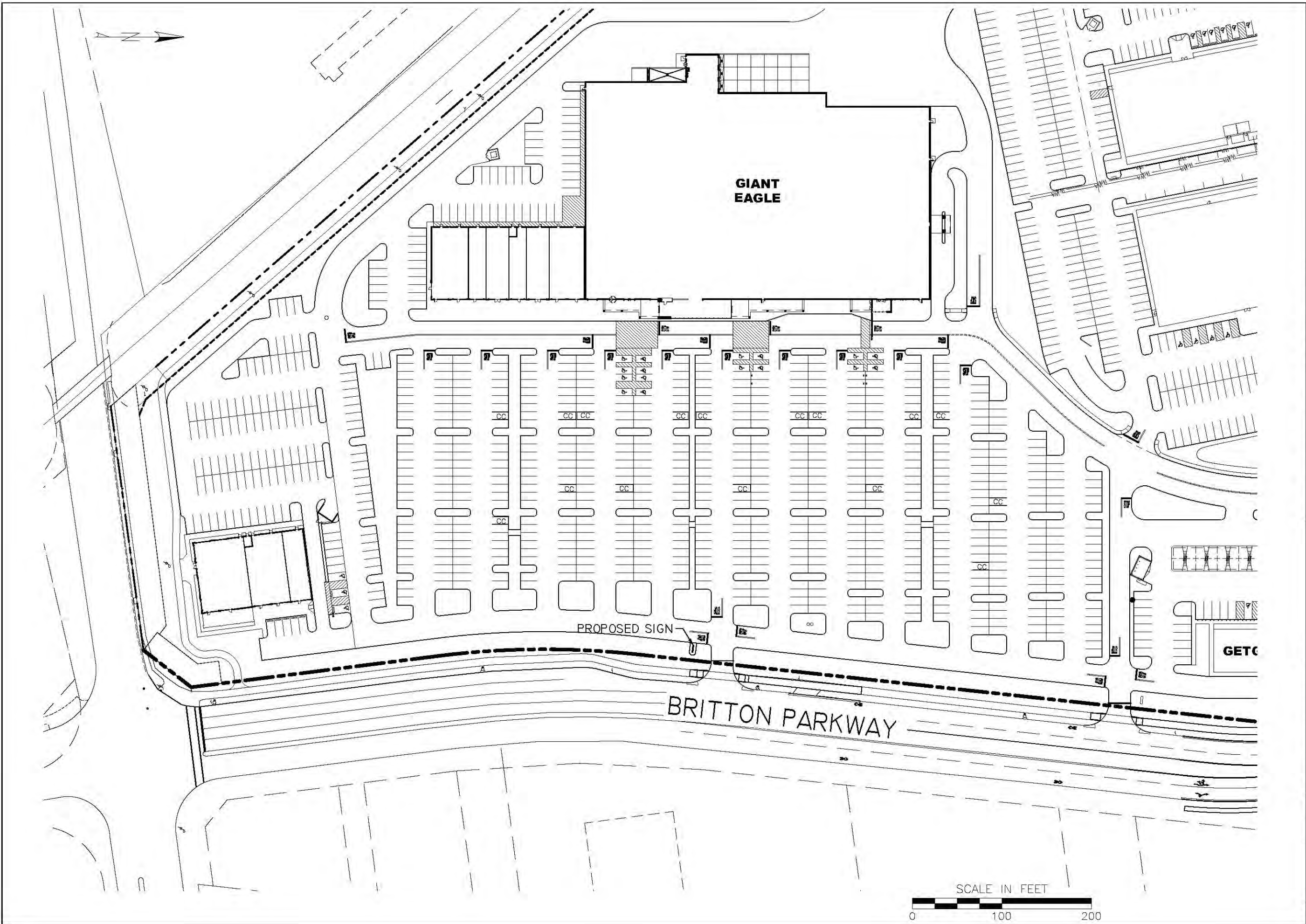


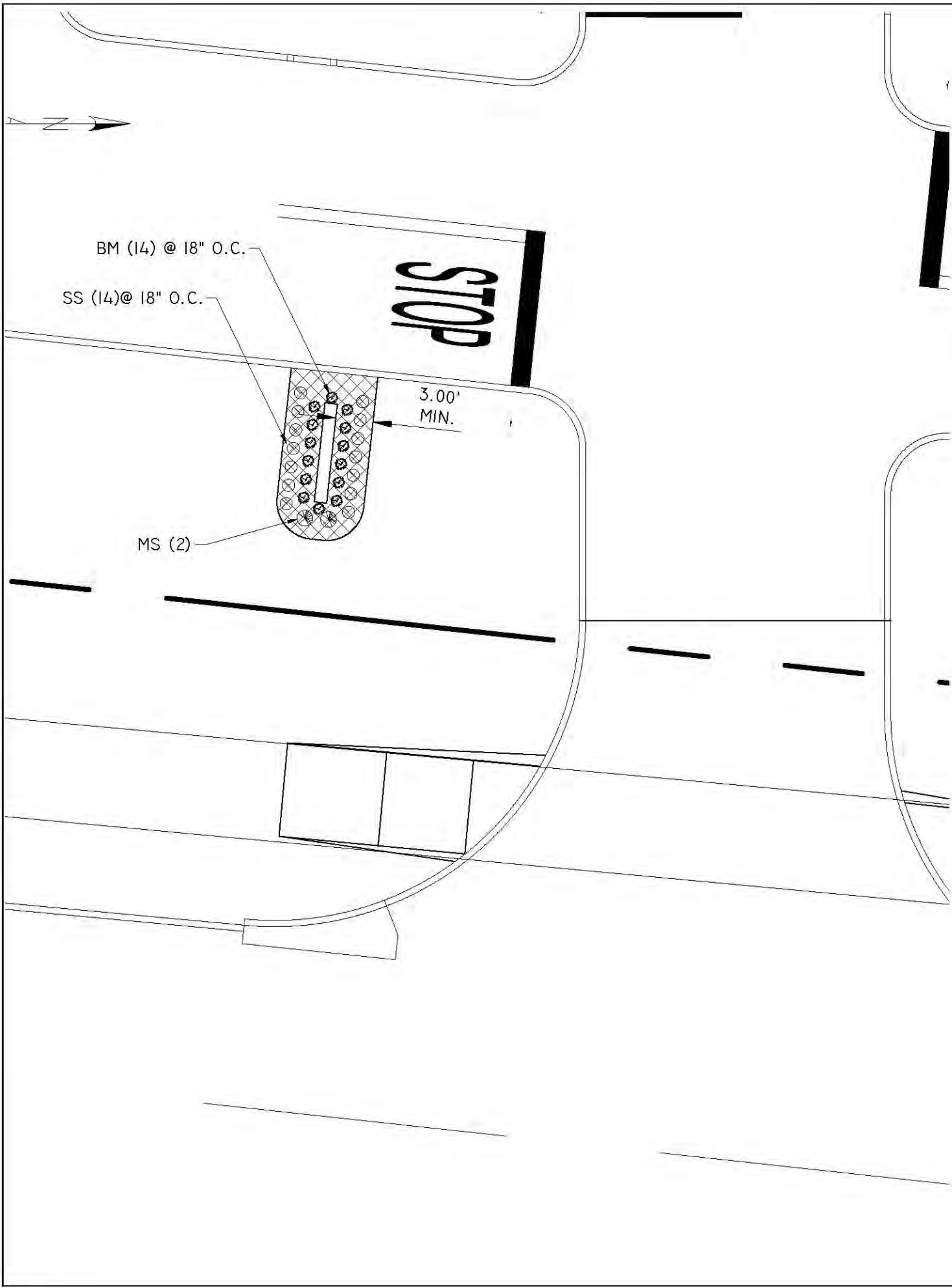
DEVELOPMENT SITE PLAN
GATEWAY AT HILLIARD
CITY OF HILLIARD
FRANKLIN COUNTY, OHIO

DRAWN BY JCT
CHECKED BY

C202

7/5/22



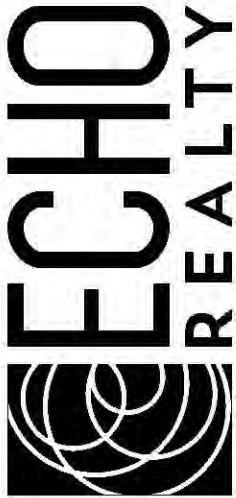


LANDSCAPE AREA LEGEND

SPECIES	MIN. SIZE	SYMBOL	NUMBER
Buxus microphylla, LITTLE LEAF BOXWOOD	3 GALLON	BM	14
Schizachyrium scoparium, LITTLE BLUESTEM PRAIRIE GRASS	1 GALLON	SS	14
Miscanthus sinensis"zebrinus", ZEBRA GRASS	1 GALLON	MS	2
3" DOUBLE SHREDDED HARDWOOD BARK MULCH WITH POLYPROPYLENE WEED BARRIER. MATCH COLOR OF EXISTING SHOPPING CENTER MULCH.			



560 EPSILON DRIVE
PITTSBURGH, PENNSYLVANIA 15238
(412) 968-1660
WWW.ECHOREALTY.COM



LANDSCAPING PLAN

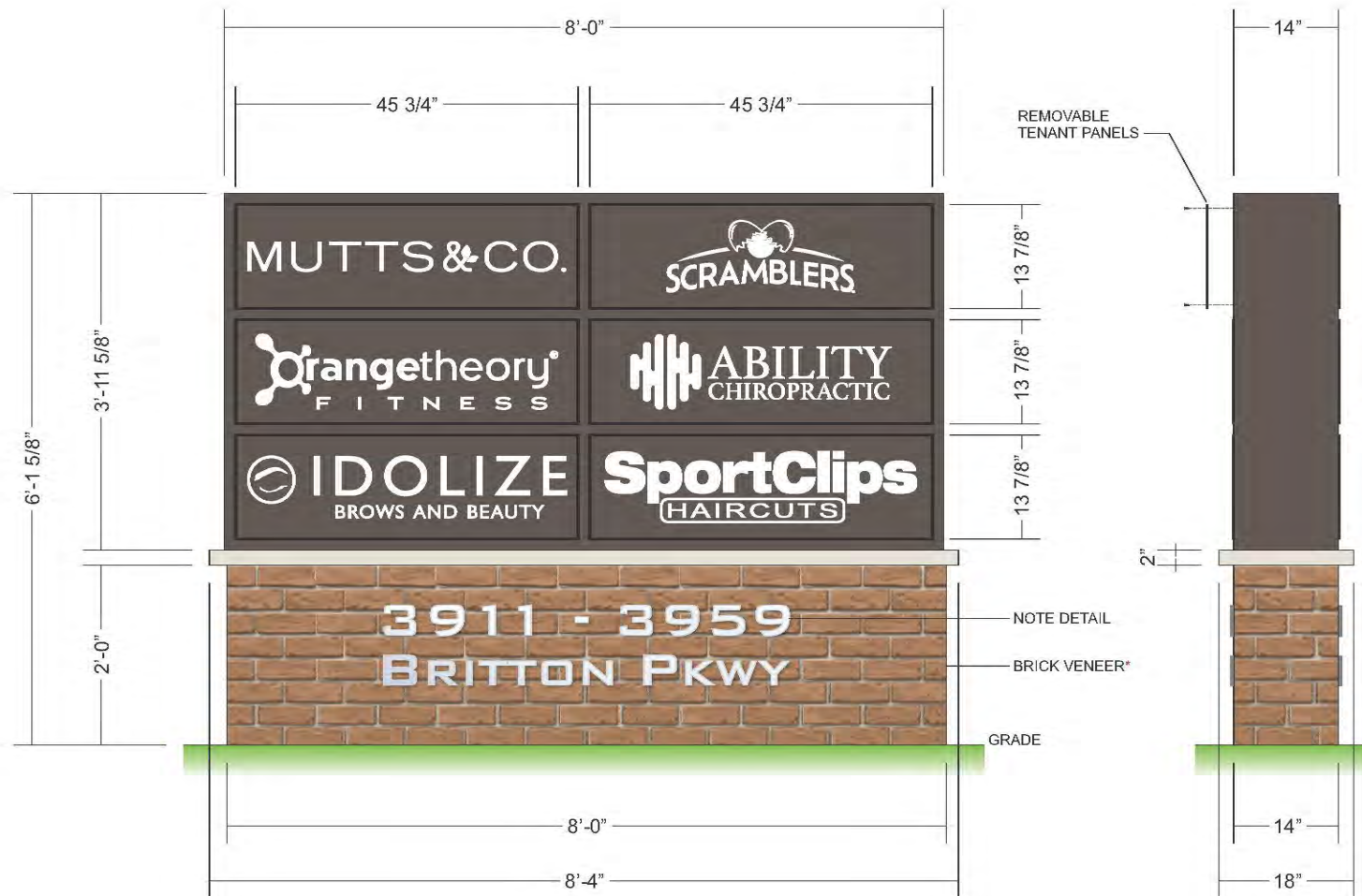
GATEWAY AT HILLIARD
CITY OF HILLIARD
FRANKLIN COUNTY, OHIO

DRAWN BY JCT

CHECKED BY

C501

7/5/22



SCALE: 1/2"=1' 31.75 SQ. FT.

***NOTE: FIELD VERIFY BRICK ON BUILDING PRIOR TO FABRICATION TO MATCH**

END VIEW

D.F. Non-Illuminated Monument Sign

SIGN CABINET - .090 ALUMINUM SKIN OVER WELDED ALUMINUM ANGLE FRAMEWORK

(6) PER SIDE FLAT .090 ALUMINUM TENANT PANELS WITH APPLIED WHITE VINYL COPY/LOGOS ARE SECURED TO CABINET FACE USING COUNTER-SUNK SCREWS

SKIRT IS FABRICATED FROM ALUMINUM ANGLE FRAMEWORK FACED WITH 1/2" CEMENT BOARD BASE AND BRICK VENEER MATCHING COLOR OF MATERIAL ON SITE **(FIELD VERIFY)** - BASE CAP IS FABRICATED FROM ALUMINUM

ADDRESS ARE INDIVIDUAL UNITS OF CUT OUT 1/4" PAINTED ACRYLIC CONCEALED PIN MOUNTED TO FAUX BRICK FACE
SINGLE POLE SUPPORT - 4" O.D. X .216" WALL X 120" +/- STEEL PIPE SET IN 24" DIAMETER X 48" DEEP CONCRETE FOUNDATION
EXTERNAL ILLUMINATION OF SIGN BY OTHERS - CONCEALED BY LANDSCAPING

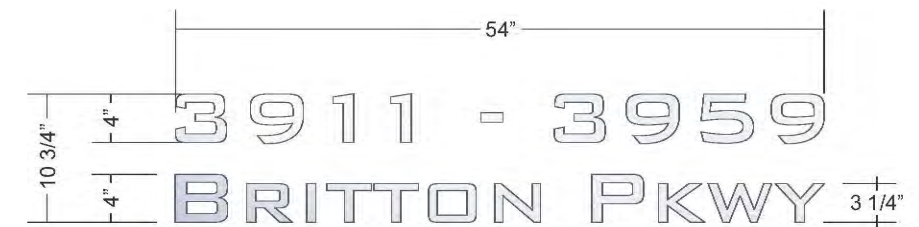
COLORS

CABINET, TENANT PANELS, AND HARDWARE - MAP #41313SP DARK BRONZE

TENANT COPY/LOGOS - 3M #7725-10 WHITE

BASE CAP - PMS WARM GRAY 1

BRICK VENEER - MATCH MATERIAL ON SITE **(FIELD VERIFY)**



SCALE: 3/4"=1' DETAIL - ADDRESS

NOTE ADDITIONAL DRAWING FOR PIPE/FOUNDATION DETAILS

CONSTRUCTION AND INSTALLATION OF SIGN ELEMENTS TO COMPLY WITH NEC ARTICLE 600 - VERIFY ALL MEASUREMENTS PRIOR TO PRODUCTION

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CLIENT APPROVAL _____ DATE _____

☐ PRODUCTION ART REQUIRED
Colors on Printed Documents May Vary

PROJECT NAME 3911-3959 BRITTON PKWY
LOCATION _____
CITY HILLIARD STATE OHIO

REVISION _____

SALES BMS
DESIGN DAW
SIZE 14

DATE 6-9-22
SCALE Noted
PROJECT# 22307

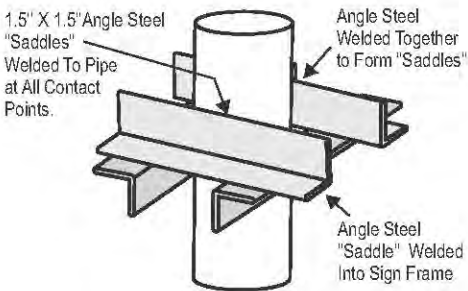
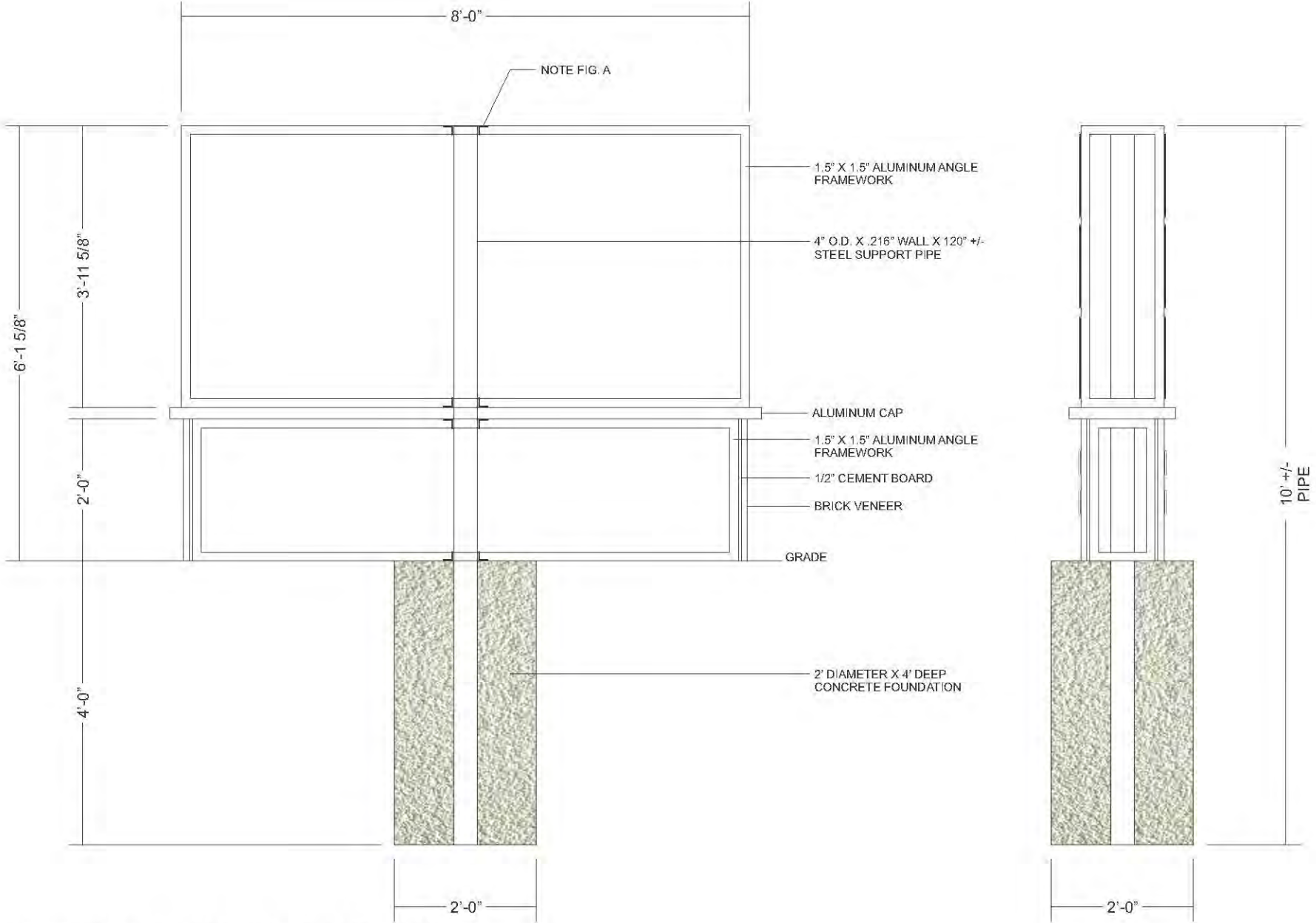


FIG. A - PIPE SADDLE

NOTE ADDITIONAL DRAWING FOR SIGN DETAILS

CONSTRUCTION AND INSTALLATION OF SIGN ELEMENTS TO COMPLY WITH NEC ARTICLE 600 - VERIFY ALL MEASUREMENTS PRIOR TO PRODUCTION

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CLIENT APPROVAL _____ DATE _____

☐ PRODUCTION ART REQUIRED
Colors on Printed Documents May Vary

PROJECT NAME 3911-3959 BRITTON PKWY
LOCATION
CITY HILLIARD STATE OHIO

REVISION _____

SALES BMS
DESIGN DAW
SIZE 14

DATE 6-9-22
SCALE Noted
PROJECT# 22307

CASE 3: PZ-22-40 – BLANK DENTAL GROUP – 5330 Cemetery Road

PARCEL NUMBER: 050-000100

APPLICANT: Blank Spaces LLC, 5330 Cemetery Road, Hilliard, OH 43026; c/o Chris Huber, Advanced Civil Design, 781 Science Boulevard, Gahanna, OH 43230.

REQUEST: Review and approval of a Level “B” Site Plan under the provisions of Hilliard Code Chapter 1131 for a parking lot expansion and replacement monument sign.

BACKGROUND:

The site consists of 0.55 acre located on the north side of Cemetery Road between Lattimer Street and Franklin Street. The property is zoned B-1, Neighborhood Business District, which allows for a range of low intensity commercial uses. The property is also located in the Pedestrian Oriented Sub District, which sets additional development standards to ensure high visual quality and pedestrian focused mobility. The property is the former location of the Leaping Learners Childcare Center and includes a 3,780-square-foot office building and a front parking lot with two curb cut access drives from Cemetery Road. On November 20, 2021, the Planning and Zoning Commission approved a sign variance that permits signage to be a minimum distance of 5 feet from the right-of-way line. The applicant is requesting approval of a Level “B” Site Plan for a parking lot expansion in the rear yard and a variance to approve a new monument sign.

COMMISSION ROLE:

The Commission is to review the proposed site plan for conformance to the provisions of Hilliard Code Chapter 1131. The Commission is also to review the proposed sign plans to determine signage modifications per Hilliard Code Section 1129.08.

STAFF RECOMMENDATION: MOTION 1 (LEVEL B SITE PLAN)

Staff finds that the proposed site plan is generally consistent with the spirit and intent of the Zoning Code. Staff believes that the proposed site plan would be a significant improvement to the existing conditions on the property. Based on this finding, staff recommends that the proposed Level “B” site plan be approved with the following five conditions:

- 1) That the submitted plans be reconciled to include the evergreen shrub additions that surround all sides of the proposed monument sign;
- 2) That the lighting plan be modified to limit illumination ten feet beyond the property line to no more than 1.2 footcandles;
- 3) That submitted plans be modified to include perimeter and interior landscaping along Cemetery Road, subject to staff approval;
- 4) That all necessary variances be obtained from the Board of Zoning Appeals; and
- 5) That a zoning certificate be obtained prior to occupancy for the change of use.

STAFF RECOMMENDATION: MOTION 2 (SIGN VARIANCE)

Staff finds that the increase in base height for the proposed monument sign is not consistent with the spirit and intent of the Sign Code. Staff finds that there can be beneficial use of the property without the variance and that the requested variance is substantial. Based on this finding, staff respectfully recommends that the proposed sign variance be denied.

CONSIDERATIONS:

- The existing site has a parking lot located in the front yard of the property. Section 1111.03 of the Zoning Code requires a 30-foot front yard parking setback for B-1 Districts, and Section 1111.04(g)(1)

of the Code prohibits locating parking, staking spaces, or drive aisles between the building and public right-of-way for B-1, Pedestrian Oriented Sub Districts. The site plan intends to preserve the existing front yard parking lot, and a variance will be required. The site plan will expand existing parking availability by adding a new parking lot in the rear yard of the property. The proposed rear yard parking lot encroaches on the 20-foot rear yard parking setback for B-1 Districts, and a variance will be required.

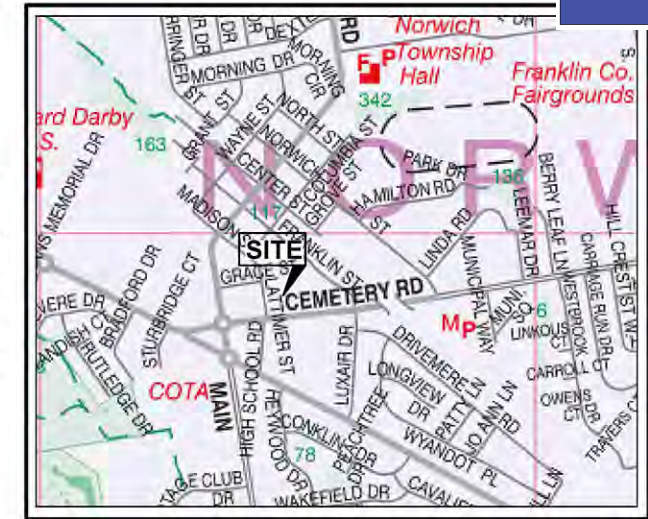
- The site plan intends to utilize the two existing curb cuts from Cemetery Road for property access. 13-foot-wide drive aisles will be added along the western and eastern sides of the property to connect the rear yard parking expansion with the existing front yard parking lot. Access into the rear yard parking lot will be via one-direction traffic, with traffic entering from the eastern drive and exiting out the western drive. The maneuvering lanes in both the front and rear yard parking lots are proposed to be approximately 20 feet wide, and a variance will be required to reduce this width from the 24-foot minimum, as required per Section 1127.04(b)(3) of the Zoning Code.
- The site plan intends to preserve the existing 5-foot-wide sidewalk along Cemetery Road. Section 1111.04(d)(2) of the Zoning Codes requires public sidewalks in the Pedestrian Oriented Sub District to be 6 feet wide. The site plan also proposes adding a 3- to 4-foot-wide pedestrian walkway that will extend from the public sidewalk along the eastern side of the property to connect with the office building. The walkway will be marked with crosshatching on the front yard parking lot and across the eastern drive. Code requires a width of five feet and variances will be needed.
- Per staff's recommendation, the site plan will remove the 5 parking spaces that currently encroach onto the Cemetery Road right-of-way and replace the area with a 7-foot-wide landscape buffer and 2 parallel parking spaces. A corner of existing pavement in the southwest corner of the property will also be removed and replaced with landscaping. Staff further recommends that site proposed site plans be modified so that the landscaping along Cemetery Road follows the planting requirements outlined in Section 1125.05 of the Zoning Code.
- Interior landscaping for vehicular use areas has not been provided on the site plan due to space constraints. Specifically, parking rows do not have landscape islands/peninsulas on the ends, and parking rows greater than 12 spaces or 100 feet in length are not broken up with interior landscaping. A variance will be required to waive the landscaping requirements. Staff recommends that the parking spaces closest to Cemetery Road conform to interior landscaping planting requirements per Section 1125.05 of the Zoning Code.
- A 10-foot-wide landscape buffer for vehicular use area is required around the northern, western, and eastern perimeter of the parking lot, and a 20-foot-wide landscape buffer is required along Cemetery Road. Landscaping has not been fully provided due to space constraints, and a variance will be required to reduce these buffer widths. Staff recommends that the 7-foot landscape buffer along Cemetery Road follows perimeter landscaping planting requirements per Section 1125.05 of the Zoning Code. Specifically, staff recommends adding a tree for the landscaped area located in the southwest corner of the property and adding shrubs in the buffer area.
- The site plan proposes 30 total parking spaces and surpasses the 10% maximum (14 spaces) for office uses as outlined in Section 1127 of the Zoning Code. The Commission may waive the required maximum number of spaces.
- The site plan intends to remove 67 tree caliper inches as part of site improvements. Only 12 replacement tree caliper inches have been provided in the landscape plan, and a variance will be required to reduce the tree placement requirements.
- The proposed monument sign will be located in the Cemetery Road landscape buffer, adjacent to the eastern access drive, and will be placed 5 feet from the Cemetery Road right-of-way line. In 2021, the Planning and Zoning Commission permitted signs on the property to be located from this distance. The

base will be 33 inches in height and will require a sign variance. External illumination will be used and will be appropriately screened to meet Code requirements.

- Lighting plans identify areas where illumination is greater than 1.2 footcandles 10 feet beyond the property line. These areas are located along the southern property border by the Cemetery Road landscape buffer. Staff requests that the plans be modified to prevent excess illumination from encroaching beyond the property line.

[END OF REPORT | PZ-22-40]

FINAL DEVELOPMENT PLAN

5330 CEMETERY ROAD
CITY OF HILLIARD, OHIO
2022LOCATION MAP
NO SCALE

INDEX OF SHEETS

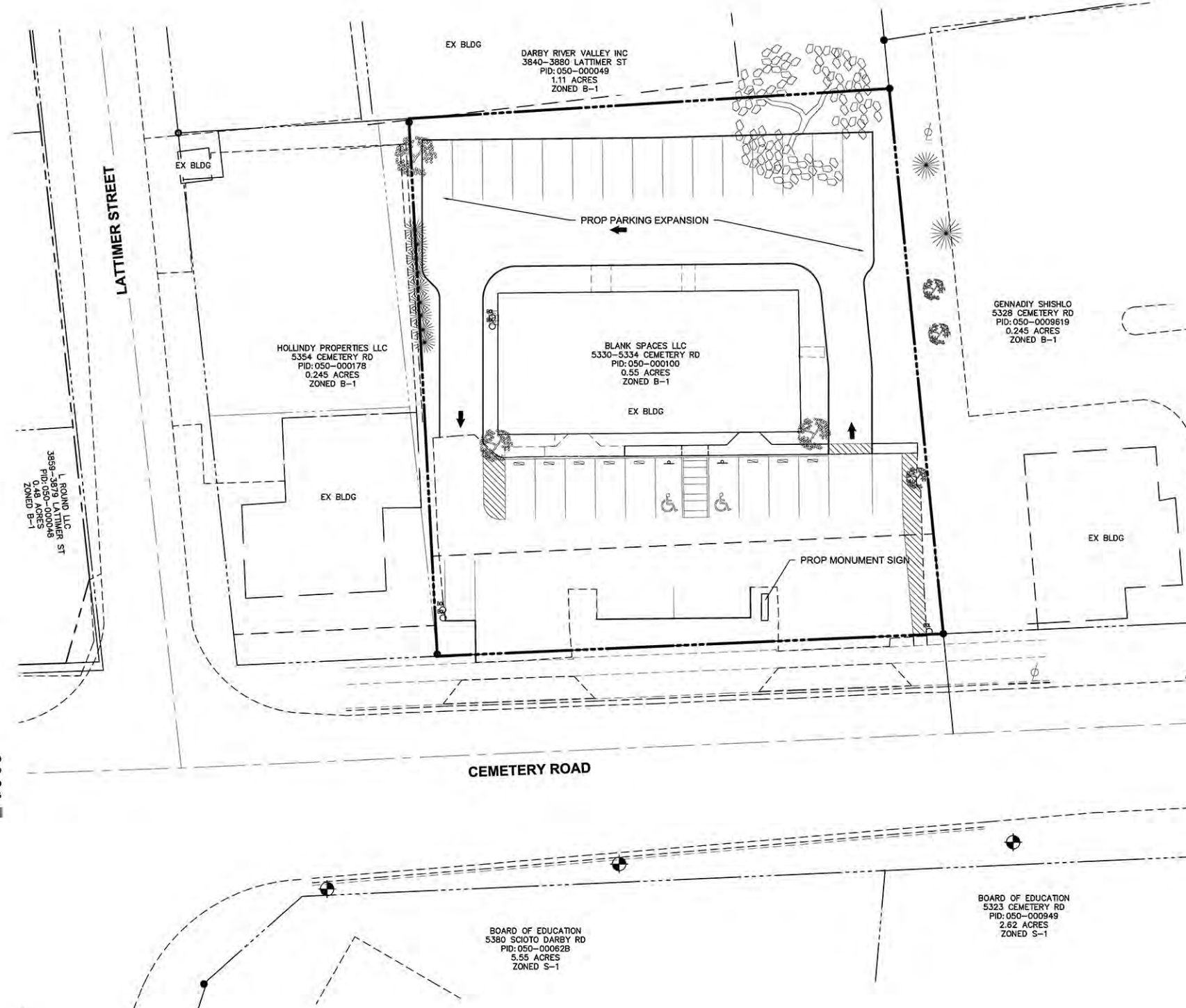
TITLE SHEET	1
GENERAL NOTES & DETAILS	2-4
EXISTING CONDITIONS PLAN	5
SITE PLAN	6
UTILITY PLAN	7
GRADING PLAN	8
EROSION CONTROL PLAN	9
EROSION CONTROL NOTES & DETAILS	10

SITE STATISTICS TABLE

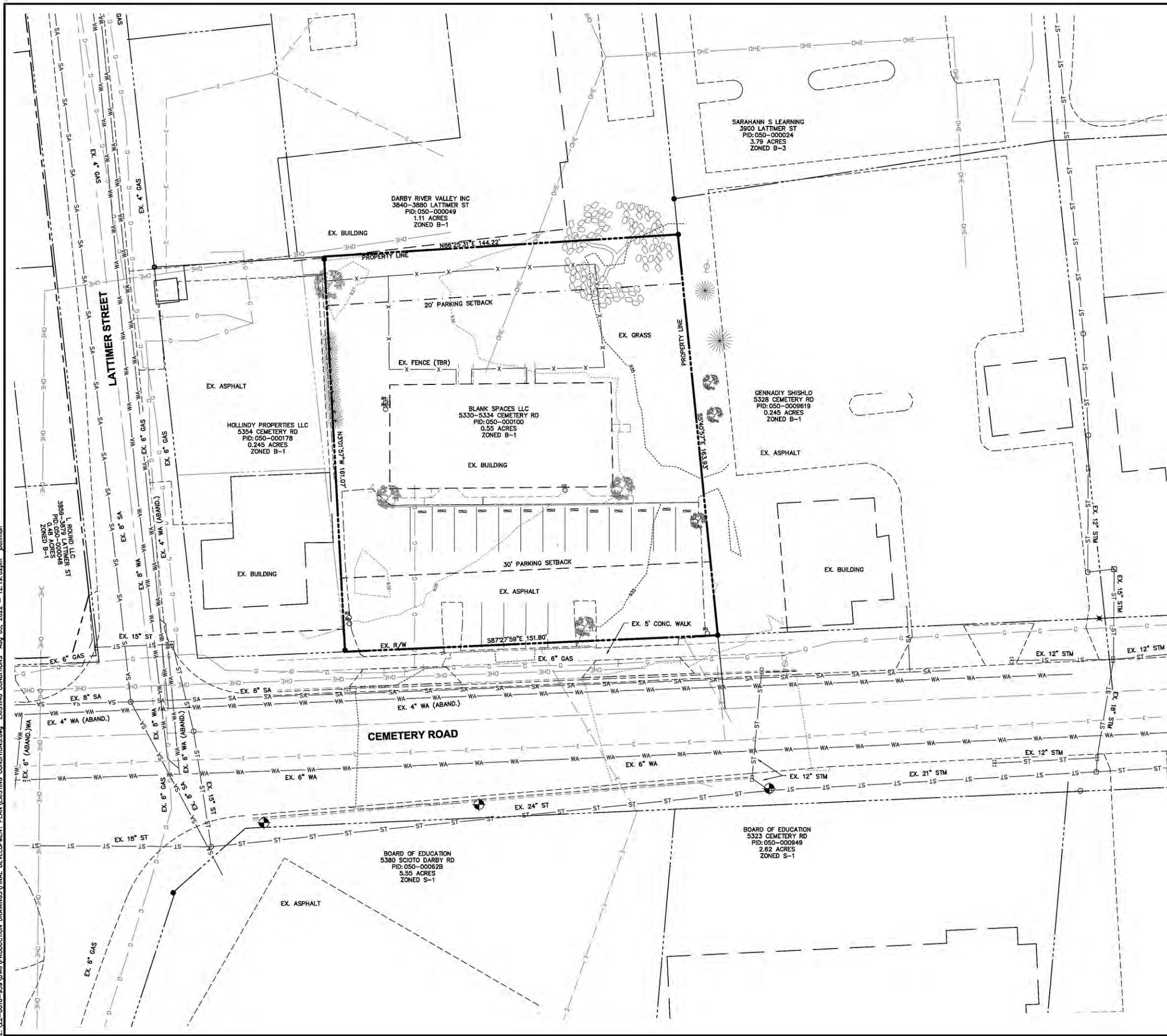
TOTAL SITE AREA:	0.55 AC
TOTAL BUILDING AREA:	3,830 S.F.
BUILDING USE AREAS:	
RETAIL SPACE =	3,830 S.F.
PARKING REQUIRED:	
DENTAL OFFICE (1 SPACE / 300 SF):	13 SPACES
PARKING PROVIDED:	29 SPACES (INCLUDES 2 ACCESSIBLE SPACES)
ZONING DISTRICT:	B-1
ZONING ADDRESS:	5330 CEMETERY ROAD

PAVEMENT AREAS & IMPERVIOUS AREA RATIO:

SITE AREA 0.55 AC. (24,038 SF)

EX. IMPERVIOUS AREAS
3830 SF EX BLDG. STRUCTURES
8793 SF EX PAVEMENT
12,623 SF TOTAL IMPERVIOUS
52.5% EX. IMPERVIOUS AREAPROP. IMPERVIOUS AREAS
3830 SF EX BLDG. STRUCTURES
14,960 SF PAVEMENT
18,790 SF TOTAL IMPERVIOUS
78.2% PR. IMPERVIOUS AREAFLOOD INSURANCE RATE MAP NUMBER: 39049C0143K
ZONE X
EFFECTIVE DATE: JUNE 17, 2008APPLICANT - DEVELOPER - CONSTRUCTION MANAGER
CONNECT CDC, LLC
PO BOX 360445
COLUMBUS, OH 43236
CONTACT: TROY REYNOLDS
EMAIL: TROY@CONNECTDESIGN.BUILDADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755ENGINEER
ADVANCED CIVIL DESIGN, INC.
781 SCIENCE BLVD SUITE 100
GAHANNA, OH 43230
PHONE (614) 428-7750
CONTACT: CHRIS HUBER P.E.
EMAIL: CHUBER@ADVANCEDCIVILDESIGN.COMLANDSCAPE ARCHITECT
G2 PLANNING AND DESIGN
720 EAST BROAD STREET, SUITE 200
COLUMBUS, OH 43215
CONTACT: PHIL MOOREHEAD
EMAIL: PMOOREHEAD@G2PLANNING.COM

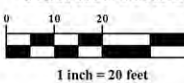
Z:\22-0016-959\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\EXISTING CONDITIONS.dwg Aug 05, 2022 - 12:15:02pm Bohman



LEGEND

- | | | | |
|-----------|-------------------------------|---|----------------------|
| ST — ST | EXISTING STORM SEWER | ○ | IRON PIN SET W / CAP |
| SA — SA | EXISTING SANITARY SEWER | ✕ | PK NAIL SET |
| WA — WA | EXISTING WATER MAIN | ▲ | RR SPIKE SET |
| G — G | EXISTING GAS MAIN | □ | MONUMENT |
| OHE — OHE | EXISTING OVER HEAD ELECTRIC | ⊙ | ELECTRIC MANHOLE |
| E — E | EXISTING UNDERGROUND ELECTRIC | ⊕ | ELECTRIC TRANSFORMER |
| ● | IRON PIN FOUND | ⊙ | COMM MANHOLE |
| ✕ | PK NAIL FOUND | ⊙ | TEL PEDESTAL |
| ▲ | RR SPIKE FOUND | ⊙ | POLE ELECTRIC |
| □ | MONUMENT BOX | ⊙ | POLE ELEC TEL |
| ⊙ | CONCRETE POST | ⊙ | POLE ELEC TEL LIGHT |
| ⊕ | TACKED HUB / TRAV PT | ⊙ | POLE TEL |
| ⊙ | POST SIGN / LAMP | ⊙ | POLE TEL LIGHT |
| + | SIGN | ⊙ | POLE LIGHT |
| ⊕ | BILLBOARD / OH SIGN | ⊙ | POLE SIGNAL |
| ○ | DECIDUOUS TREE | ⊙ | TRAFFIC BOX |
| ✱ | PINE TREE | ⊙ | GUY POLE |
| ✱ | SHRUB | ⊙ | GUY WIRE |
| ⊙ | SANITARY MANHOLE | ⊙ | FIRE HYDRANT |
| ⊙ | SANITARY CLEANOUT | ⊙ | WATER VALVE |
| ⊙ | STORM MANHOLE | ⊙ | MAILBOX |
| ⊙ | CATCH BASIN | ⊙ | MONITORING WELL |
| ⊙ | CURB INLET W / GRATE | | |
| ⊙ | GAS VALVE | | |
| ⊙ | GAS METER | | |
| ⊙ | UNDERGROUND LINE MARKER | | |
| ⊙ | SPRINKLER VALVE BOX | | |

GRAPHIC SCALE



PLAN PREPARED BY:



PLAN PREPARED FOR:

CONNECT CDC, LLC
PO BOX 360445
COLUMBUS, OH 43236
CONTACT: TROY REYNOLDS
EMAIL: TROY@CONNECTCDC.BUILD

CITY OF HILLIARD, FRANKLIN COUNTY, OHIO

5330 CEMETERY ROAD

FINAL DEVELOPMENT PLAN

FOR

5330 CEMETERY ROAD

EXISTING CONDITIONS

Issue Dates:

Date: 08/04/2022
Scale: 1" = 20'

Drawn By:

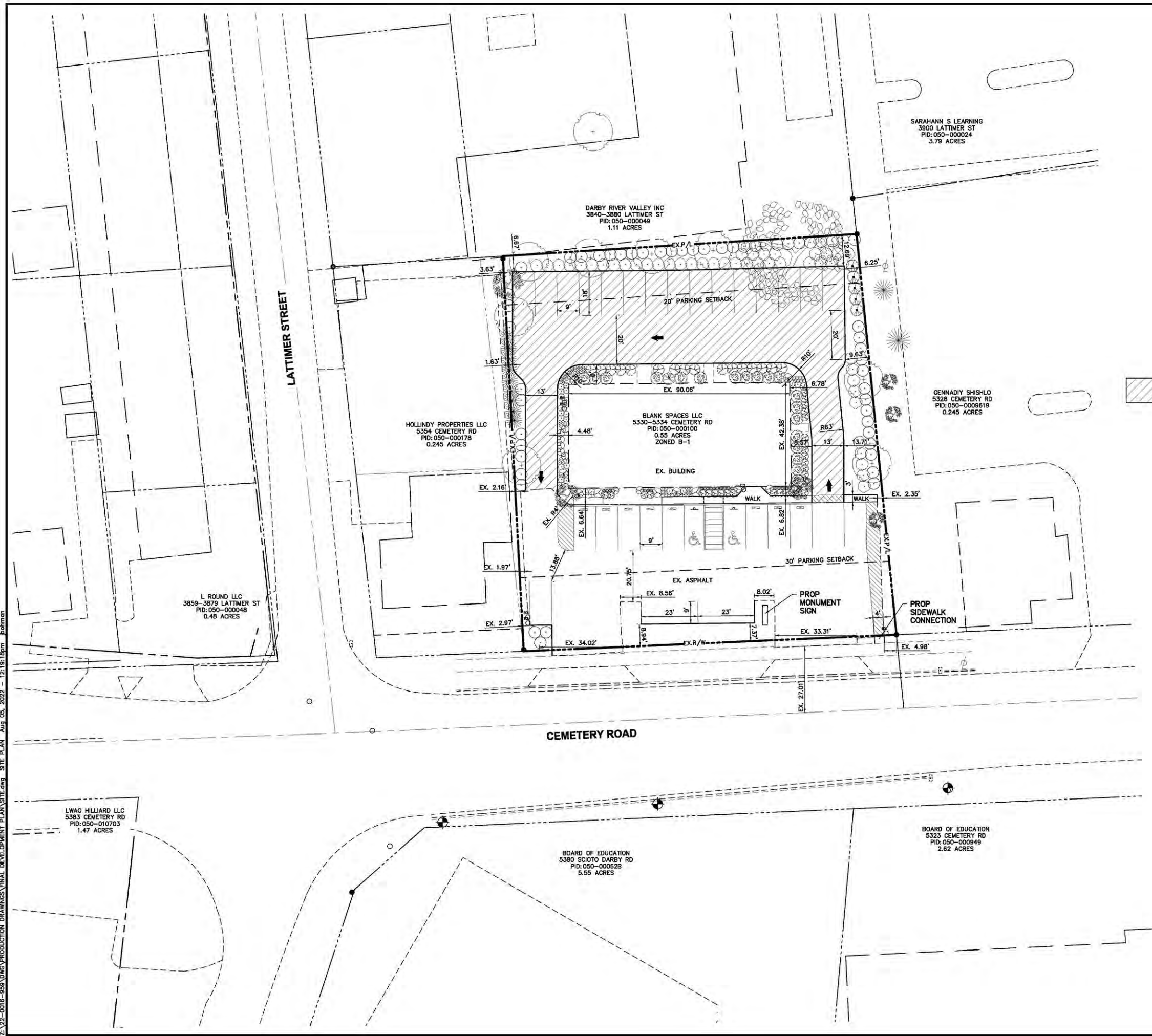
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Project Number:
22-0016-959

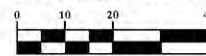
Drawing Number:

5 / 10

Z:\22-0016-959\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN SITE.dwg SITE PLAN Aug 05, 2022 - 12:19:18pm bolman

**LEGEND**

PROPOSED ASPHALT PAVEMENT, SEE DETAIL SHEET 4

**GRAPHIC SCALE**

1 inch = 20 feet

PLAN PREPARED BY:



761 Science Boulevard, S
Gahanna, OH
43045
PH 614-
614-
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

CONNECT CDC, LLC

PO BOX 360445
COLUMBUS, OHIO 43236
CONNECTCDC.COM
EMAIL:TR@CONNECTCDC.COM

CITY OF HILLIARD, FRANKLIN COUNTY, OHIO

5330 CEMETERY ROAD

FINAL DEVELOPMENT PLAN

FOR

5330 CEMETERY ROAD

SITE PLAN

Issue Dates:

Date: 08/05/2022
Scale: 1" = 20'

Drawn By: ANH
Checked By: TMW

Project Number:
22-0016-959

Drawing Number:

6 / 10

HILLIARD DENTAL CARE

5330 Cemetery Road
Hilliard, Ohio 43026

Prepared for:

ADVANCED CIVIL DESIGN

781 Science Boulevard
Gahanna, OH 43230

REVISIONS

date issued

1	XX.XX.XXXX	NOTES
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drawn by: PEM
issue date: 7.27.2022

checked by: GS
PROJECT NO. 22058

EXISTING TREE
SURVEY

L0.01

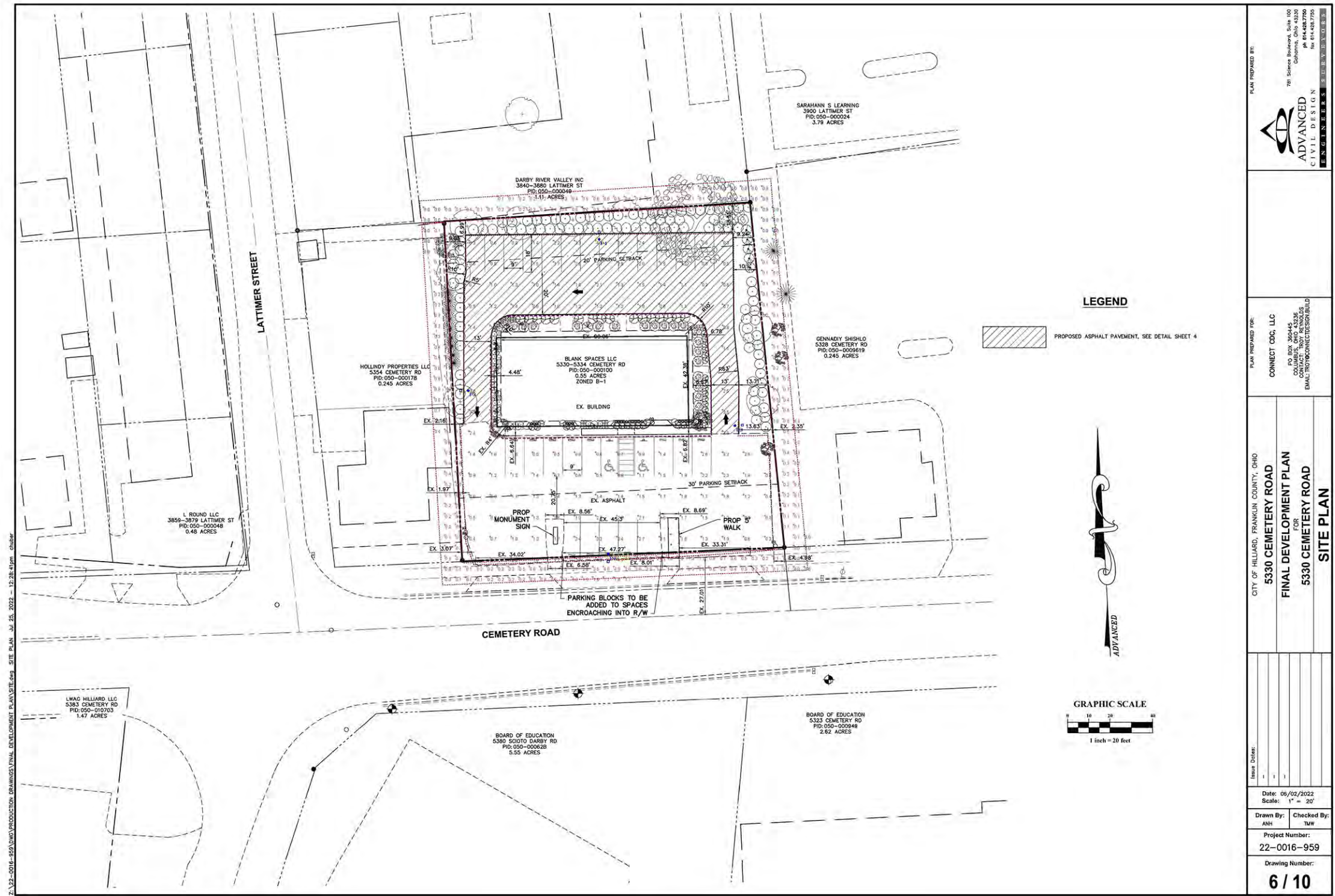
Tree Preservation Key

EXISTING TREE INDEX NUMBER	#
EXISTING TREE TO BE REMOVED	#
EXISTING TREE STATUS OFF-SITE	#
EXISTING TREE TO BE PRESERVED	#

TREE#	DIAMETER	SPECIES	CONDITION	STATUS
1	17	MULBERRY	GOOD	REMOVE
2	14	CRABAPPLE	POOR	REMOVE
3	2	MAPLE	FAIR	PRESERVE
4	11	CRABAPPLE	GOOD	REMOVE
5	12	MULTI-STEM MULBERRY	GOOD	REMOVE
6	13	CRABAPPLE	FAIR	REMOVE
7	50	COTTONWOOD	GOOD	PRESERVE
8	12	LINDEN	GOOD	OFF-SITE
9	13	BLUE SPRUCE	GOOD	OFF-SITE
10	14	BLUE SPRUCE	GOOD	OFF-SITE
11	7	PLUM	GOOD	OFF-SITE
12	6	APPLE	GOOD	OFF-SITE
		INCHES REMOVED	REPLACEMENT INCHES REQ'D	
PROTECTED TREES ≥6" (replace 1" for ea. 1" removed)		24	24	
PROTECTED TREES ≥24" (replace 2" for ea. 1" removed)		0	0	
TOTAL REPLACEMENT INCHES REQUIRED*			24	

*TREES LISTED IN HILLIARD DESIGN MANUAL SECTION 12.2.D1 "PROHIBITED SPECIES", "POOR", AND "DEAD" TREES NOT INCLUDED IN REPLACEMENT CALCULATIONS. A REDUCTION OF 50% MAY BE GRANTED FOR TREE REPLACEMENTS REQUIREMENTS IN EXCESS OF 30 CALIPER INCHES PER ACRE FOR THE ENTIRE SITE)





Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp
	P3	2	SIGNIFY GARDCO	P26-48L-500-NW-G2-3	PureForm Gen2 - Area Medium (P26), 48 LED's, 4000K CCT, TYPE 3 OPTIC, .	(3) LEDGINE LIGHT ARRAY(S) DRIVEN AT 500mA	1	p26-48l-500-nw-g2-3.ies	10401
	P4	2	SIGNIFY GARDCO	P26-48L-500-NW-G2-4	PureForm Gen2 - Area Medium (P26), 48 LED's, 4000K CCT, TYPE 4 OPTIC, .	(3) LEDGINE LIGHT ARRAY(S) DRIVEN AT 500mA	1	p26-48l-500-nw-g2-4.ies	10789

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
10' Property Line		0.5 fc	4.0 fc	0.0 fc	N/A	N/A
Parking and Drive Areas		1.6 fc	4.4 fc	0.3 fc	14.7:1	5.3:1



Black Long Strip Sconce Light Wall Lights Outdoor LED Lighting

SKU: HWD00006-11

Free Shipping

\$284.89 ~~\$406.99~~

LENGTH: 60"

24"

40"

48"

60"

67"

80"

COLOR TEMPERATURE: WARM WHITE

WHITE

WARM WHITE

3 STEP DIMMING

SET: 1 PC

1 PC

SET OF 2

SET OF 4



1



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Free Delivery: Estimated 15-22 business days

Expedited Delivery: Estimated 7-10 business days

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VISA



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Description



by Signify

Site & Area

PureForm

P26 medium area light
with comfort optics



ATTACHMENT

Gardco PureForm LED area medium comfort P26 features a sleek, low profile design. Comfort optics are designed to enhance visual comfort by reducing glare. Type 2, 3, and 5 optical distributions are available. A full range of control options provides additional energy savings.

Project: _____
Location: _____
Call No: _____
Type: _____
Lumen: _____ City: _____
Notes: _____

Ordering guide

example: P26-196L-650-NW-G2-AR-5-120-MGY

Prefix	Number of LEDs	Drive Current	LED Color - Generation	Mounting	Distribution	Voltage
P26						
P26 PureForm area medium, 26"	196L 196 LEDs (comfort engine)	460 450mA 660 650mA 1160 1150mA 1676 1675mA 2100 2100mA	WW-G2 Warm White 3000K, 80 CRI Generation 2 NW-G2 Neutral White 4000K, 80 CRI Generation 2 CW-G2 Cool White 5000K, 70 CRI Generation 2 WY-G2 Warm Yellow 2700K, 80 CRI Generation 2 BW-G2 Balanced White 3500K (80 CRI) Generation 2 ¹	AR Arm Mount (standard) ² The following mounting kits must be ordered separately (See accessories) SF Slip Fitter Mount ³ (fits to 2 1/4" O.D. tenon) WS Wall mount with surface conduit rear entry permitted RAM Retrofit arm mount kit ²	Type 2 2 Comfort Type 2 Type 3 3 Comfort Type 3 Type 5 5 Comfort Type 5	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HVV 347-480V (50/60Hz)
	140L 140 LEDs (comfort engine)		AM-G2 Amber Generation 2 ^{1,12}			

Options					
Dimming controls	Motion sensing lens	Photo-sensing	Electrical	Luminaire	Finish
DD 0-10V External dimming (controls by others) ⁴ FAWS Field Adjustable Wattage Selector ^{4,5} LLC Integral wireless module ^{4,6,7,8} BL Bi-level functionality ^{4,9} DynaDimmer: Automatic Profile Dimming CS60 Security 50% Dimming, 7 hours ^{4,7} CM60 Median 50% Dimming, 8 hours ^{4,7} CS30 Security 30% Dimming, 7 hours ^{4,7} CM30 Median 30% Dimming, 8 hours ^{4,7}	IMR12 Integral with #2 lens ¹⁰ IMR15 Integral with #3 lens ¹⁰	PCB Photocontrol Button ^{7,9} TLRD5 Twist Lock Receptacle 5 Pin ⁹ TLRD7 Twist Lock Receptacle 7 Pin ⁹ TLRPC Twist Lock Receptacle w/Photocell ^{4,10}	Fusing F1 Single (120, 277, 347VAC) ⁹ F2 Double (208, 240, 480VAC) ⁹ F3 Canadian Double Pull (208, 240, 480VAC) ⁹ Pole Mount Fusing FP1 Single (120, 277, 347VAC) ⁹ FP2 Double (208, 240, 480VAC) ⁹ FP3 Canadian Double Pull (208, 240, 480VAC) ⁹ Surge Protection (10kA standard) SP2 Increased 20kA	Square Pole Adapter included as standard TB Terminal Block RPA Round Pole Adapter (fits to 3" L 3.8" O.D. pole) ¹¹	Textured BK Black WH White BZ Bronze DGY Dark Gray MGY Medium Gray Customer specified RAL Specify optional color or RAL (ex: RAL7024) CC Custom color (Must supply color chip for required factory quote)

- Extended lead times apply. Contact factory for details.
- Mounts to a 4-5" OD round pole with adapter included for square poles.
- Limited to a maximum of 45 degrees aiming above horizontal.
- Not available with other control options.
- Not available with motion sensor.
- Not available with photocell.

- Not available in 347 or 480V.
- Must specify input voltage.
- Dimming will not be connected to NEMA receptacle if ordering with other control options.
- Not available in 480V. Order photocell separately with TLRD5/7.
- Not available with SF and WS. RPAs provided with black finish standard.

- Not available in 2100mA
- Not available with DD and FAWS dimming control options.
- Not available with DD, FAWS, BL, LLC dimming control options (DynaDimmer required).
- Must specify a motion sensor lens.



CASE 4: PZ-22-41 – ADVANCED DRAINAGE SYSTEMS – Ansmil PUD Subarea C2 – South and west sides of Lyman Drive approximately 120 feet south of Davidson Road

PARCEL NUMBER: 050-008256

APPLICANT: Ansmil LLC, c/o Daniel Smith, 203 S. Stanwood Road, Columbus, OH 43209; and Rene Jimenez, Geis Companies, 10020 Aurora-Hudson Road, Streetsboro, OH 44241.

REQUEST: Review and approval of a PUD modification concerning standards for setbacks, parking, landscaping, and outdoor storage under the provisions of Hilliard Code Section 1117.08 for an office building on 16.66 acres.

BACKGROUND:

The site consists of 16.66 acres located on the south and west sides of Lyman Drive approximately 120 feet south of Davidson Road. The site is located within Subarea C2 of the Ansmil PUD. On April 14, 2016, the Planning and Zoning Commission approved a lot split, conditional use, PUD Final Development Plan, and a PUD modification for hospital and medical office buildings totaling 108,150 square feet. On September 14, 2017, the Commission approved a Final Plat to dedicate right-of-way for a portion of North Clara Circle to the west of this site. On October 12, 2017, the Commission also approved a variance for a sign package for the Mount Carmel medical office building to the west of the site that included the existing off-premises ground sign located on the west side of Lyman Drive approximately 500 feet south of Davidson Road within this site.

The applicant is now requesting approval of a PUD text modification concerning standards for setbacks, parking, and landscaping for an office development on 16.66 acres. The Ansmil PUD Development Text specifies that final development plans for office buildings within Subarea C2 will be reviewed for approval administratively by City staff without the necessity of going before the Planning and Zoning Commission for final development plan approval, provided that the plans conform with provisions of the PUD Development Plan Text.

COMMISSION ROLE:

The Commission is to review the proposed PUD modification for conformance to the provisions of Hilliard Code Section 1117.08.

STAFF RECOMMENDATION:

Staff finds that the proposed PUD modification is consistent with the approved Ansmil PUD Concept Plan and the recommendations for land use contained within the Hilliard Comprehensive Plan. Based on these findings, staff recommends approval of the proposed PUD text modifications with the following 2 conditions:

- 1) That the property line adjacent to the I-270 right-of-way line is determined prior to Final Development Plan approval; and
- 2) That the Development Text is revised to conform to all conditions of Planning and Zoning Commission approval prior to being scheduled on a City Council agenda.

CONSIDERATIONS:

- The site consists of the eastern portion of Subarea C2. It has approximately 40 feet of frontage on Davidson Road, approximately 1,400 feet of frontage on Lyman Drive, and approximately 760 feet of frontage on the future east-west road that will connect Britton Parkway to Lyman Drive in the southern portion of the site. I-270 is located to the east of the site across Lyman Drive. Property to the south is undeveloped land within Ansmil PUD Subarea C3 zoned for commercial and office uses, and commercial businesses zoned B-4, I-270 Corridor District. To the west is the Mount Carmel medical office building within Ansmil PUD Subarea B2, which is zoned for office uses. To the north, across Davidson Road, is an AEP substation zoned B-3, Office/Institutional District. Vehicular access to the site will be via one full-

service access point on Davidson Road, and two full-service access points on the future east-west road connecting Britton Parkway and Lyman Drive.

- The site has an existing storm water management pond which is to be relocated to the southern end of the site south of the future road connection. The site includes an existing 22.5-foot-tall, 348-square-foot (per side), internally-illuminated off-premise ground sign for the Mount Carmel medical office building along Lyman Drive south of Davidson Road. The sign is likely to be relocated and must be placed a minimum of 15 feet from any right-of-way line.

Traffic and Access Issues:

- The Ansmil PUD Access Management Plan (Exhibit E) states the following: “Lyman Drive must be removed as a through street within the limits of C2 when Britton Parkway, Arthur Drive, and Clara Circle are open to traffic. The property owner may apply for vacation of this public ROW at a later date; however, the City plans to maintain a public easement over this land to provide public utilities, drainage, or pedestrian facilities.”
- The Lyman Drive right-of-way is immediately adjacent to the I-270 right-of-way in this location. The applicant is in the process of determining exactly where the property line will move upon the vacation of the Lyman Drive right-of-way and additional highway easements. This determination must be made prior to administrative review and approval of the final development plan.

Proposed Use

- The conceptual plans show a two-story, 107,500-square-foot office building. The final location and orientation of the building and other site elements will be specified as part of the Final Development Plan. Vehicular access to the site will be from Davidson Road and the east-west road connection between Britton Parkway and Lyman Drive along the southern portion of the Subarea.
- General development standards for the site in Subarea C2 include the following:

Maximum density	18,000 square feet per acre
Minimum building footprint	25,000 square feet
Minimum building height	3 stories (2 stories for medical office)
Maximum building coverage	40 percent
Maximum impervious surface	70 percent

- Building and pavement setbacks for the site in Subarea C2 include the following in addition to a minimum 20-foot side yard and 30-foot rear yard requirement:

	Building Setback	Pavement Setback
Davidson Road	40 feet	40 feet
Britton Parkway	40 feet	40 feet
Clara Circle/Arthur Drive	30 feet	50 feet

- The text requires trash receptacles to be screened from view on three sides by a solid masonry wall, wood fence, vegetation, or materials compatible with building materials and at least 6 inches taller than the height of the trash receptacle. The fourth side shall contain a durable gate with the frame to be made of metal, resin or similar material, and the outer material may be wood, metal, resin or similar material.

Architecture

- The text requires all buildings to have four-sided architecture and a consistent finish on all four sides. Fenestration shall be proportional with building size and massing. Permitted materials include brick, stone, stucco stone, pre-cast concrete, metal window frames and glass. Earth tone colors are required.

PUD Modification

- The PUD modification includes the following changes to the Subarea C2 development text:

Section C2.01.2.	Specifies minimum building height of 2 stories for office buildings
Section C2.01.8.	Eliminates the pavement setback from the I-270 right-of-way.
Section C2.01.9.	Reduces the minimum pavement setback from the east-west road connecting Britton Parkway and Lyman Drive along the southern portion of Sub Areas C1a and C2 from 50 feet to 30 feet.
Section C2.02.1.	Requires parking for uses not specified in the text to be as set forth in the Zoning Code.
Section C2.04.1.i.	Eliminates the requirement for an earth mound in areas of ingress and egress for roadways and ponds.
Section C2.04.1.m.	Permits fencing to be permitted with a fence permit instead of by Planning and Zoning Commission as a conditional use.
Section C2.05.12.a	Revised as follows: “No materials, supplies, equipment, or products shall be stored or permitted to remain on any portion of the parcel outside the permitted structure, except within one contiguous area within the entire Sub Area C2 not to exceed 80,000 square feet that is accessory to an approved office building and which area shall be screened from view from adjacent properties and rights-of-way with a 6-foot-tall solid fence and a combination of mounding, evergreen trees, and deciduous trees. Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from view with material harmonious with the building.”

- Staff also recommends the following administrative changes to the development text to specify the correct and up-to-date Code Chapters concerning development standards:

Section C2.01.3.	Specifies the correct Code Chapter for lot coverage.
Section C2.02.1	Specifies parking for medical offices to be a minimum of one space per 300 square feet of usable floor area.
Section C2.04.1.a	Specifies the correct Code Chapter for landscaping.
Section C2.04.1.b.	Specifies the correct Code Chapter for landscaping.
Section C2.04.1.f.	Specifies the correct Code Chapter for landscaping.
Section C2.04.1.f.	Corrects a typo for wheel stops.

[END OF REPORT | PZ-22-41]

DRAFT - 8/4/2022

SUBAREA C2

Subarea C2 is located south of Davidson Road, west of I-270, east of Britton Parkway and north of Arthur Drive. The site is +/-25.4 acres.

I. Permitted Uses

1. The uses listed below shall be permitted uses within this Sub Area. Unless the definition of a use is provided in this Development Text, the use definitions contained in the City's codified ordinances shall apply.
 - a) Institutions and Offices
 - b) Public Uses
 - c) Regional and Professional Offices
 - d) Professional Activities
2. Restaurants and Banks are permitted within office buildings, subject to receiving conditional use approval by the Planning and Zoning Commission.
3. Parking Garages are permitted, subject to receiving conditional use approval by the Planning and Zoning Commission.
4. Hospitals are permitted, subject to receiving conditional use approval by the Planning and Zoning Commission.

II. Unit Types

All buildings shall comply with the design guidelines of the development standards in this text.

III. Development Standards

Unless otherwise specified in this written text, the development standards of Chapter 1117 of the Codified Ordinances of the City of Hilliard shall apply to this sub area. Basic development standards are compiled regarding proposed density, site issues, traffic, circulation, landscape and architectural standards. These component standards ensure consistency and quality throughout the parcel's development.

C2.01 Density, Height, Lot and/or Setback Commitments

1. There shall be a maximum density of 18,000 square feet per acre.
2. There shall be a minimum building footprint of 25,000 square feet and a minimum height of 3 stories except for hospitals which shall have no minimum

DRAFT - 8/4/2022

height, and ~~medical~~ office buildings which shall not be less than 2 stories.

3. The lot coverage shall not exceed 40% as defined by Hilliard City Code ~~Section 1127.03~~ **Chapter 1105**.
4. The maximum height limit shall be 100 feet within 400 feet of I-270. Buildings next to Britton Parkway Extension shall have a maximum height limit of 45 feet within 300 feet. The balance of the site shall have buildings with a maximum height limit of 65 feet.
5. There shall be a minimum side yard of 20 feet.
6. There shall be a minimum rear yard of 30 feet.
7. There shall be a 40-foot building and pavement setback from the right-of-way of Davidson Road.
8. There shall be a 50-foot building **setback** and **no minimum** pavement setback from the right-of-way of I-270. ~~This 50 foot building setback shall be a build-to-line with no parking between the building and I-270.~~
9. There shall be a minimum ~~50-30~~-foot pavement and 30-foot building setback from the right-of-way of ~~Arthur Drive~~ **the east-west road connecting Britton Parkway and Lyman Drive along the southern portion of Sub Areas C1a and C2.**
10. ~~There shall be a 50-foot building and 30-foot pavement setback from the right-of-way of Clara Circle.~~
- ~~11.~~ There shall be a 40-foot building and pavement setback from the Britton Parkway Extension right-of-way.

C2.02 Access, Loading, Parking and/or Traffic Related Commitments

1. **Unless otherwise specified in this text, parking and Loading** requirements for an individual use within Sub Area C2 shall be as set forth in Hilliard City Code Chapter 1127. ~~Sub-area minimum parking shall be one space per 250 square feet of gross floor area and a maximum of one space per 150 square feet of gross floor area.~~ For hospital uses there shall be 1 space per 2 beds, and 1 space per peak staff. For medical office uses there shall be 1 space per 300 square feet **of usable floor area**. The maximum parking requirement shall be no greater than 32 percent above the minimum requirement.
2. Cross-access easements are required within this sub area between adjoining uses subject to approval of the City Law Director.

3. Lyman Drive shall be removed as a through roadway when Britton Parkway Arthur Drive and Clara Circle are open to public traffic.
4. See Exhibit E, Access Management Plan for all access locations.
5. Five-foot-wide sidewalks shall be provided along all sides of streets within this sub area where bike paths are not present. The sidewalk shall be installed with roadway improvements and will be dedicated to the City of Hilliard.

C2.03 Architectural Standards

The building materials and design shall be consistent and compatible with the freeway-oriented office buildings along ~~I-270 outer belt~~ along the west side of the I-270 outer belt between Tuttle Crossing and Davidson Road.

1. Color Palette: Buildings shall be constructed of subdued, earth tone materials; muted colors are preferred. Accent colors brighter hues are permitted for building accent features only.
2. Materials: Brick, stone, stucco stone, pre-cast concrete, metal window frames and glass are all permitted building materials.
3. Roof: Mansard roofs are permitted so that the roof appears to be pitched when viewed from each side provided all roof top mechanical units are fully screened from view. Flat roofs are permitted provided that screening materials for all rooftop mechanical units shall extend above the height of each unit.
4. Articulation and Fenestration: Buildings shall have four-sided architecture and a consistent finish on all four sides. Fenestration shall be proportional with building size and massing.
5. Lot Coverage: Lot coverage shall not exceed 70% impervious surface. Impervious surface shall be defined as the building footprint and all paved surfaces including parking lots, but shall include any interior parking lot landscaping or other similar unpaved surfaces.
6. Side Yard Standards: There shall be no minimum side yard requirement.

C2.04 Buffering, Landscaping, Open Space and/or Screening Commitments

1. Landscaping
 - a) All landscaping shall be in accordance with the requirements of Hilliard City Code ~~Section 1331~~ Chapter 1125.

- b) Any portion of a lot upon which a building or parking area is not constructed shall be landscaped with lawn as a minimum. Those areas designated as landscaped buffers, tree lawns, tree preservation zones, entry features or other landscaped features shall be maintained meeting the minimum standards in Hilliard Codified Ordinances Chapters 917, 921 and ~~1331~~ 1307. The use of in-ground sprinkler systems, where appropriate, is strongly encouraged.
- c) Interior landscaping for vehicular use areas: Any open vehicular use area, excluding loading, unloading and storage areas in an industrial zone or business zone, containing more than 6,000 square feet of area, or twenty or more vehicular parking spaces, shall provide interior landscaping in addition to previously required perimeter landscaping. Interior landscaping may be peninsular or island types.
- d) Landscape Area: For each 100 square feet or fraction thereof, of vehicular use area, a minimum total of five (5) square feet of landscaped area shall be provided.
 - 1. Minimum area: The minimum landscape area permitted shall be sixty-four square feet with a four-foot minimum dimension to all trees from edge of pavement where vehicles overhang.
 - 2. Maximum contiguous area: In order to encourage the required landscape areas to be properly dispersed, no individual landscape area shall be larger than 350 square feet in size, and no individual area shall be larger than 1,500 square feet in vehicular use areas over 30,000 square feet. In both cases, the least dimension of any required area shall be four feet minimum dimension to all trees from edge of pavement where vehicles overhang. Individual landscape areas larger than above are permitted as long as the additional area is in excess of the required minimum total.
- e) Minimum trees: The following minimums are required, based upon total ground coverage of structures and vehicular use areas:
 - 1. Up to 20,000 square feet: A minimum of one tree per 5,000 square feet of ground coverage, and a total tree planting equal to 1 inch in tree trunk size for every 2,000 square feet of ground coverage.
 - 2. Between 20,000 and 50,000 square feet: A minimum of one tree for every 5,000 square feet of ground coverage, and a total tree planting equal to ten inches plus one-half in tree trunk size for every 2,000 square feet over 20,000 square feet in ground coverage.

3. Over 50,000 square feet: A minimum of one tree for every 5,000 square feet of ground coverage, and a total tree planting equal to twenty-five inches plus one-half inch in tree trunk size for every 4,000 square feet over 50,000 square feet of ground coverage.
 4. Trees shall have a clear trunk of at least five feet above the ground, and the remaining area shall be landscaped with shrubs, ground cover, not to exceed two feet in height.
- f) Protection of Landscaped Islands: Parked vehicles may hang over the interior landscaped area not more than two and one-half feet, as long as concrete or other ~~well~~-wheel stops are provided to insure no greater overhang or penetration of the landscaped area. All parking spaces and landscaped islands shall meet the requirements of the Hilliard Codified Ordinances, Chapters 1127 and ~~1331~~ 1307.
- g) Curbs to protect screening material: Whenever screening material is placed around any trash disposal unit or waste collection unit which is emptied or removed mechanically on a regularly occurring basis, a curb to contain the placement of the container shall be provided within the screening materials on those sides where there is such material. The curbing shall be at least one foot from the material and shall be designed to prevent possible damage to the screening when the container is moved or emptied.
- h) Tree Planting Requirements: There shall be tree plantings equal to one-half inch in tree trunk size for every 500 square feet in ground coverage by a residential structure. These trees shall be a minimum of 2.5-inch caliper at the time of installation.
1. No new tree planting shall be required if existing trees and the aggregate trunk sizes of such trees meet or exceed the requirements as set forth in this chapter. The minimum tree size for such tree plantings shall be no less than two and one-half inch in trunk diameter.
 2. The applicant or owner shall plant such trees as may be required within one year or the next planting season after issuance of a building permit. Failure to comply with the landscaping requirements shall be in violation of this section and be subject to citation.
- i) Within the 40-foot pavement and building setback from the Davidson Road right-of-way, there shall not be a required 4-foot-high continuous meandering and undulating earth mound, ~~except for areas of ingress and~~

~~egress for roadways and ponds.~~ There may be a 3-foot-high earth mound in this area. Mounding may not be feasible along the ramped area of Davidson Road over I-270. The mound may have a $\pm 4:1$ slope that will begin at the right-of-way line. The mound may also have a $\pm 3:1$ slope on the opposite side.

- j) In addition to the street tree planting, there shall be a 100-foot landscape buffer along Davidson Road. This buffer will be planted with a mixture of deciduous shade and ornamental, and evergreen trees at a rate of 8 trees per 100 lineal feet.
- k) Street trees shall be planted at a minimum distance of 40 feet on center along Arthur Drive and Clara Circle. Trees will be of a deciduous species normally attaining full grown height in excess of 50 feet and will be of 2-2 ½" caliper or greater at the time of planting.
- l) There shall be a 3-foot-high evergreen hedge and a 3-foot-high earth mound along the pavement setback of Davidson Road, and Arthur Drive wherever structures do not exist at the building setback line.
- m) Fencing within this subarea is permitted upon receiving ~~conditional use approval of a fence permit. by the Planning and Zoning Commission.~~

C2.05 Dumpsters, Lighting, Outdoor Display Areas and/or other Environmental Commitments

- 1. All parking lot lighting shall not exceed 25 feet in height from finished grade.
- 2. External lighting shall be cut-off type fixtures.
- 3. There shall be a consistent and uniform lighting fixture for parking lot lighting within all office areas, as approved by the Hilliard City Engineer.
- 4. All types of parking, pedestrian and other lighting shall be on poles or wall mounted cut-off fixtures and shall be from the same type and style.
- 5. All light poles and standards shall be metal and shall be dark bronze or black in color.
- 6. Parking lot lighting shall be metal halide or LED. Building and landscaping lighting shall be incandescent, metal halide or LED.
- 7. Landscape and building uplighting from a concealed source shall be permitted, as accent lighting, subject to staff approval.
- 8. All lights shall be arranged to reflect light away from any street or adjacent

property.

9. All building illumination shall be from concealed sources.
10. No colored lights shall be used to light the exterior of the buildings.
11. Waste and Refuse:
 - a) All waste and refuse shall be containerized and screened from view on all three sides by a solid brick wall, wood fence, or materials compatible with building materials. The fourth side shall be a gate with a frame made of durable metal, resin or similar material, and the outer material shall be wood, metal, resin or similar material. The gate shall be at least 6 inches taller than the height of the dumpster.
12. Storage and Equipment and Service Areas:
 - a) No materials, supplies, equipment, or products shall be stored or permitted to remain on any portion of the parcel outside the permitted structure except within one contiguous area within the entire Sub Area C2 not to exceed 80,000 square feet that is accessory to an approved office building and which area shall be screened from view from adjacent properties and rights-of-way with a 6-foot-tall solid fence and a combination of mounding, evergreen trees, and deciduous trees. Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from view with material harmonious with the building.
 - b) All refuse trash and garbage collection shall be enclosed.
 - c) No noises, smoke, odors, vibration, or other nuisances shall be permitted.
 - d) No area of the site will be used for outdoor storage.
 - e) Service courts and loading docks shall be screened from all streets or adjacent buildings by landscaping, mounding or walls.

C2.06 Graphics and Signage Commitments

1. All signage and graphics shall conform to the Hilliard Graphics and Sign Code Chapter 1129.
2. Other signage may be used subject to approval by the City Planning and Zoning Commission.
3. A temporary marketing sign similar to the temporary marketing sign in Sub Area B2T may be permitted to be placed within this Sub Area C2 for a maximum of

five (5) years or until it is replaced by the permanent Freeway Oriented Icon or until such time as construction begins with any portion of Sub Area C2. This sign shall be located so as to be seen from I-270 and be approved by City Staff.

4. Once Lyman Drive is vacated and the construction of the roundabout at the intersection of Arthur Drive and Lyman Drive is completed the Freeway Oriented Icon is to be built within the reserve. The maximum height shall be 35 feet. Any departure from the approved concept (See Exhibit L) will require approval by the Planning and Zoning Commission.

C2.07 Miscellaneous Commitments

1. Utilities: All utility lines including water service, electricity, telephone and gas, and their connections or feeder lines shall be placed underground. Where feasible, all above ground utility boxes shall be placed at the rear lot lines or sufficiently screened, subject to staff approval.

GEIS COMPANIES
10020 Aurora-Hudson Rd
Streetsboro, Ohio 44241
PH: (330) 528-3500
FX: (330) 528-0008
www.geisco.net

DATES AND REVISIONS

7 JULY 06

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PROJECT WATER

HILLIARD, OHIO

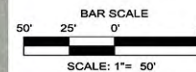
Drawn By
Checked By
Project Number

RW
RW
220546



LANDSCAPE PLAN
DRAWING NO:

L.1.1



LEGEND

- SHADE TREES - 2" CALIPER
SUMMER SHADE SUGAR MAPLE, FREEMANII
MAPLE, SKYLINE HONEY LOCUST, FRONTIER
ELM
- ORNAMENTAL TREES - 2" CALIPER
HAWTHORN, HEDGE MAPLE, MALUS, TREE
LILAC, BIRCH
- EVERGREEN TREES - 6' HT.
SERBIAN SPRUCE, NORWAY SPRUCE, WHITE
SPRUCE
- SHRUB PLANTINGS:
SHRUBS - LARGE 36"
DENSE YEW, VIBURNUM, BURNING BUSH,
WINTERBERRY, JUNIPER, DOGWOOD, LILAC
SHRUBS - SMALL 18"-24"
ITEA, BOXWOOD, JUNIPER, SPIRAEA, ROSE
GRASSES/PERENNIALS - 1 GAL
DAYLILY, CATMINT, FEATHER REED
GRASS, BLACK-EYED SUSAN
- PROPOSED WILDFLOWER MEADOWS
- PROPOSED LANDSCAPE MOUNDING
- EXISTING TREES TO REMAIN
- PROPOSED BIOSWALES





TWO STORY OFFICE - CONCEPTUAL RENDERING 1 ADVANCED DRAINAGE SYSTEMS





TWO STORY OFFICE - CONCEPTUAL RENDERING 1A
ADVANCED DRAINAGE SYSTEMS



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DATES AND REVISIONS

7/5/2022 2:05:46 PM

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Advanced Drainage Systems

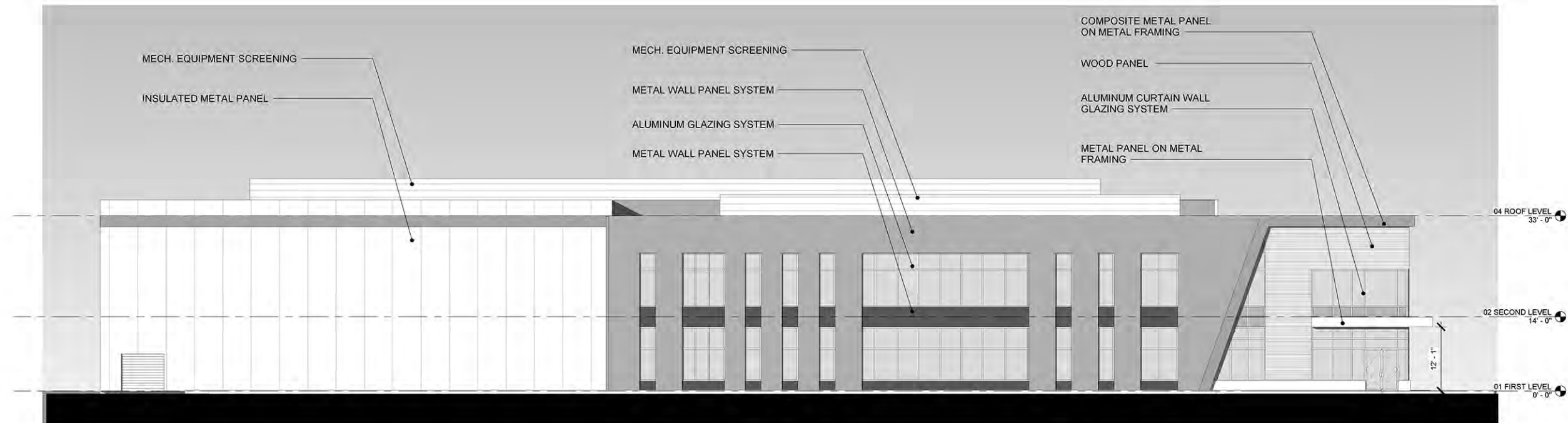
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Hilliard, OH 43026

Drawn By
Checked By
Project Number

NORTH

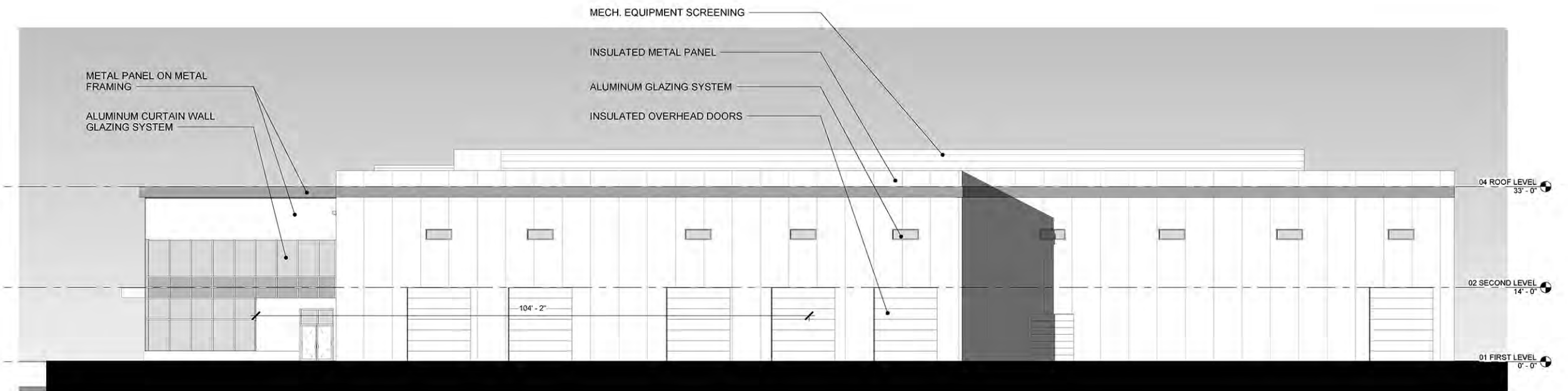
EXTERIOR ELEVATIONS
DRAWING NO:

A-3.1



1 EAST ELEVATION

3/32" = 1'-0"



2 WEST ELEVATION

3/32" = 1'-0"

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DATES AND REVISIONS

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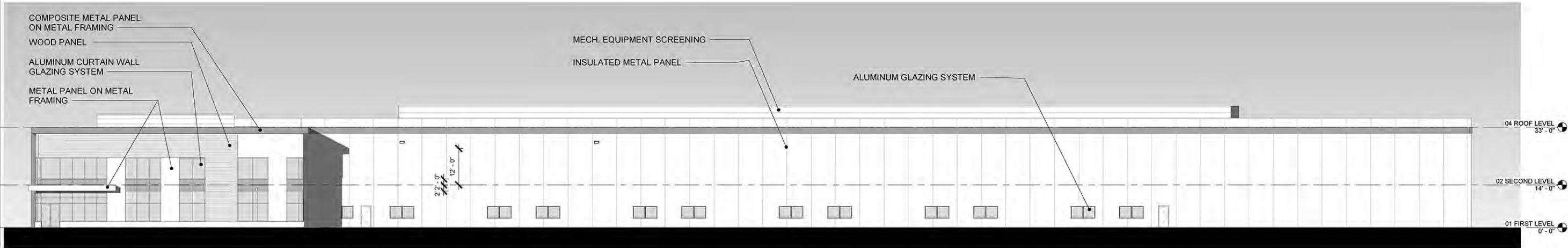
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Project Number

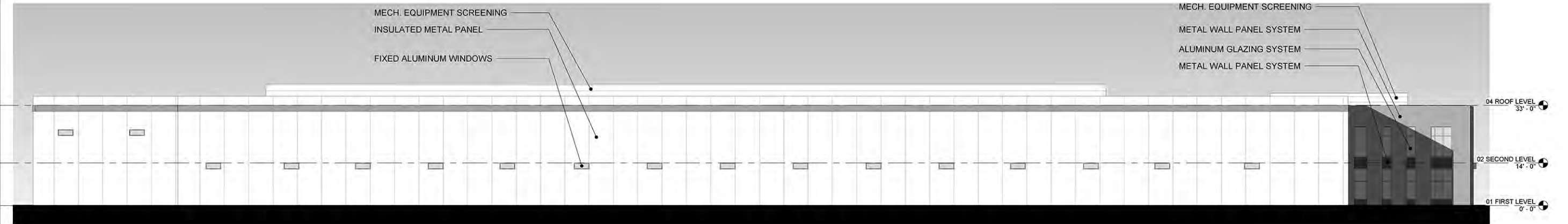
NORTH

EXTERIOR ELEVATIONS
DRAWING NO:

A-3.2



1 NORTH ELEVATION
1/16" = 1'-0"



2 SOUTH ELEVATION
1/16" = 1'-0"



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matt@webercivil.com



Reg. No.: 61709

OWNER:

GEIS
CONSTRUCTION

10020 AURORA-HUDSON RD.
STREETSBORO, OHIO
JEN DIASIO
PHONE: (216) 218-3507

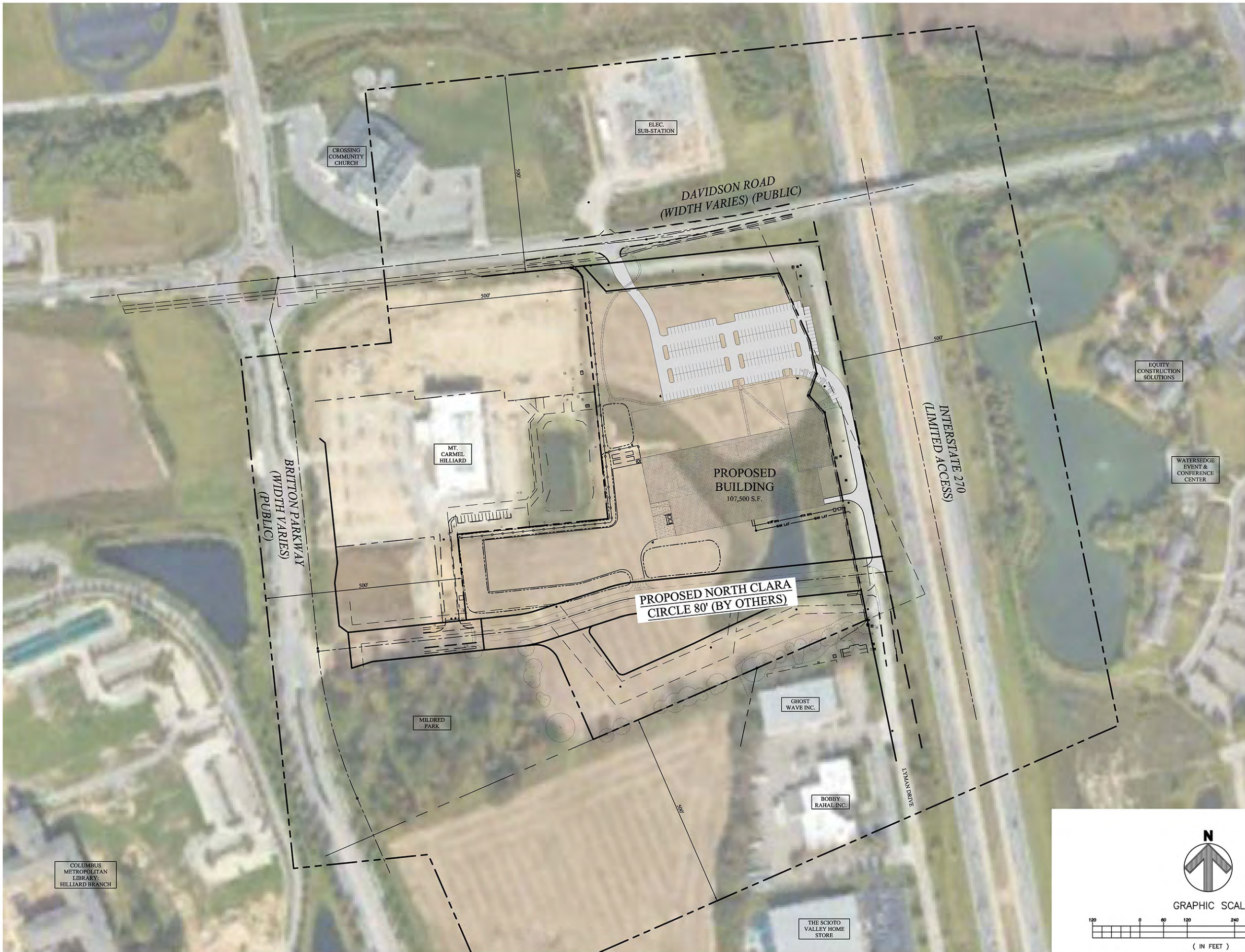
CLIENT NAME

Issue Date
07-06-2022

PROJECT WATER
NEW SITE
HILLIARD, OHIO

SITE
DIMENSION
PLAN

P-3
PROJECT NO. 2022-108



CASE 5: PZ-22-42 – OPPIDAN DATA CENTER – 4861 Edwards Farm Road

PARCEL NUMBER: 050-006545

APPLICANT: Wolpert Enterprises Limited, c/o Larry Wolpert, 2592 Canterbury Road, Columbus, OH 43221; and Andrew Ong, American Structurepoint, 2550 Corporate Exchange Drive, Suite 300, Columbus, OH 43231.

REQUEST: Review and approval of a Lot Split under the provisions of Hilliard Code Section 1188.05 and a Level “B” Site Plan under the provisions of Chapter 1131 of the Hilliard Zoning Code for the construction of an 89,954-square-foot data center on 14.30 acres.

BACKGROUND:

The site consists of 26.88± acres located just north of Davison Road between I-270 and Edwards Farm Drive. The property is undeveloped agricultural land with freeway frontage that is zoned B-3, Office/Institutional District. The proposed lot split and requested approval of a Level “B” Site Plan would enable the applicant to record lot split exhibits and submit for building permits for the construction of an 89,954-square foot data center that would be located on the southern 14.92± acres of the site.

COMMISSION ROLE:

The Commission is to review the proposed lot split for conformance to the provisions of Hilliard Code Section 1188.05 and assess the proposed Level “B” Site Plan under the provisions of Hilliard Code Chapter 1131.

STAFF RECOMMENDATION: MOTION 1 (LOT SPLIT)

Staff finds that the proposed lot split will conform to the minimum requirements as set forth in the B-3, Office/Institutional District and meets the general intent of the Code. Based on this finding, staff recommends that the proposed lot split be approved with two conditions:

- 1) That the legal description and exhibit for the lot split/deed transfer meet the requirements of the City Engineer for format and content; and
- 2) That any lot split/deed transfer be recorded and that evidence thereof is provided to staff.

STAFF RECOMMENDATION: MOTION 2 (LEVEL B SITE PLAN)

Staff finds that the proposed site plan is generally consistent with the overall intent of the Code and appropriately addresses basic zoning requirements with the conditions as noted. Based on this finding, staff recommends that the proposed Level “B” Site Plan be approved with six conditions:

- 1) That necessary variances for security fencing be obtained from the BZA or that plans meet Code requirements;
- 2) That plans be revised to include the installation of the public sidewalk along Edwards Farm Drive to Davidson Road as required by Code and that street trees be installed to the satisfaction of the City Forester;
- 3) That the applicant provide a pedestrian access easement, if necessary, along Davidson Road for pedestrian connectivity to the satisfaction of the City Engineer;
- 4) That no additional access points be permitted north of this site and that any potential utility provider access is shared with the existing curbcut;
- 5) That an additional matching screenwall be located at the southwest corner of the building adjacent to the generator yard to screen from I-270; and
- 6) That all replacement tree calliper inches as required by Code be provided and that additional evergreen screening be provided in front of the retention pond along Edwards Farm Road and at the southeast corner of the perimeter fencing to visually screen the length of the generator yard from rights-of-way to the satisfaction of the Planning Director.

CONSIDERATIONS:

- **Site Overview.** The site is zoned B-3, Office/Institutional District and data centers are a permitted use for that zoning designation. To the east across Edwards Farm Road are “the pointe” apartments and the “All-About Kids” daycare and preschool zoned PUD, Planned Unit Development District. The site is bounded by Davidson Road and Smith Ditch to the south and I-270 to the west. To the north of the parent tract that includes this site is “the District” apartments within the City of Columbus.
- **Lot Size/Dimension.** In order to request a lot split, the proposed lot and residual tract must include a minimum lot size of 1.0 acre and a minimum lot width of 200 feet. The proposed split meets all requirements. Recording of any lot split/deed transfer will be required, if necessary, prior to development on the remainder of the property in accordance with the Hilliard Design Manual.
- **Minimum Lot Standards.** The following setbacks and standards within the B-3 District are required, and the proposed development will comply with all standards as part of the lot split request. Plans should be corrected as part of the permit submission to indicate a 50-foot building setback and 20-foot parking setback along the Davidson Road right-of-way.

B-3 District Development Standards	
Maximum Building Height	45 feet
Minimum Front Parking Setback	20 feet
Minimum Front Building Setback	50 feet
Minimum Side Setback	30 feet
Minimum Rear Setback	30 feet

- **Architecture.** Proposed architecture for the data center includes concrete tilt-up panels with varied textures and detailing. The building will include elements of tinted glass and dark gray louvers. The proposed structure will include a building height of 32 feet with a 4-foot tall parapet (36 feet) to screen mechanicals. Final verification of rooftop mechanical heights will be made at the time of permits to ensure Code compliance.
- **Screening.** Screening will be provided along the front sides of the building to visually block the proposed water tanks and generator yard. The design includes 24-foot high corrugated metal panels that will complement the high-tech appearance of the building and will require a variance from the fence code for height. *An additional metal screen panel should be provided at the southwest corner of the building to adequately screen the end of the generator yard from I-270. Plans should also be modified to include additional evergreen screening at the east end of the retention pond and southwest corner of the security fence to properly screen the length of the generator yard.*
- **Stormwater.** Plans incorporate a storm water basin adjacent to the Stream Corridor Protection Zone along the Smith Ditch. Proposed plans appear to meet requirements, and final engineering details will be completed as part of the permit process.
- **Access and Circulation.** The existing curb cut along Edwards Farm Road will be used for this site. Circulation/layout has been approved by the Norwich Township Fire Department. Any future integration of utility providers on or adjacent to the site in terms of a transformer yard or switching area will require shared access. No additional curb cuts onto Edwards Farm Road will be permitted.
- **Fencing.** Proposed security fencing will include an 8-foot tall ornamental metal fence that will enclose the building and vehicular use areas. The design will be similar in style to the Amazon project along Hayden Run Road. Due to needed security for the project, the height and placement of the fence forward of the building will require a variance from the Board of Zoning Appeals. *The fence location along Edwards Farm Drive should be modified to be set back uniformly from the right-of-way.*

- *Tree Preservation.* Plans indicate the removal of 86 inches of protected trees that require the installation of 29 three-inch caliper trees. The Code allows for the Planning Director to waive the replacement inches if species are undesirable; however, in this case staff recommends that all required inches be provided as part of additional screening for the generator yard.
- *Sidewalks.* Code requires the installation of sidewalks along public streets as part of the site development process. Construction of this site will include the installation of public sidewalk from the proposed north property line to the Davidson Road intersection along the extent of the Edwards Farm Road frontage. Plans should be revised to indicate the required 5-foot sidewalk. Code also requires a sidewalk along the Davidson Road frontage between Edwards Farm Road and I-270; however, at this time there are no plans to retrofit the bridge to accommodate a sidewalk. Any necessary easement should instead be provided to allow for future City installation in the future should the bridge design allow a connection on the north side.
- *Signage.* No signs have been requested, and any proposals will comply with Code or require necessary variances. Address numbering will be required per Code for emergency service identification.

[END OF REPORT | PZ-22-42]



July 6, 2022

Planning Director
City of Hilliard, OH

RE: Narrative for Level "B" land-use submittal

Oppidan Holdings, LLC is proposing a single-story, data center on a greenfield site in Hilliard, OH. The site is bounded by Edwards Farm Rd, Davidson Rd. and Interstate 270. The site is zoned B-3 and data center is a permitted use. Except for applying for a security fence through the Board of Zoning Appeals, the site plan will not have any variances.

The building will be approximately 90,000 SF and will be 36' tall to the top of parapet, and 32' to the top of the roof. The data center will have an exterior generator yard, that will be screened by the southern-most stream buffer, and exterior water tanks.

The site plan will have a single site entrance off Edwards Farm Rd, 25 parking stalls and an access road that loops the building.

The construction materials will be painted tilt-up concrete, and the elevation facing Edward Farms road will be the main building entrance with glass and eyebrow details. The plains of the elevation will be off-set in key areas in order to break-up the building massing.

The project schedule: begin site work in January 2023, complete the building shell by summer of 2023, and full occupancy and operations by January 2024.

Please do not hesitate to contact me with any questions.

Sincerely,

Drew Johnson
drew@oppidan.com
612-554-1897
SVP – Development
Oppidan Holdings, LLC

SHEET INDEX

C001 - TITLE SHEET
C100 - DEMOLITION & EXISTING CONDITIONS PLAN
C200 - SITE PLAN
C300 - PRELIMINARY UTILITY PLAN
C400 - PRELIMINARY GRADING PLAN
L1.01 - TREE PRESERVATION PLAN / TREE SURVEY
L2.01 - LANDSCAPE PLAN
L2.02 - LANDSCAPE DETAILS

LEVEL B SITE PLAN FOR
EDWARDS FARMS RD
DEVELOPMENT
CITY OF HILLIARD, FRANKLIN COUNTY, OHIO



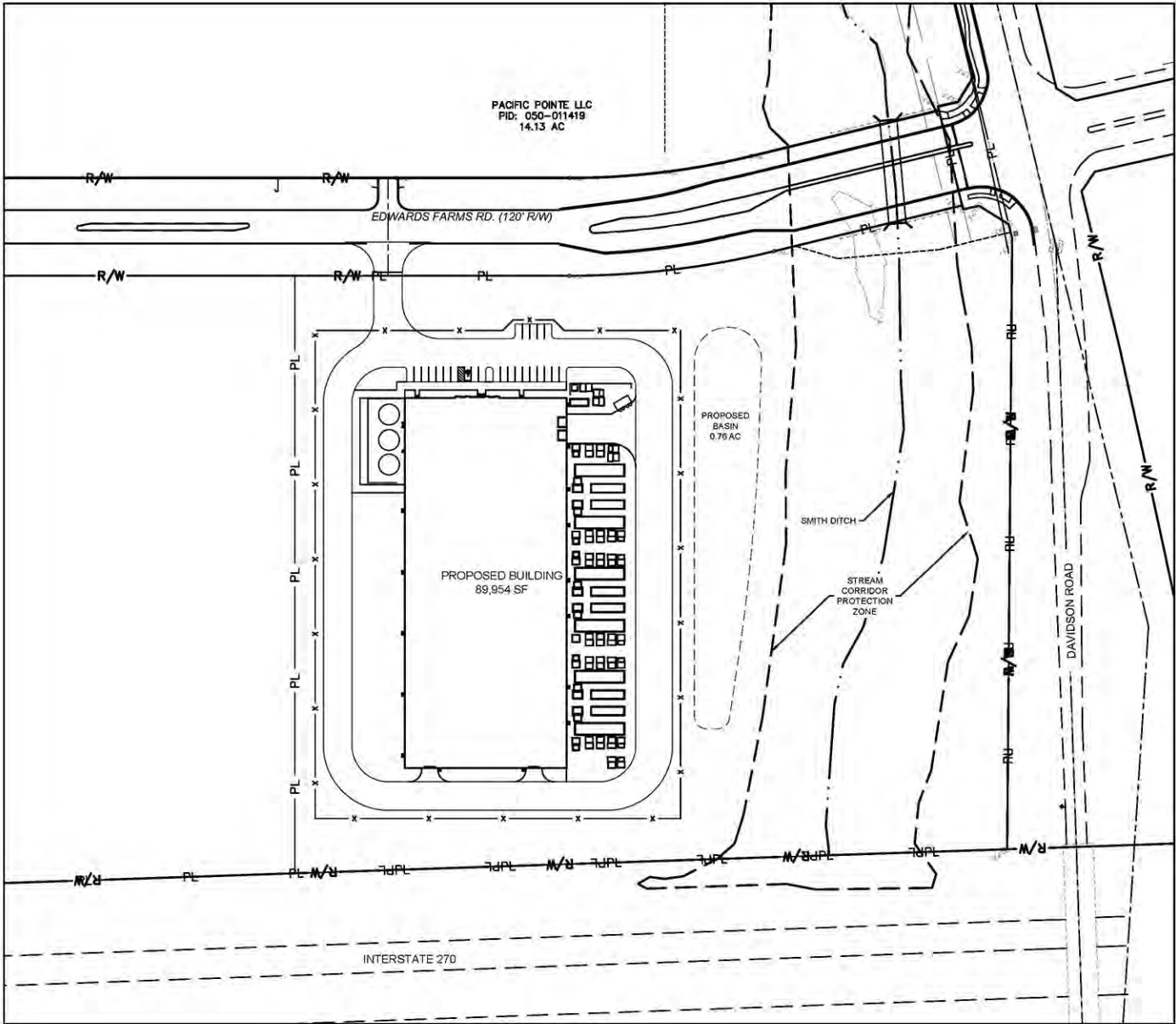
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STRUCTUREPOINT
INC.



2550 Corporate Exchange Dr., Ste 300 | Columbus, Ohio 43221
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LEVEL B SITE PLAN
FOR
EDWARDS FARMS RD
DEVELOPMENT
CITY OF HILLIARD, FRANKLIN COUNTY, OHIO
TITLE SHEET

ZONING:	
PARCEL ID:	050-006545
ZONING:	B-3 OFFICE INSTITUTIONAL DISTRICT
EXISTING SITE ACREAGE:	26.88 AC
PROPOSED SITE ACREAGE:	+/-14.92 AC
LOT WIDTH:	+/-843.75 FT
FEMA MAP PANEL & ZONE:	ZONE X PER 39049C0142K 06/17/2008
SITE LAYOUT DATA:	
STANDARD PARKING STALL:	9'x18'
ADA PARKING STALL:	8'x18'
REQUIRED PARKING:	1 PER 300 SF UFA
	7,247 SF UFA / 300 = 25 SPACES
PROVIDED PARKING:	25 SPACES (INCLUDING 1 ADA SPACE)
LANDSCAPE DATA:	
PRE-DEVELOPED IMPERVIOUS AREA:	0.00 AC
POST-DEVELOPED IMPERVIOUS AREA:	4.00 AC



INDEX MAP
1" = 150'



OWNER
WOOLPERT ENTERPRISES LIMITED
2592 CANTERBURY RD
COLUMBUS, OHIO 43221

DEVELOPER
OPPIDAN
400 WATER STREET, SUITE 200
EXCELSIOR, MINNESOTA 55331
CONTACT: DREW JOHNSON
PHONE: (925) 540-4180
EMAIL: DREW@OPPIDAN.COM

LANDSCAPE ARCHITECT
EDGE
330 W SPRING STREET, SUITE 300
COLUMBUS, OH 43215
CONTACT: BUZZ FORESI
PHONE: (614) 486-3343
BFORESI@EDGELA.COM

ENGINEER
AMERICAN STRUCTUREPOINT
2550 CORPORATE EXCHANGE DRIVE, SUITE 300
COLUMBUS, OHIO 43231
CONTACT: BENJAMIN J. MILLER
PHONE: 614-901-2235
EMAIL: BJMILLER@STRUCTUREPOINT.COM

ARCHITECT
SALAS O'BRIEN
2751 TULLER PKWY
DUBLIN, OH 43017
CONTACT: KAROLINE DERSE
PHONE: (206) 547-1940
EMAIL: KAROLINE.DERSE@SALASOBRIEN.COM



REGISTERED ENGINEER
BENJAMIN J. MILLER, E-76866, P.E.

DATE

DESCRIPTION

SHEET NO.

DATE

REVISIONS

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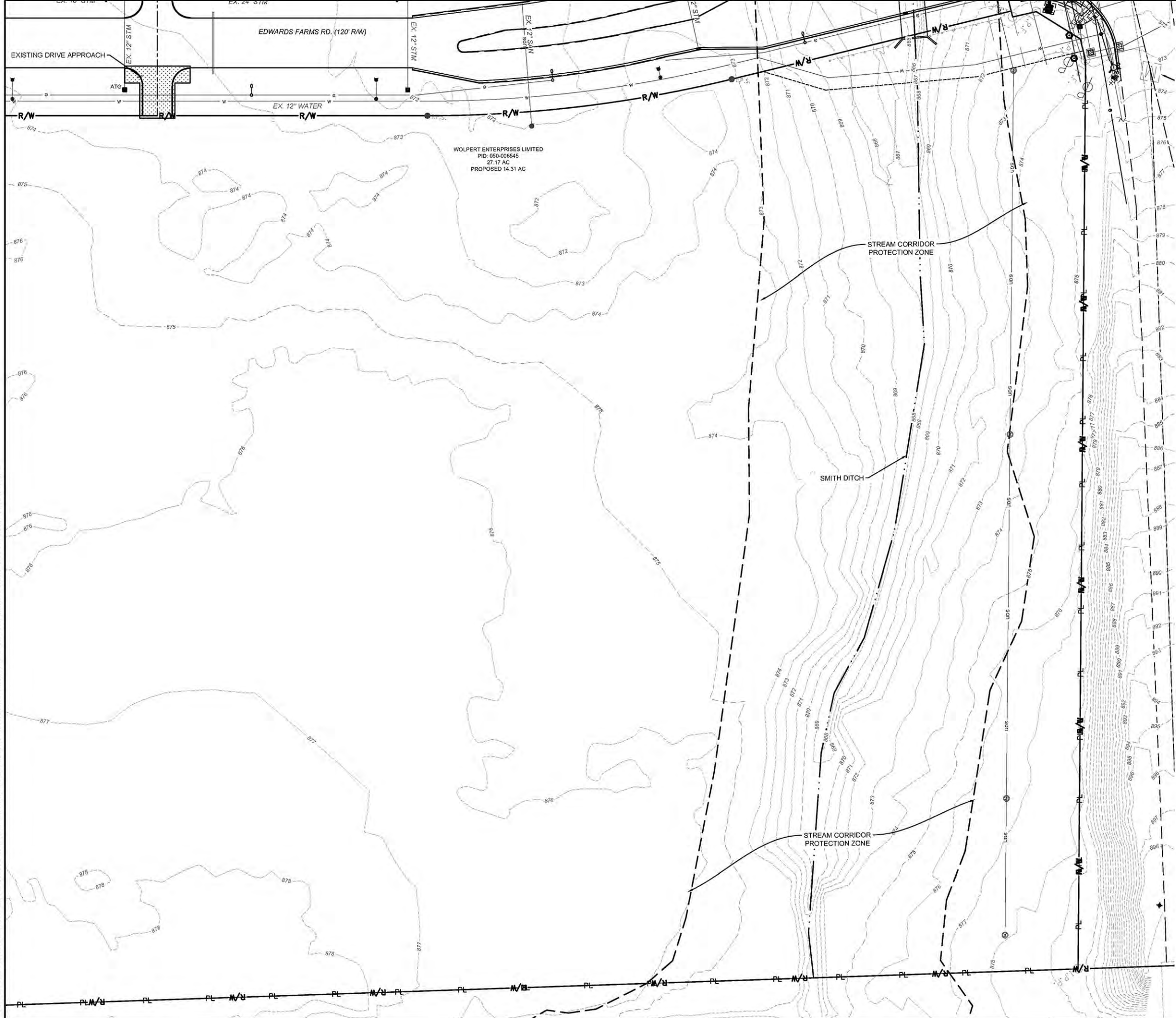
LEVEL B SITE PLAN
FOR
**EDWARDS FARMS RD
DEVELOPMENT**
CITY OF HILLIARD, FRANKLIN COUNTY, OHIO
**DEMOLITION & EXISTING
CONDITIONS PLAN**

REVISIONS	DATE	SHEET NO.	DESCRIPTION

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C100



EXISTING LEGEND

- PL PROPERTY LINE
- R/W RIGHT-OF-WAY
- PAVEMENT/SIDEWALK
- PAVEMENT STRIPING
- CURB
- ROAD CENTERLINE
- TREE DRIP LINE
- FENCE
- STREAM
- strn STORM SEWER
- san SANITARY SEWER
- w WATER LINE
- g GAS LINE
- fo FIBER OPTIC LINE
- e ELECTRIC
- ohe OVERHEAD ELECTRIC
- I.P.S. IRON PIN SET
- ⊕ TELEPHONE POLE

DEMOLITION LEGEND

- TBR TO BE REMOVED
- ATG ADJUST TO GRADE
- TBRR TO BE REMOVED AND REPLACED
- TBA TO BE ABANDONED
- DND DO NOT DISTURB
- Concrete Pavement To Be Removed

PLOT SCALE: 1"=11' EDIT DATE: 7/26/22 4:30 PM EDITED BY: MITCHELL DRAWING FILE: O:\2022\01395\DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\LEVEL B SITE PLAN\2022.01395 CE DXTD.DWG



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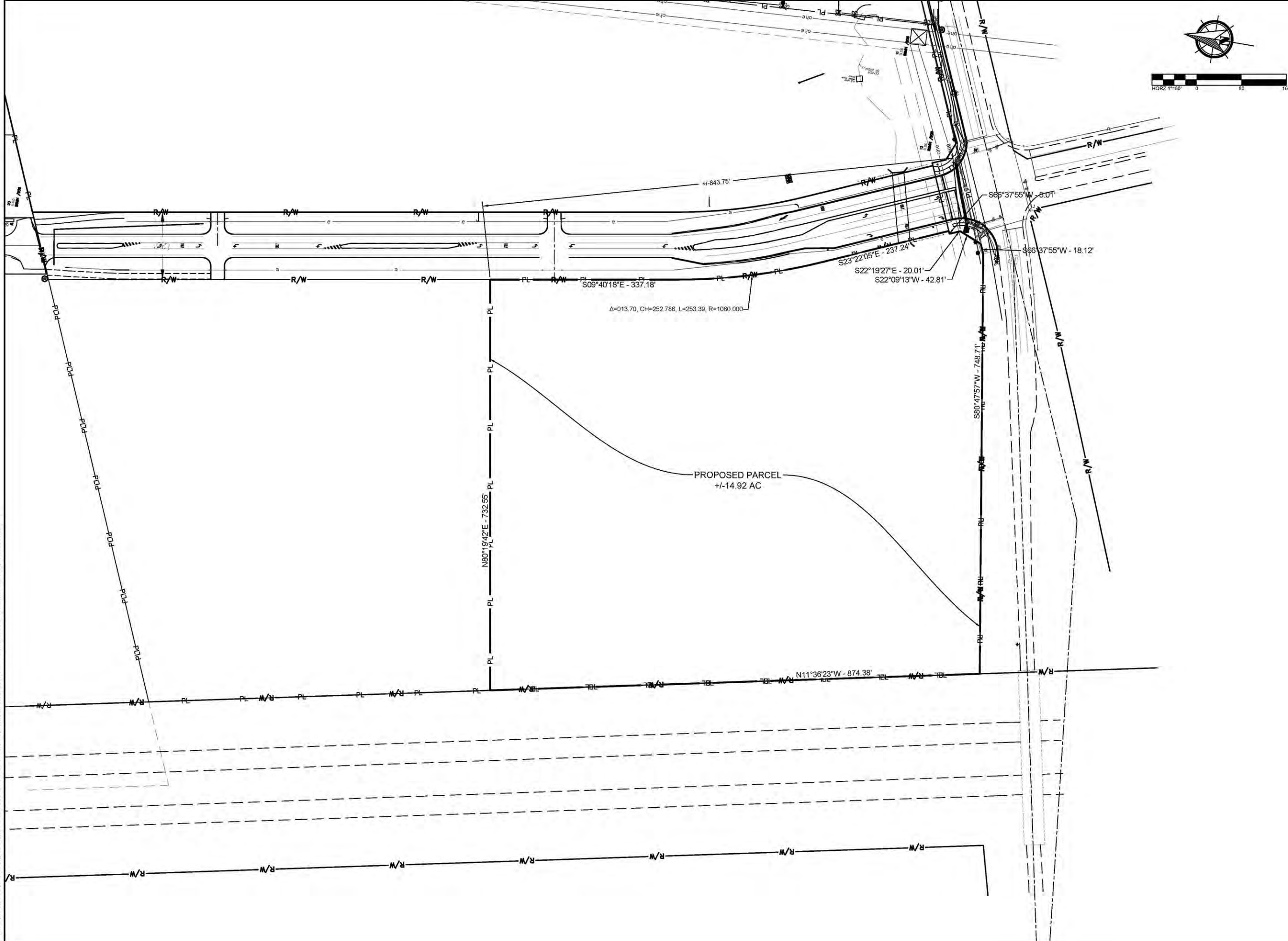
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CHECKED BY:	BJM
JOB NUMBER:	2022.01395



PLOT SCALE: 1"=60' DATE: 7/21/22 3:50 PM EDITED BY: AONG DRAWING FILE: 0102201395.D DRAWING CIVIL EXHIBITS PRELIMINARY LOT SPLIT EXHIBIT DWG

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INC.2550 Corporate Exchange Dr., Ste. 300 | Columbus, Ohio 43221
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CITY OF HILLIARD, FRANKLIN COUNTY, OHIO
SITE PLAN

DESCRIPTION

SHEET NO.

DATE

REVISIONS

DATE:

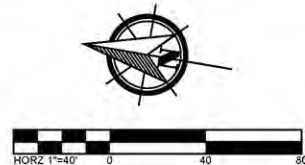
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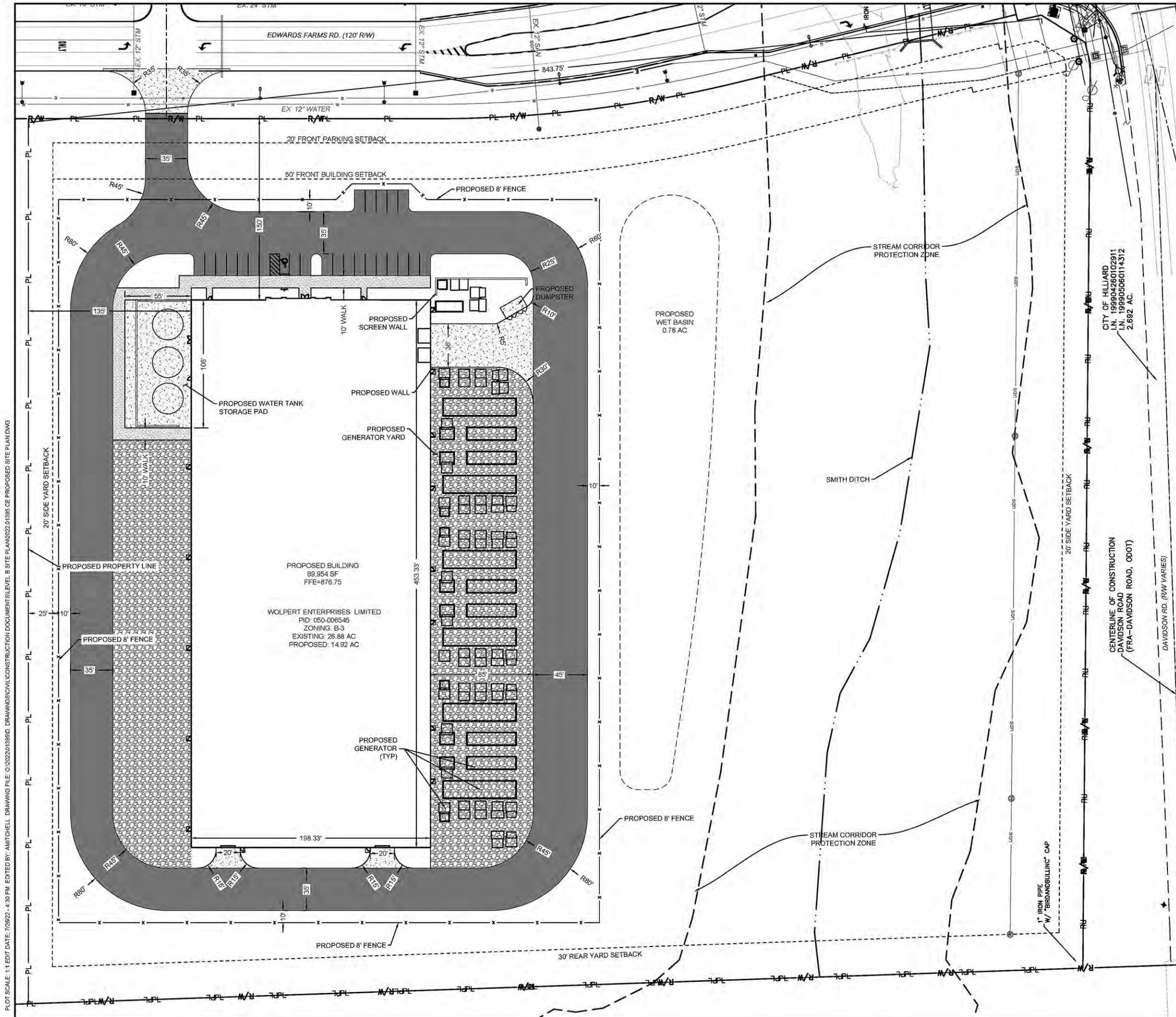
SITE LEGEND

- PL PROPERTY LINE
- R/W RIGHT-OF-WAY
- STRAIGHT CURB
- FENCE
- PARKING BLOCK
- SIGN
- HEAVY DUTY ASPHALT PAVEMENT
- MEDIUM DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE
- CONCRETE WALK
- GRAVEL

NOTES

- ALL RADII SHALL BE 4'-6" UNLESS OTHERWISE NOTED.
- ALL REGULAR PARKING SPACES SHALL BE 9'X18' AND ALL ADA PARKING SPACES SHALL BE 8'X18'.

STANDARD PARKING STALL:	9'X18'
ADA PARKING STALL:	8'X18'
REQUIRED PARKING:	1 PER 300 SF UFA 7,247 SF UFA / 300 = 25 SPACES
PROVIDED PARKING:	25 SPACES (INCLUDING 1 ADA SPACE)



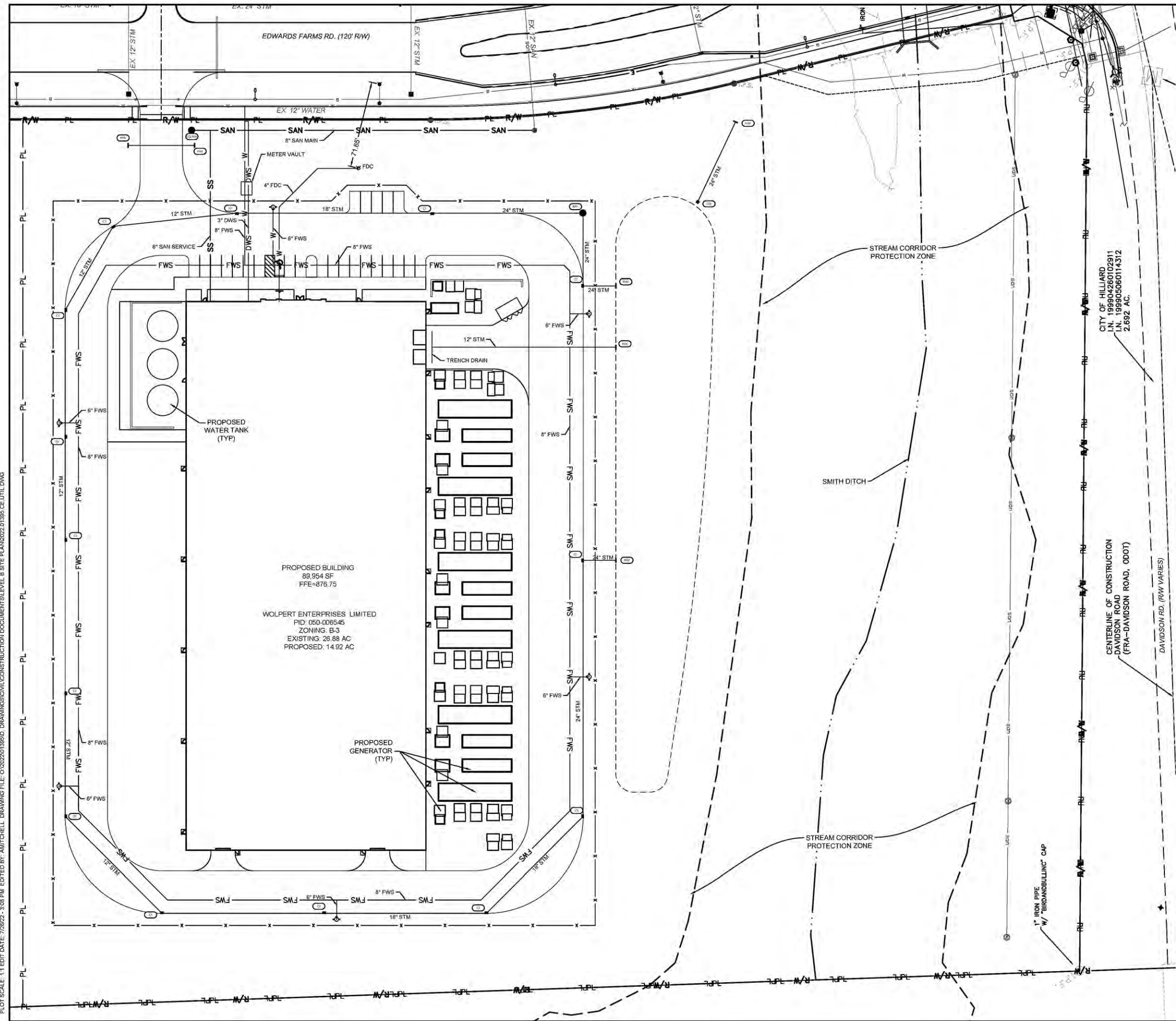
FOR
EDWARDS FARMS RD
DEVELOPMENT
CITY OF HILLIARD, FRANKLIN COUNTY, OHIO
PRELIMINARY UTILITY PLAN

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OWN BY:	AWO
CKED BY:	BJM
NUMBER:	2022 01395

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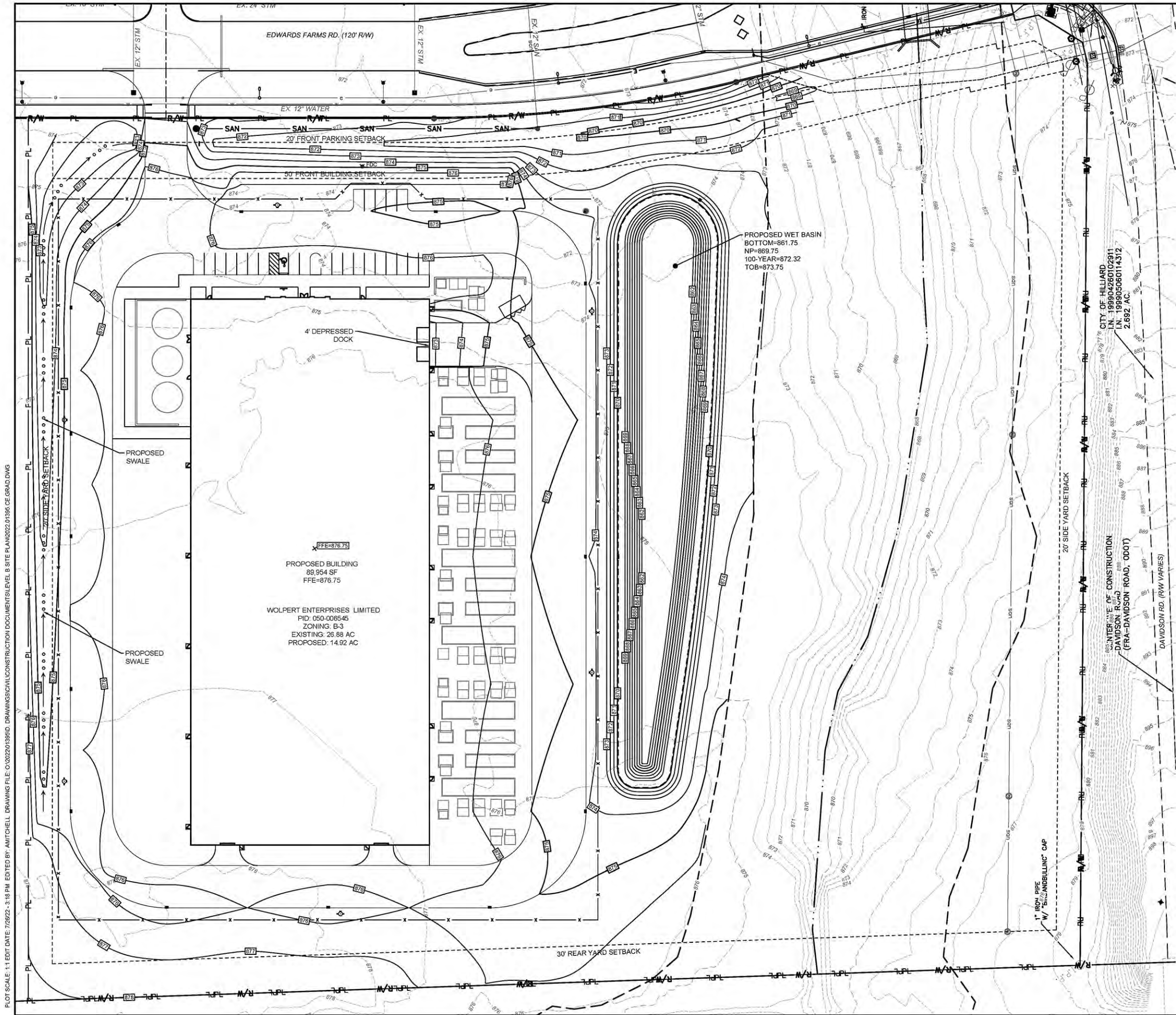
LEVEL B SITE PLAN
FOR
EDWARDS FARMS RD
DEVELOPMENT
CITY OF HILLIARD, FRANKLIN COUNTY, OHIO
PRELIMINARY GRADING PLAN

REVISIONS	DATE	SHEET NO.	DESCRIPTION

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DATE: 07/26/2022
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JOB NUMBER: 2022.01395

C400



- GRADING LEGEND
- PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - FINISHED FLOOR ELEVATION
 - NORMAL POOL
 - SWALE
 - ADJUST TO GRADE

PLOT SCALE: 1"=11' EDIT DATE: 7/26/22 3:16 PM EDITED BY: MITCHELL DRAWING FILE: O:\2022\01395\DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\LEVEL B SITE PLAN\2022.01395 CE GRAD.DWG



LEVEL B SITE PLAN
FOR
OPPIDAN EDWARDS FARMS
CITY OF HILLIARD, FRANKLIN COUNTY, OHIO
TREE PRESERVATION PLAN /
TREE SURVEY

DESCRIPTION

SHEET NO.

DATE

REVISIONS

APPROVAL PENDING NOT FOR CONSTRUCTION
IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

DATE: 07/26/2022
DRAWN BY: BDF
CHECKED BY: BDF
JOB NUMBER: 2022.01395

L1.01

GENERAL NOTES

- ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED. TREES TO BE PRESERVED SHALL BE PROTECTED WITH HIGH VISIBILITY TREE PROTECTION FENCE AS SHOWN ON PLAN.
- ONLY TREES 6" CAL. (DBH) AND LARGER WITHIN DEVELOPMENT LIMITS NOTED ON THESE PLANS.
- PROTECTION FENCING OR BARRIER SHALL REMAIN THROUGHOUT CONSTRUCTION AND ANY SUBSEQUENT GRADING OR EXCAVATION UNLESS OTHERWISE APPROVED ON A CLEARING AND GRADING PLAN. IN NO CASE SHALL MATERIALS, DEBRIS, FILL, VEHICLES OR EQUIPMENT BE STORED WITHIN THIS ENCLOSURE.

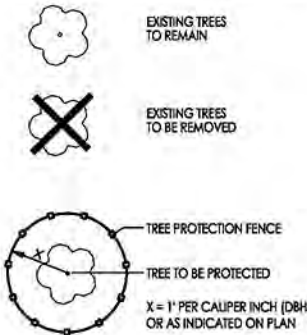
TREE INVENTORY SCHEDULE

KEY	TREE SPECIE (COMMON NAME)	DBH	COMMENTS
1	CHERRY	10"	REMOVE *
2	CHERRY	12"	REMOVE *
3	CHERRY	12"	REMOVE *
4	WALNUT	12"	REMOVE *
5	HONEYLOCUST	8"	REMOVE
6	HACKBERRY	10"	REMOVE
7	CHERRY	8"	REMOVE *
8	HACKBERRY	8"	REMOVE
9	CHERRY	6"	REMOVE *
10	MAPLE	18"	PRESERVE
11	HACKBERRY	12"	PRESERVE
12	HACKBERRY	8"	PRESERVE
13	WALNUT	10"	PRESERVE
14	WALNUT	10"	PRESERVE
15	HACKBERRY	8"	PRESERVE
16	HACKBERRY	20"	PRESERVE
17	HACKBERRY	10"	PRESERVE
18	MAPLE	8"	PRESERVE
19	MAPLE	30"	PRESERVE
20	HACKBERRY	10"	PRESERVE
21	HACKBERRY	12"	PRESERVE
22	COTTONWOOD	38"	PRESERVE
23	COTTONWOOD	40"	PRESERVE
24	COTTONWOOD	38"	PRESERVE
25	HACKBERRY	10"	PRESERVE
26	HACKBERRY	24"	PRESERVE
27	HACKBERRY	18"	PRESERVE
28	HACKBERRY	12"	PRESERVE
29	HACKBERRY	14"	PRESERVE
30	HACKBERRY	12"	PRESERVE
31	HACKBERRY	14"	PRESERVE
32	HACKBERRY	12"	PRESERVE
33	CHERRY	14"	PRESERVE
34	HACKBERRY	10"	PRESERVE
35	HACKBERRY	8"	PRESERVE
36	HACKBERRY	18"	PRESERVE
37	HACKBERRY	12"	PRESERVE
38	HACKBERRY	14"	PRESERVE
39	COTTONWOOD	38"	PRESERVE
40	COTTONWOOD	40"	PRESERVE
41	HACKBERRY	14"	PRESERVE

TOTAL TREE CALIPER (DBH) REMOVED = 86"
TREES EXCLUDED FROM REPLACEMENT = 60" *
TOTAL TREE CALIPER (DBH) BEING REPLACED = 26"

* PENDING APPROVAL OF PLANNING DIRECTOR OR CITY FORESTER - EXISTING TREE IS AN INAPPROPRIATE OR UNDESIRABLE SPECIE...and LOCATED IN AN UNDESIRABLE LOCATION.
TREES EXCLUDED FROM REPLACEMENT PER 1125.04 (h)(1)(b) D

LEGEND



PROPOSED DEVELOPMENT

NOTE:
TREE PROTECTION FENCE SHOWN IS APPROXIMATE -
FINAL PROTECTION FENCE BY CIVIL ENGINEER

DAVIDSON ROAD

EDWARDS FARMS ROAD



PRELIMINARY
NOT FOR CONSTRUCTION

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LANDSCAPE ARCHITECTURE
URBAN DESIGN
330 W. SPRING STREET, SUITE 350
COLUMBUS, OH 43215
614.486.3343
www.edgepa.com

LEVEL B SITE PLAN
FOR
OPPIDAN EDWARDS FARMS
CITY OF HILLARD, FRANKLIN COUNTY, OHIO

LANDSCAPE PLAN

DESCRIPTION

SHEET NO.

DATE

REVISIONS

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OF COMPLETING THE FINAL DESIGN.DATE: 07/26/2022
DRAWN BY: BDF
CHECKED BY: BDF
JOB NUMBER: 2022.01395

L2.01

CONSTRUCTION NOTES

1. LAWN AREA, FILL/ REGRADE ALL AREAS DISTURBED BY CONSTRUCTION. FILL AREAS WITH TOPSOIL, MINIMUM DEPTH SHALL BE 4". MEET ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES AND SEED WITH TURF-TYPE TALL FESCUE MIX.
2. LANDSCAPE AREA, FILL WITH PLANTING SOIL, MINIMUM DEPTH SHALL BE 12". MEET ADJACENT SURFACES FLUSH. INSTALL PLANT MATERIAL AS INDICATED AND MULCH.

LEGEND

REPLACEMENT TREE - 3" CALIPER (TYP.)
(9) TOTAL REPLACEMENT TREES =
27 INCHES REPLACED (@3" CAL. EACH)(20) 3" CAL. TREES = 60 INCHES
COMPLYING WITH SECTION 1125.04(c)

GENERAL LANDSCAPE NOTES:

1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
4. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
6. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
7. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN.
8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
9. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

LANDSCAPE CODE SUMMARY

CODE SECTION	REQUIRED	PROVIDED
1125.04(c) Landscape Design Standards	...there shall be landscaped areas equal to 20 sf for every 1,000 sf of building coverage area and one inch in tree size for every 1,500 sf of building surface coverage (2" min caliper size) 89,953 SF / 1,000 = 89.9 x 20 = 1,798 SF landscape area required and 89,953 SF / 1,500 = 59.97 or 60' of trees required	2,000 SF of landscape area provided 60' of trees provided (20) @ 3" caliper each
1125.05(b) Landscape Design Standards	...perimeter parking lot landscaping North & South 10' buffer with 2 small tree and 30 shrubs/ 100 linear feet 576 / 100 = 5.76 x 30 = 172.8 or 173 shrubs 5.76 x 2 = 11.52 or 12 trees West 20' buffer with 2 large/ medium trees and 30 shrubs/ 100 linear feet 428' / 100 = 4.28 x 30 = 128.4 or 129 shrubs 4.28 x 2 = 8.56 or 9 trees	North & South 173 shrubs 12 small trees West 129 shrubs 9 large/ medium trees
1125.05 Vehicular Use Areas	(b) Perimeter Landscaping Vehicular Use Areas adjacent to or abutting any: Public street or private street Minimum Perimeter Landscape Width: 20 feet Required Trees (per 100 linear feet): Two (2) Staggered Large or Medium Trees 277 linear feet/ 100 = 2.7 x 2 = 5.4 or 6 trees Required Shrubs (per 100 linear feet): Thirty (30) staggered deciduous or evergreen shrubs 277 linear feet/ 100 = 2.7 x 30 = 81 shrubs	(b) Perimeter Landscaping Width: 77 feet Trees: 6 Large Shrubs: 81 evergreen
1125.06 Vehicular Use Areas	(c) Interior Landscaping All single row parking landscape islands and peninsulas shall be a minimum of 180 square feet in area with a minimum width of nine feet measured from back of curb to back of curb. Each island and peninsula shall contain a minimum of one large or medium tree and four evergreen or deciduous shrubs or ornamental grasses.	(c) Interior Landscaping One medium tree and (5) or more shrubs provided at each island as indicated on plan.
1125.06 Buffering and Screening	(a) Extent/Applicability. Land use buffers shall be provided in accordance with the standards of this section, provided the city planning staff and/or Planning Commission shall be authorized to modify or waive buffer or landscape planting requirements. When landscape buffer requirements are modified or waived, the city planning staff and/or Planning Commission may require that additional plant material be added within remaining buffers or elsewhere on the site. Buffer requirements may only be waived if it is determined that: (1) Buffers will not serve any useful purpose due to the fact that fences, walls, berms, or landscaping of at least equivalent height, opacity and maintenance already exist on the adjacent parcel; (2) Buffers will not serve any useful purpose due to the location of uses, vehicles, buildings, structures, or storage, loading display or service areas; or (3) The area of required buffers would exceed 25 percent of the site proposed for development. w parking landscape islands and peninsulas shall be a minimum of 180 square feet in area with a minimum width of nine feet measured from back of curb to back of curb. Each island and peninsula shall contain a minimum of one large or medium tree and four evergreen or deciduous shrubs or ornamental grasses.	No buffering provided per Table 1125-6 Misc. Type 1 adjacent to Misc. Type 1

PLANT KEY

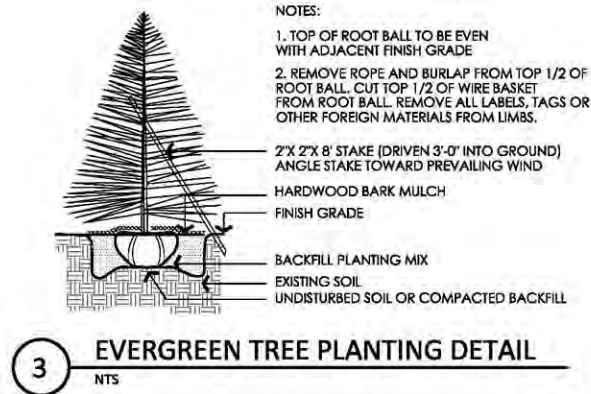
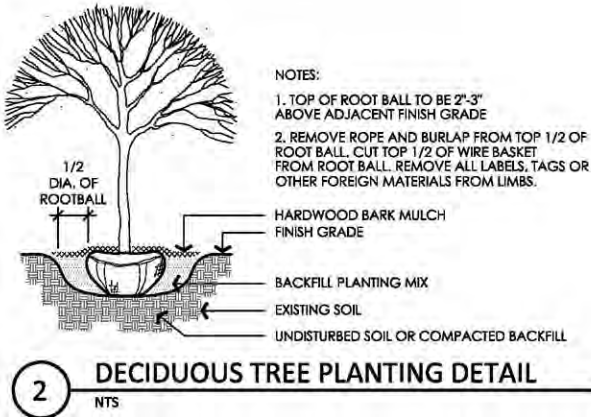
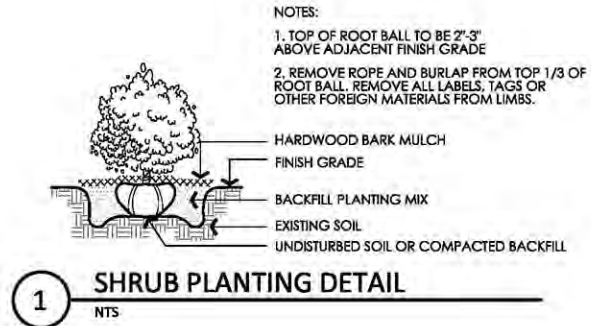
NOTE:
SEE SHEET L2.02 FOR
COMPLETE PLANT SCHEDULE

KEY	COMMON NAME
DECIDUOUS TREES	
AFR	FREEMAN MAPLE
LTU	TULIP TREE
PAB	BLOODGOOD LONDON PLANETREE
QRU	RED OAK
QBI	SWAMP WHITE OAK
TDI	BALD CYPRESS
NSY	BLACK GUM
UPA	LACEBARK ELM
UAM	PRINCETON ELM
SRI	IVORY SILK TREE LILAC
UPA	SKYLINE HONEYLOCUST

EVERGREEN TREES	
JCS	SPARTAN JUNIPER
SHRUBS	
RGL	GRO-LOW SUMAC
TOW	WOODWARD GLOBE ARBORVITAE
TMD	DENSE YEW
SAW	ANTHONY WATERER SPIREA
CAS	SIXTEEN CANDLES SUMMERSWEET
AMA	AUTUMN MAGIC BLACK CHOKEBERRY
PERENNIALS / GRASSES/ GROUNDCOVERS	
NWL	JUNIOR WALKER CATMINT
HHR	HAPPY RETURNS DAYLILY
MSA	ADAGIO MAIDEN GRASS
CKF	FEATHER REED GRASS

PRELIMINARY
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LANDSCAPE ARCHITECTURE
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COLUMBUS, OH 43215
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www.edgea.com

PLOT SCALE: 1"=1' EDIT DATE: 7/26/22 2:05 PM EDITED BY: BFORESI DRAWING FILE: P:\DATA\CLIENTS\AMERICAN STRUCTURE\POINT2118 EDWARDS FARMS RD PH1\200 - DESIGN\201 - QAD\2118 L2.01.DWG



PLANT MATERIALS LIST

NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES					
AFR	FREEMAN MAPLE	Acer x freemanii	3" Cal.	B&B	MATCHED FORM
LTU	TULIP TREE	Liriodendron tulipifera	3" Cal.	B&B	
PAB	BLOODGOOD LONDON PLANETREE	Platanus x acerifolia 'Bloodgood'	3" Cal.	B&B	
QRU	RED OAK	Quercus rubra	3" Cal.	B&B	
QBI	SWAMP WHITE OAK	Quercus bicolor	3" Cal.	B&B	
TDI	BALD CYPRESS	Taxodium distichum	3" Cal.	B&B	
NSY	BLACK GUM	Nyssa sylvatica	3" Cal.	B&B	
UPA	LACEBARK ELM	Ulmus parvifolia	3" Cal.	B&B	
UAM	PRINCETON ELM	Ulmus americana 'Princeton'	3" Cal.	B&B	MATCHED FORM; SPACED @ 45' O.C. *
SRI	IVORY SILK TREE LILAC	Syringa reticulata 'Ivory Silk'	2" Cal.	B&B	
GTI	SKYLINE HONEYLOCUST	Gleditsia triacanthos f. inermis 'Skycole'	3" Cal.	B&B	
EVERGREEN TREES					
JCS	SPARTAN JUNIPER	Juniperus chinensis 'Spartan'	6' Hgt.	B&B	
SHRUBS					
RGL	GRO-LOW SUMAC	Rhus aromatica 'Gro-Low'	24" Spr.	Cont.	
TOW	WOODWARD GLOBE ARBORVITAE	Thuja occidentalis 'Woodwardii'	24"-30" Hgt.	Cont.	
TMD	DENSE YEW	Taxus x media 'Densifolia'	24"-30" Hgt.	Cont.	
SAW	ANTHONY WATERER SPIREA	Spiraea x bumalda 'Anthony Waterer'	24" Hgt.	Cont.	
CAS	SIXTEEN CANDLES SUMMERSWEET	Clethra alnifolia 'Sixteen Candles'	24" Hgt.	Cont.	
AMA	AUTUMN MAGIC BLACK CHOKEBERRY	Aronia melanocarpa 'Autumn Magic'	24"-30" Hgt.	Cont.	
PERENNIALS / GRASSES / GROUNDCOVERS					
NWL	JUNIOR WALKER CATMINT	Nepeta racemosa 'Walker's Low'	1 Gal.	Cont.	
HHR	HAPPY RETURNS DAYLILY	Hemerocallis 'Happy Returns'	1 Gal.	Cont.	
MSA	ADAGIO MAIDEN GRASS	Miscanthus sinensis 'Adagio'	2 Gal.	Cont.	
CKF	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 Gal.	Cont.	

* STREET TREE SPECIE NOTED IS PRELIMINARY. FINAL SPECIE TO BE PROVIDED BY CITY FORESTER.

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LEVEL B SITE PLAN
FOR
OPPIDAN EDWARDS FARMS
CITY OF HILLARD, FRANKLIN COUNTY, OHIO

LANDSCAPE DETAILS

REVISIONS	DATE	SHEET NO.	DESCRIPTION

APPROVAL PENDING NOT FOR CONSTRUCTION
IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

DATE:	07/26/2022
DRAWN BY:	BDF
CHECKED BY:	BDF
JOB NUMBER:	2022.01395

L2.02

PRELIMINARY
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LANDSCAPE ARCHITECTURE
URBAN DESIGN
330 W. SPRING STREET, SUITE 350
COLUMBUS, OH 43215
614.486.3343
www.edgeila.com



ARCHITECTURAL CONSULTANT



MEP ENGINEER

STRUCTURAL CONSULTANT

PROJECT DELIVERY STATUS

Project: OPIDAN PROTOTYPE DATA CENTER

Sheet Title: OVERALL FLOOR PLAN

CONFIDENTIAL

Issue
Date & Description
07/12/2022 - DD PLAN

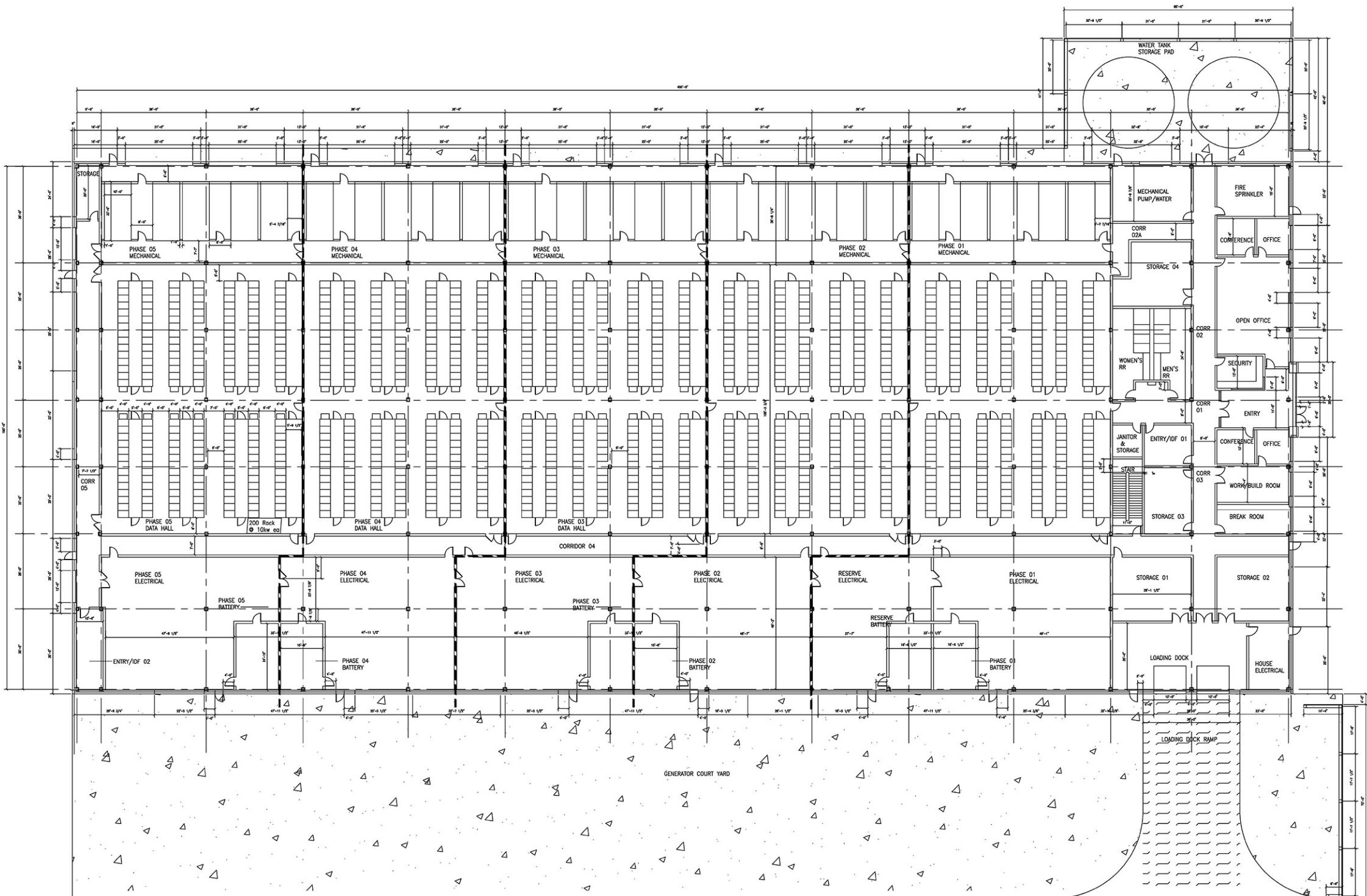
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ISSUE DATE: 07/11/2022
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ARCHITECT: BR

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A001

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7-12-22 10mw plan

1 OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"



SALASO'BRIEN

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REVISIONS

NO.	DATE	DESCRIPTION
A	5/27/22	FOR CITY REVIEW
B	6/27/22	DO CLIENT REVIEW
T	7/15/22	50% DD
C	7/26/22	LAND USE

OPPIDAN
EDWARDS FARMS RD
DEVELOPMENT
 PROTOTYPE DATA CENTER
 CITY OF HILLIARD, FRANKLIN COUNTY, OHIO

PROJECT MANAGER:

BR

CHECKED BY:

BR

DRAWN BY:

DMO

DOCUMENT DATE:

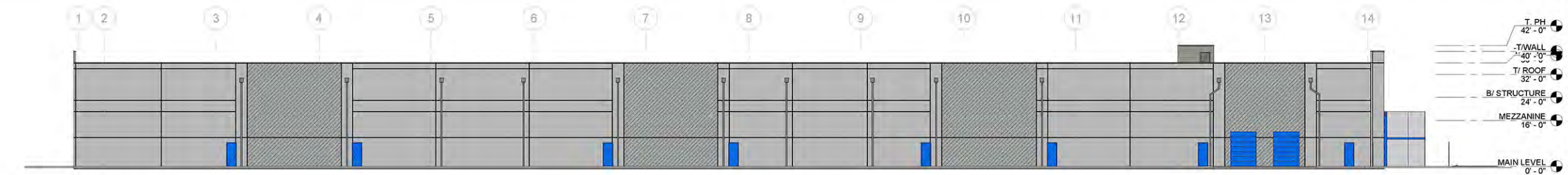
7/15/2022

SHEET NAME:

LAND USE ELEVATIONS

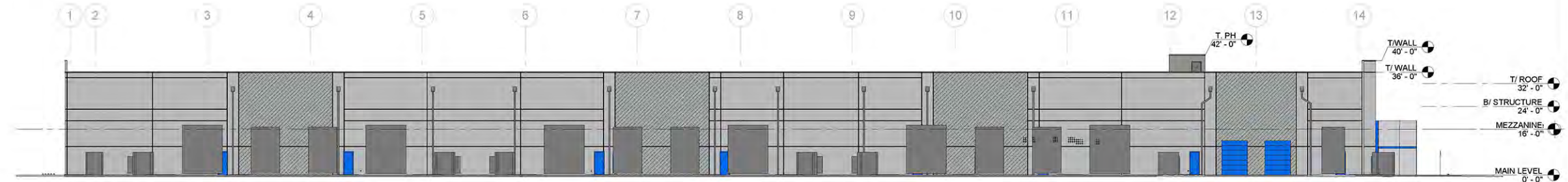
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A603



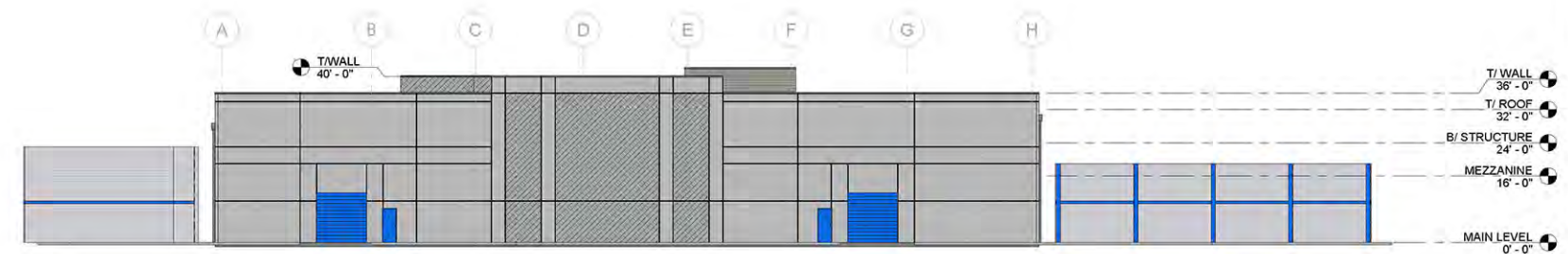
1 EAST BUILDING ELEVATION

A603 1/16" = 1'-0"



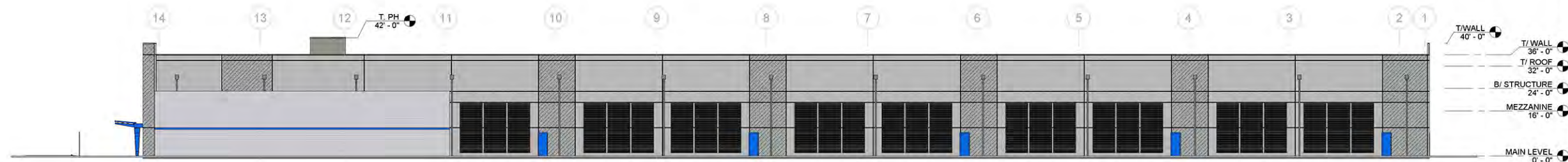
2 EAST BUILDING ELEVATION WITH ELECTRICAL EQUIPMENT

A603 1/16" = 1'-0"



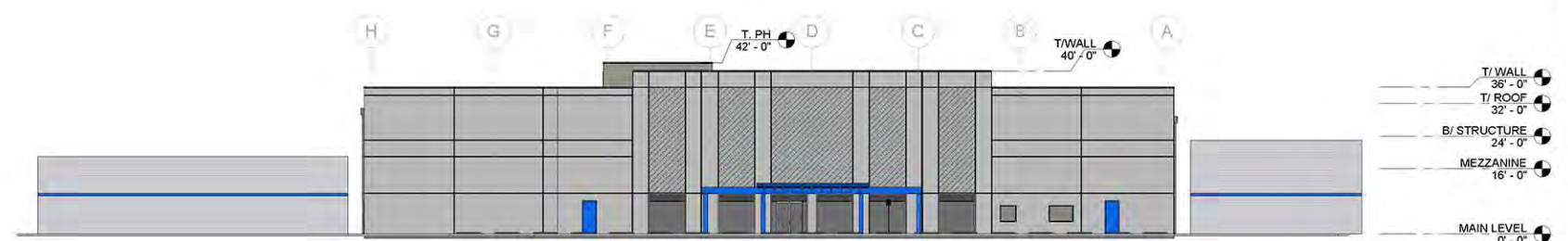
3 SOUTH BUILDING ELEVATION

A603 1/16" = 1'-0"



4 WEST BUILDING ELEVATION

A603 1/16" = 1'-0"



5 NORTH BUILDING ELEVATION

A603 1/16" = 1'-0"



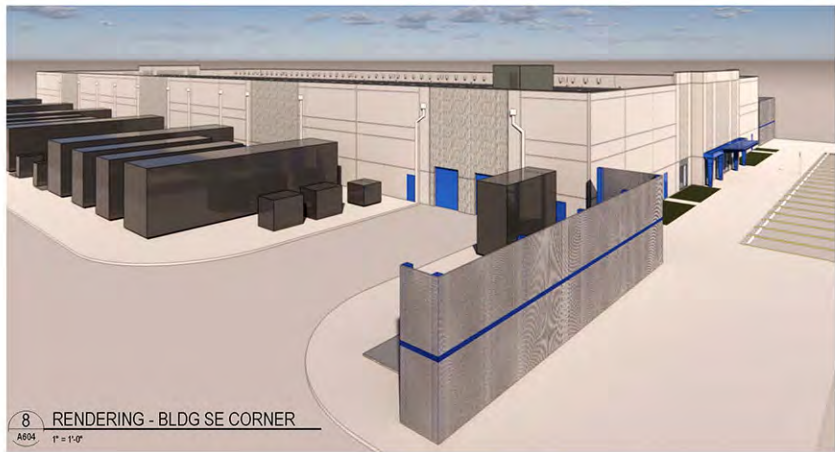
6 RENDERING - BLDG ENTRY SIDE
A604 1" = 1'-0"



11 RENDERING - BLDG ENTRY
A604 1" = 1'-0"



7 RENDERING - BLDG NW CORNER
A604 1" = 1'-0"



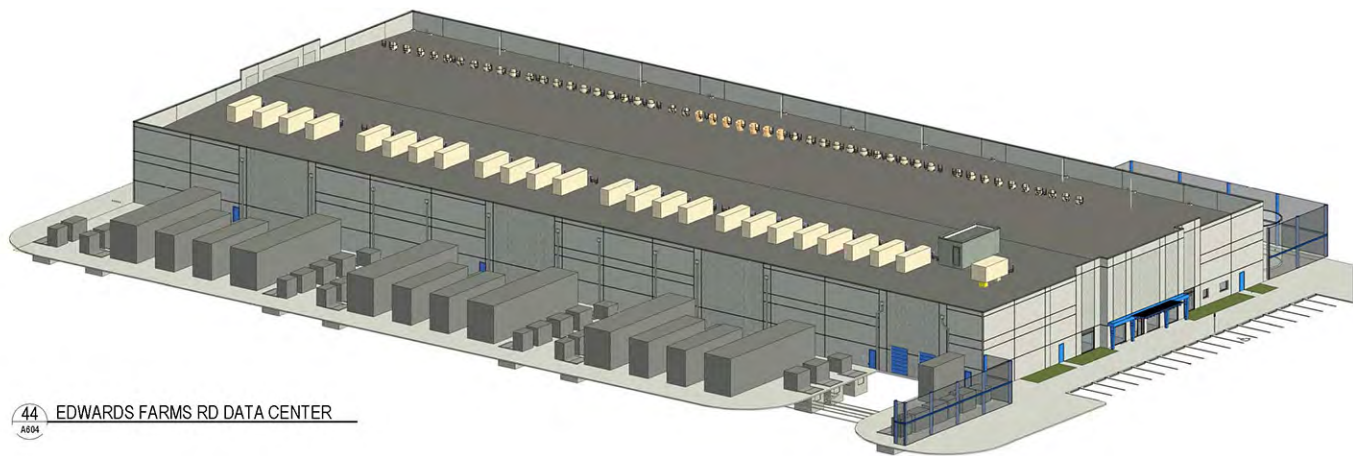
8 RENDERING - BLDG SE CORNER
A604 1" = 1'-0"



9 RENDERING - BLDG SW CORNER
A604 1" = 1'-0"



22 RENDERING - BLDG NE CORNER
A604 1" = 1'-0"



44 EDWARDS FARMS RD DATA CENTER
A604



55 RENDERING - BLDG FRONT
A604 1" = 1'-0"

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REVISIONS

NO.	DATE	DESCRIPTION
1	7/15/22	50% DD

OPPIDAN
EDWARDS FARMS RD
DEVELOPMENT
PROTOTYPE DATA CENTER
CITY OF HILLIARD, FRANKLIN COUNTY, OHIO

PROJECT MANAGER:

BR

CHECKED BY:

BR

DRAWN BY:

DMO

DOCUMENT DATE:

7/15/2022

SHEET NAME:

LAND USE RENDERINGS

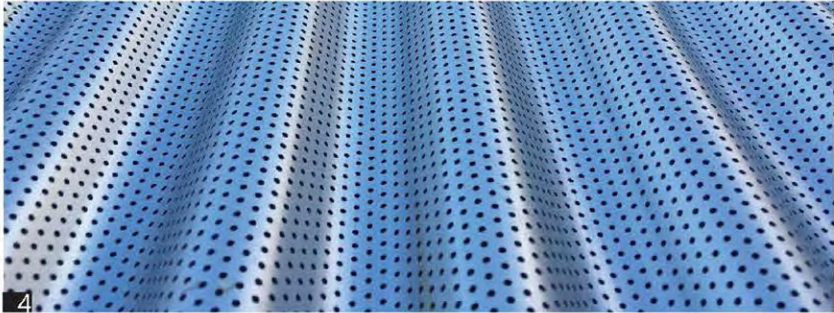
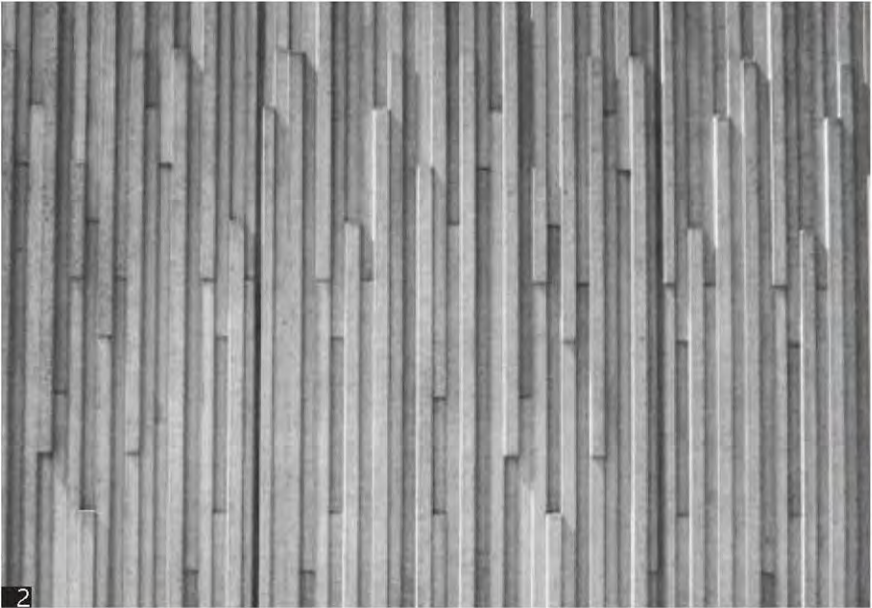
SHEET NO.

A604

EXTERIOR FINISHES

(FINISHES LISTED IN ORDER FROM TOP LEFT TO RIGHT)

- 1. SMOOTH CONCRETE TILT UP PANELS
- 2. RANDOM PLANK CONCRETE TILT UP PANEL ACCENTS
- 3. METAL ENTRANCE CANOPY
- 4. PERFORATED PANELS IN WAVE PATTERN
- 5. DOORS AND DOOR FRAMES
- 6. CONCRETE PANELS WITH DARK GRAY COPING
- 7. ROLL UP DOORS
- 8. 3D RENDERING OF BUILDING
- 9. WAVY PERFORATED PANEL INSTALLATION
- 10. GLASS FINISH
- 11. DARK GRAY LOUVERS
- 12. METAL SCREEN FRAMES, CANOPY, DOORS AND FRAMES BLUE FINISH
- 13. ALUMINUM STOREFRONT SYSTEM
- 14. LOUVER, COPING, DOWNSPOUT GRAY FINISH





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REVISIONS

NO.	DATE	DESCRIPTION
1	7/15/22	50% DD
C	1/29/23	LAND USE

OPPIDAN

EDWARDS FARMS RD DEVELOPMENT PROTOTYPE DATA CENTER

CITY OF HILLIARD, FRANKLIN COUNTY, OHIO

PROJECT MANAGER:

BR

CHECKED BY:

BR

DRAWN BY:

DMO

DOCUMENT DATE:

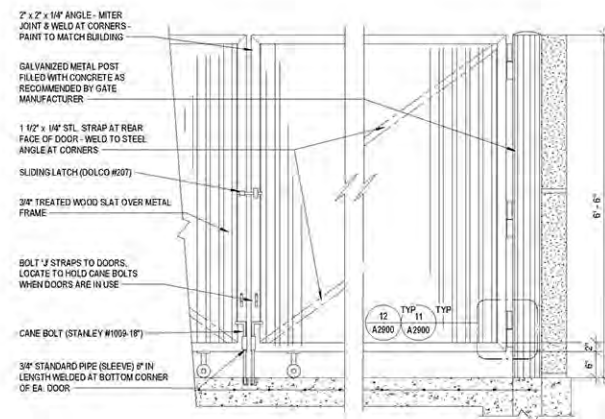
7/15/2022

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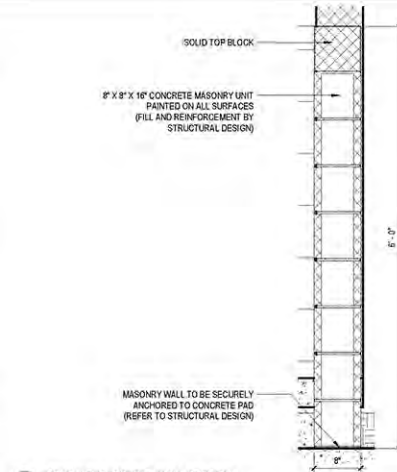
ARCHITECTURAL
DETAILS

SHEET NO.

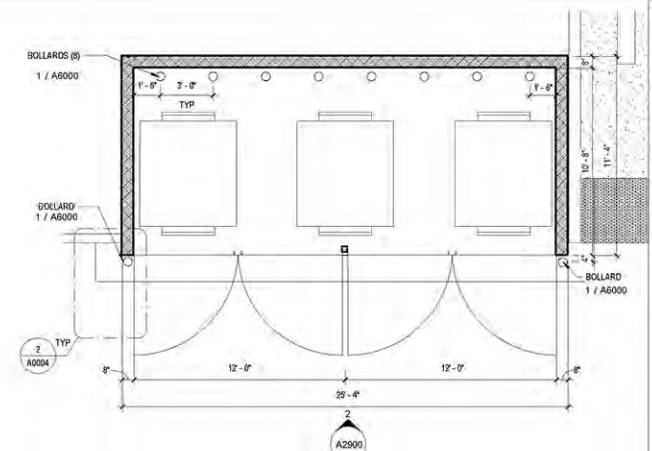
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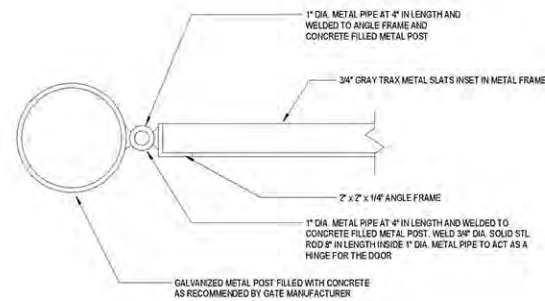
9 TRASH ENCLOSURE - GATE DETAIL
SCALE: 3/4" = 1'-0"



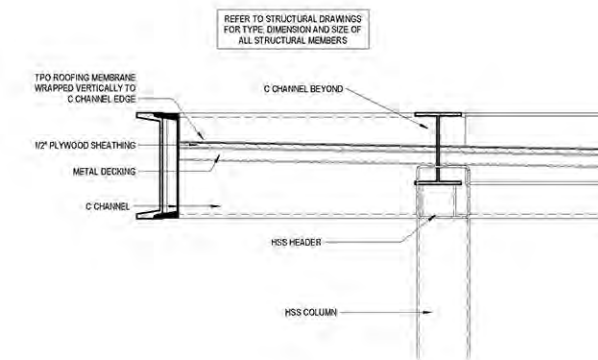
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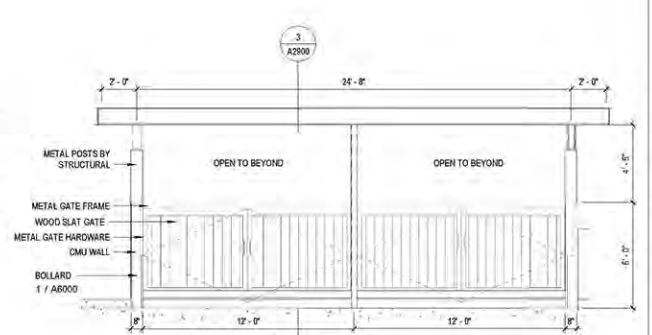
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SCALE: 1/4" = 1'-0"



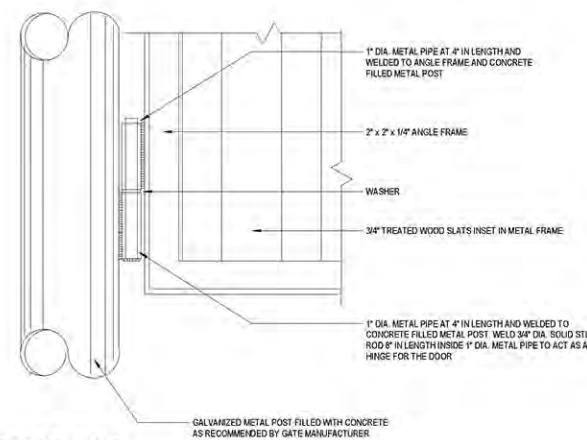
10 TRASH ENCLOSURE - GATE JAMB
SCALE: 1/2" = 1'-0"



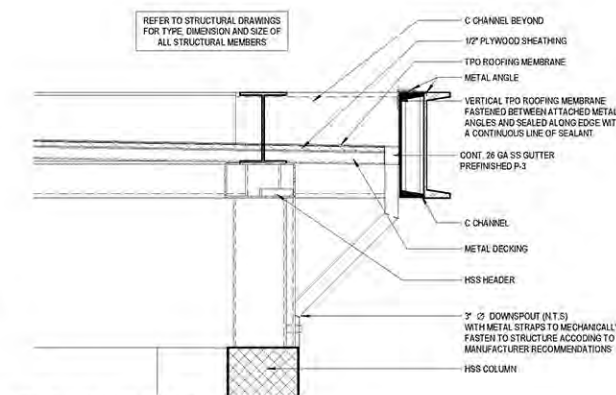
6 TRASH ENCLOSURE - FASCIA
SCALE: 1 1/2" = 1'-0"



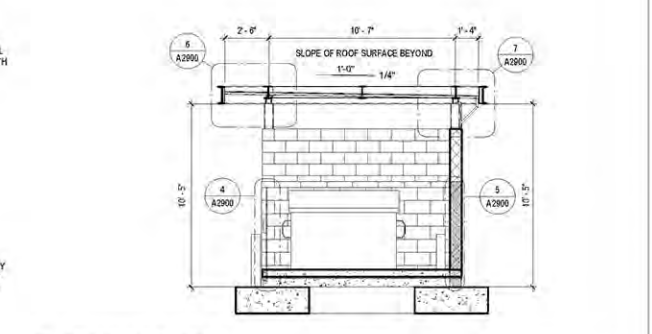
2 TRASH - FRONT
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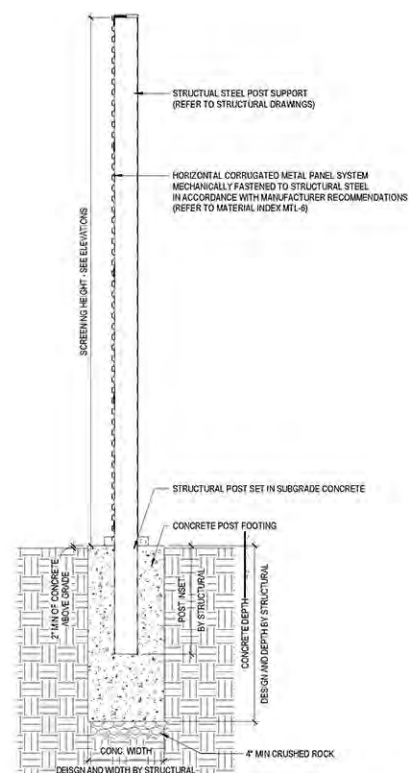
11 TRASH ENCLOSURE - HINGE DETAIL
SCALE: 1/2" = 1'-0"



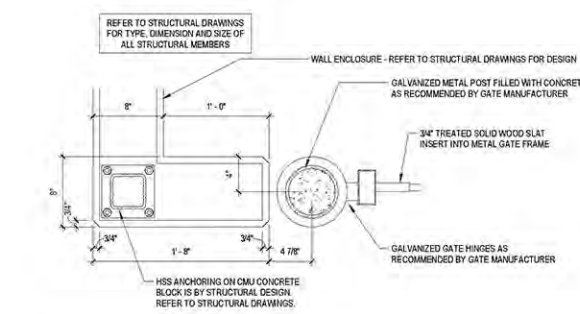
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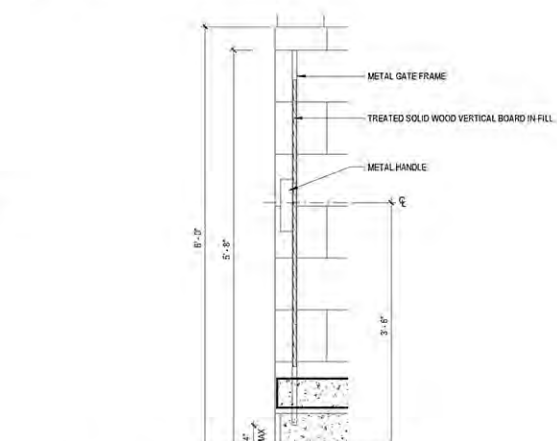
3 TRASH ENCLOSURE - SECTION
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12 SCREEN SECTION
SCALE: 1/4" = 1'-0"



8 TRASH ENCLOSURE - PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



4 TRASH ENCLOSURE - GATE SECTION
SCALE: 1" = 1'-0"



Palisade Security Fencing

Features

- Straight or Curved Pales
- Splayed or Unsplayed Tip
- 8', 10', 12' Heights
- Standard Coating:
 - Galvanized
 - Powder Coat RAL Specific
- Made in USA
- Seamless Integration with G-Force Series for an Anti-Ram Solution



High Security

- Anti-Climb Anti-Personnel
- Aesthetically Pleasing
- Covert/Embedded Sensor Options



Palisade Security Fencing



HQ: 4303 Innovation Loop
Marble Falls, TX 78654
Offices: Middle East



www.gibraltarp.com



info@gibraltarp.com
(800) 495-8957

CASE 6: PZ-22-43 – COLORADO MOUNTAIN SPORTS – 4445 Cemetery Road

PARCEL NUMBER: 050-002824

APPLICANT: Cemetery Rd Holdings LLC, c/o Eric Bahgat, 4445 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of an application to rezone Lot 231 of Easthill Acres from B-1 to PUD under the provisions of Hilliard Code Chapter 1117; a modification of the Cemetery Road Properties Located Between Leap and Lacon Roads PUD by adding Lot 231 of Easthill Acres to the PUD, and revising development standards under the provisions of Hilliard Code Section 1117.08.

BACKGROUND:

The site consists of approximately 0.44-acre located at the southwest corner of Cemetery Road and Lacon Road and includes Lot 230 and Lot 231 of the Easthill Acres subdivision plat. The Lots were combined within the last two years and the new parcel now has two zoning classifications. The northern half of the site is zoned B-1, Neighborhood Business District, and the southern half is zoned PUD. The site has an existing 3,861-square-foot retail building. Franklin County Auditor records indicate that the building was constructed in 1980. To the west are commercial properties zoned PUD, Planned Unit Development. To the south are single-family residences zoned PUD. To the east, across Lacon Road, are commercial properties zoned M-1, Restricted Industrial District. To the north, across Cemetery Road, are a church zoned B-3, Office/Institutional District, and commercial properties zoned B-2, Community Business District.

The applicant is requesting approval to rezone the northern half of the site from B-1 to PUD; to modify the Cemetery Road Properties Located Between Leap and Lacon Roads PUD by adding the northern half of the site; and to permit a 2-story, 3,240-square-foot addition to the existing Colorado Mountain Sports building.

COMMISSION ROLE:

The Commission is to review the proposed rezoning and PUD modification for conformance to the provisions of Hilliard Code Chapter 1117 and forward a recommendation for each to City Council. The Commission is to review the proposed PUD Final Development Plan modification for conformance to the provisions of the proposed PUD Concept Plan.

STAFF RECOMMENDATION: MOTION 1 (REZONING)

Staff finds that the proposal to rezone the property consisting of Lot 231 of Easthill Acres subdivision is consistent with the Hilliard Comprehensive Plan concerning land use. Based on this finding, staff recommends that the Commission forward a positive recommendation to Council concerning the proposed rezoning.

STAFF RECOMMENDATION: MOTION 2 (PUD TEXT MODIFICATION)

Staff finds that the proposed PUD modification is consistent with the approved PUD Concept Plan for the adjacent properties to the west and south which permits retail and other commercial uses. Staff finds that the proposed PUD modification will result in the subject property being in conformance with the provisions of the PUD Concept Plan. Staff finds that such modification is not in conflict with the general health, safety and welfare of the public. Based on these findings, staff recommends approval of the proposed PUD modification with the following condition:

- 1) That a revised PUD Development Text meeting the conditions of Planning and Zoning Commission approval is submitted prior to being scheduled on any Council agenda.

CONSIDERATIONS:

- The Zoning Code requires a minimum lot width of 60 feet and a minimum lot area of 7,500 square feet in the B-1 zoning district. The site has approximately 60 feet of frontage along Cemetery Road, and

approximately 100 feet of frontage along Lacon Road. The site has two existing access points, one on Cemetery Road and one on Lacon Road.

- The Thoroughfare Plan classifies Cemetery Road as a Major Arterial (four-lane roadway with either a center left turn lane or separate left turn lanes at driveways and intersections) with a designated right-of-way of 100 feet plus additional right-of-way for turn lanes at driveways and intersections. There is currently 40 feet of right-of-way from centerline along the site's Cemetery Road frontage. The ultimate right-of-way line is 50 feet from centerline along Cemetery Road. **The plans must be revised to show the ultimate right-of-way 50 feet from centerline along Cemetery Road.**
- Franklin County Recorder's Office information indicates that in 2017, the City acquired a sliver of additional right-of-way at the corner of Cemetery Road and Lacon Road for street improvements. The deed was transferred on December 7, 2017.

Thoroughfare Plan Issues

- The Thoroughfare Plan identifies Cemetery Road between Leap Road and Britton Parkway as a Major Arterial (four-lane roadway with 2 through lanes in each direction and either a center left-turn lane or separate left-turn lanes at driveways and intersections) with a minimum 100-foot-wide right-of-way. The site has 40 feet of right-of-way from centerline along its Cemetery Road frontage. An additional 10 feet of right-of-way along Cemetery Road is needed to conform to the Thoroughfare Plan.

Comprehensive Plan Issues

- The Comprehensive Plan recommends that site for Neighborhood Retail uses, small-scale commercial mixed-use center intended to serve the daily needs of residents and employment centers with a mile radius. The maximum recommended tenant size is 20,000 square feet. Second or third floor uses may include retail, commercial, or residential uses. Parking shall be to the side or rear of the development, and excellent ped/bike access should be provided to all surrounding uses. These retail developments should have a distinct street presence and highly attractive and memorable architecture. Public space and landmarks such as a plaza, small green, fountain, esplanade, or even a clock tower should be included in the development to provide places for area residents to gather and socialize, and to define the character of the development.
- The proposal is to rezone the northern half of the site from B-1 to PUD.

Approved PUD Development Text

- The approved Cemetery Road Properties Located Between Leap and Lacon Roads PUD text lists the following permitted uses: hotels except for economy stay hotels which shall be prohibited; offices (including those for executive, administrative, medical and similar professional activities); general retail businesses with less than 15,000 square feet of usable floor area; personal services; commercial schools and studios (including art, dance, martial arts, and music); training centers (including corporate, engineering, and sales); bars, taverns and restaurants serving alcoholic beverages; and restaurants without drive-through facilities. Conditional uses include: general retail business with 15,000 square feet or more usable floor area; and restaurants with drive-through facilities.
- The approved PUD text specifies the following minimum building setbacks: 75 feet from the Park Mill Run Drive right-of-way line, 20 feet from the side property lines, and 20 feet from the rear property line. Minimum setbacks for the parking lot are: 30 feet from the Park Mill Run Drive right-of-way line, 10 feet from the side property lines, and 10 feet from the rear property line. The side and rear building setbacks shall be increased by two feet for each foot of additional building height above 45 feet.

Proposed PUD Modifications

Section 5.6.5.d.	Changes to the following minimum building setbacks:
	20 feet from the Lacon Road right-of-way for commercial uses.
	30 feet from the Lacon Road and Lacon Circle rights-of-way for single-family residential uses.
	10 feet from the side property line for properties with frontage on Lacon Road or Lacon Circle.
	10 feet from the rear property line.
	50 feet from all residential zoning districts.
Section 5.6.5.e.	Specifies the minimum vehicular use area setbacks as follows:
	20 feet from any public right-of-way.
	20 feet from any residential use.
	10 feet from any non-residential use.
Section 5.6.7.c.	Specifies that air conditioning, ventilation, and heating equipment shall not be visible from adjacent properties or rights-of-way.

- If the proposed PUD modification is approved, then a PUD Final Development Plan application demonstrating conformance to the provisions of the PUD development text would be required to be reviewed by the Planning and Zoning Commission.

[END OF REPORT | PZ-22-43]

Stewart Title Guaranty Company

Commitment Number: CT6544

EXHIBIT A
PROPERTY DESCRIPTION

The land referred to in this Commitment is described as follows:

Situated in the State of Ohio, County of Franklin and in the City of Hilliard:

Being Lot Number Two Hundred Thirty-one (231) of EASTHILL ACRES, as the same is numbered and delineated upon the recorded plat thereof, of record in Plat Book 33, Page 28, Recorder's Office, Franklin County, Ohio.

5.5 Area and Visibility

Visibility along the northern boundary of the subject site is excellent given this is a lineal segment of Cemetery Road that is free from major obstacles. Long-range visibility is somewhat hampered by the Cemetery Road underpass that is east of the site.

Intersections are found at Leap and Cemetery, Brown Park Drive and Cemetery, and Lacon and Cemetery.

The number of curb cuts along the northern side of Cemetery Road supports the access drive restriction for the subject site.

5.6 Proposed Development

The following narrative provides a description of those elements of the rezoning application that can be addressed at this time. As it has been previously stated, this application is the first step in the development review process for the subject properties. Details such as building configuration, etc., will be resolved prior to zoning clearance.

5.6.1 Permitted Uses

The proposed use of the subject site is as a commercial, office or mixed use development that is a single component and developed as a complex of structures or a single structure.

The following uses are included in this application as proposed uses:

- a. Retail business.
- b. Retail goods.
- c. Personal services.
- d. Business services.
- e. Offices and banks.
- f. Restaurants, except fast-food restaurants (as defined in item 3 below).

The following definitions apply only to the property located at 4657 Cemetery Road:

- 1. Full service restaurant: establishments engaged in providing food services to patrons who order and are served while seated (i.e. waiter/waitress service) and pay after eating.
- 2. Limited service restaurant: establishments primarily engaged in providing food services where patrons generally order or select and pay before eating. Food may be consumed on premises, taken out, delivered to the customer's location, or provided through one drive-up window.
- 3. Fast-food restaurant: all establishments that do not meet the definition of Full service or Limited service restaurant.
- g. Accessory uses.
- h. Gasoline service stations, except automotive repair.
- i. Child care facilities.

5.6.2 Prohibited Uses

The following uses are prohibited:

- a. Taverns.
- b. Adult entertainment.
- c. Convenience grocery.
- d. Video arcades.
- e. Fast-food restaurants.
- f. Roof-mounted satellite ground stations.
- g. Off-premises signage (billboards).
- h. Automotive repair.

5.6.3 Access

Access to the subject site is indicated on the Site Plan and shall only be provided by the following means. Actual pavement width and number of lanes shall meet the standards established by the City Engineer prior to issuance of any building permit.

- a. An access drive shall be provided opposite Brown Park Drive
- b. One access drive shall be provided along Lacon Road.
- c. Access shall be provided to Leap Road through extension of a private access drive.

All existing residential driveways located on the subject site shall be removed prior to issuance of any building permit. The curb and sidewalk shall be replaced at each of these locations and shall meet the City's design standards.

5.6.4 Screening, Buffering, and Landscaping

The Landscape Ordinance requirements will apply to the subject site. Specifically, the following provisions are proposed:

- a. An eight-foot wood privacy fence shall be installed along the property line adjacent to all residential properties. The building setback shall remain at 50 feet in these locations. Together this should provide a suitable screen for neighboring residents.
- b. Existing vegetation along Tudor Ditch on the subject site shall be maintained where such maintenance does not interfere with stormwater

Development Plan – Cemetery Road Properties Located Between Leap & Lacon Roads

City of Hilliard

~~November 17, 2015~~ August 11, 2022

drainage. Any area along the property line where such vegetation does not exist, four-foot evergreen shrubs shall be planted every four feet to provide a screen, except where such planting interferes with stormwater drainage.

5.6.5 Development Standards

The following development standards apply to the subject site.

- a. Double Frontage Lots – Any double frontage lots that will be developed on the subject site shall not have individual lot access directly onto a public road or right-of-way. Limited curb cuts shall be provided on-site to provide internal access only.
- b. Parking – There shall be no on-street parking either along public rights-of-way or within the subject site.
- c. Building Height – All buildings and structures shall not exceed two stories in height.
- d. Building Setbacks – The **minimum** building setbacks shall be 50 feet from the Cemetery Road right-of-way, ~~50~~ 20 feet from the Lacon Road right-of-way **for commercial uses, 30 feet from the Lacon Road and Lacon Circle rights-of-way for single-family residential uses, 10 feet from the side property line for properties with frontage on Lacon Road or Lacon Circle, 10 feet from the rear property line, and 50 feet from all residential zoning districts.**
- e. Vehicular Use Area Setbacks – The minimum vehicular use area setbacks shall be 20 feet from any public right-of-way, 20 feet from any residential use, and 10 feet from any non-residential use. Vehicular use area interior and perimeter landscaping shall be consistent with the provisions of Hilliard Zoning Code.

5.6.6 Signage

Signage and shall meet the requirements of the Hilliard graphics code and shall compliment the architectural treatment of the development. Corporate logos and trademarks shall not occupy more than 50 percent of the sign area of each individual sign.

5.6.7 Architectural Considerations

The architectural character of the development should build upon the themes found in the greater Cemetery Road corridor, in particular the Mill Run development, Brown Commerce Park, and U.S. Post Office. In addition:

- a. Rear Treatment – The rear treatment of the south facing building exteriors that are visible from any adjacent residential property, Lacon Road, and Tudor Ditch shall at a minimum be painted to compliment the structure's architectural treatment,

Development Plan – Cemetery Road Properties Located Between Leap & Lacon Roads

City of Hilliard

~~November 17, 2015~~ August 11, 2022

unless painting interferes with the material used to face such wall and such material does not visually set such wall apart from the other exterior walls.

- b. Building Exterior – Building exterior shall be comprised of brick, stone or similar materials that compliment the architectural treatment of each structure. If more than one structure or building is present on the subject site, all structures and buildings shall compliment on another relative to their building exteriors.
- c. Roofs – Roofs should be pitched to portray a residential character for all buildings. Air conditioning, ventilation, and heating equipment shall not be visible from adjacent ~~residential~~ properties or rights-of-way.

CASE 7: PZ-22-44 – THE GREYSON AT HICKORY CHASE – 4400 Mountain Laurel Drive

PARCEL NUMBER: 050-011436, 050-011437

APPLICANT: Paul Fingerst, The Greyson at Hickory Chase, 4400 Mountain Laurel Drive, Hilliard, OH 43026; Troy Richards, Landscapes by Terra, Inc., 11201 Watkins California Road, Marysville, OH 43040.

REQUEST: Review and approval of a revised final development plan under the provisions of Hilliard Code Chapter 1131 and the Ansmil PUD Development Text (Subarea E1) for the installation of a revised entry feature and pedestrian plaza with food truck lane.

BACKGROUND:

The site is 23.6 acres located along the east side of Leap Road approximately 800 feet north of Anson Drive. The Commission approved a final development plan for the site in January of 2016 (Case #15-0232LC) for the construction of 492 apartment units on the western portion of Subarea E1 within the Ansmil PUD. A sign variance request was approved by the Commission on October 12, 2017 to permit the extended use of feather banners and a sandwich board for marketing. Approval for exterior lighting was also granted at the May 2019 meeting (19-0432LC) for the installation of decorative lighting along the Leap Road entrance drive. The applicant is now requesting approval to modify landscape elements for the main entrance at Leap Road to permit a food truck service drive, associated outdoor patio/seating area and upgraded landscaping.

COMMISSION ROLE:

The Commission is to review the proposed entry feature proposal as a revised final development plan under the provisions of Hilliard Code Chapter 1131 and the Ansmil PUD Development Plan and Text.

STAFF RECOMMENDATION:

Staff finds that the proposed landscaping and entrance elements will provide an significant upgrade to the entrance for the development. The incorporation of food trucks and outdoor seating will encourage pedestrian interaction and improve the appearance of the entry point along Leap Road. Plans are consistent with the intent of the original development plan and generally comply with the adopted PUD text for this development. Staff recommends approval with three conditions:

- 1) That a zoning certificate be obtained prior to construction;
- 2) That a building permit be obtained for the proposed pavilions prior to installation; and
- 3) That any electrical permits and/or engineering approvals be obtained, if necessary, for site improvements prior to construction.

CONSIDERATIONS:

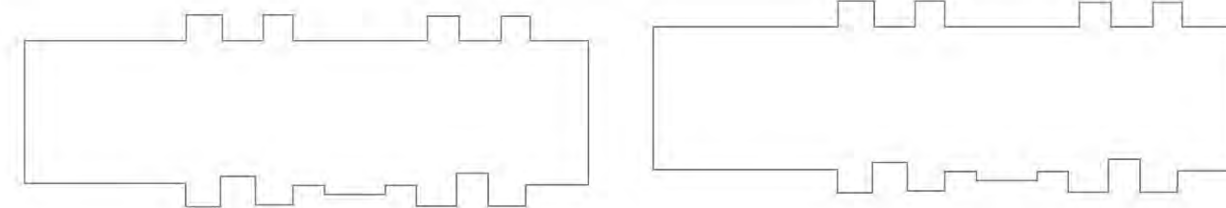
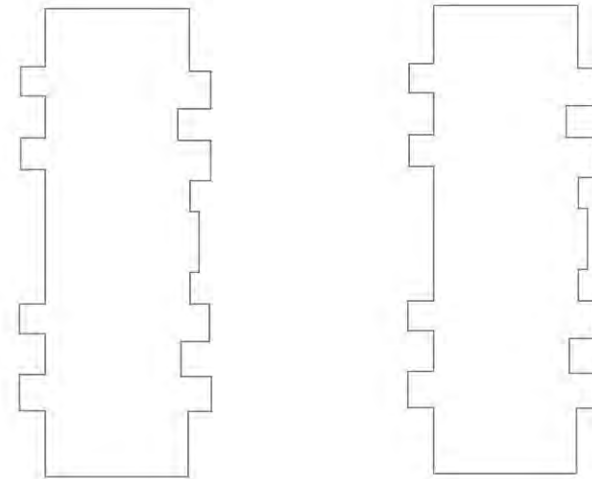
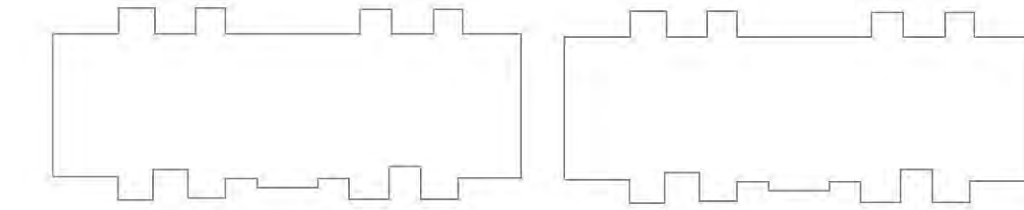
- **Overview.** The site is zoned PUD, Planned Unit Development as part of the Ansmil PUD. The proposed improvements include upgrades to entry feature landscaping, as well as the integration of a food truck parking location and associated patio space for residents. The proposed plan is a revision to the previously approved final development plan.
- **Utilities.** Sanitary sewer is located on the south side of the entry drive (Prairie Rose Boulevard) and will not be impacted by the project. An existing storm inlet on the north side of the entry drive will also not be impacted and drains water into the retention pond on the south side of the entrance. Any potential utility improvements such as electric or water extensions will require applicable building and/or engineering approval.
- **Food Truck Lane.** Plans include a proposed 2,600-square foot food truck lane that will parallel the entrance drive. The lane will be constructed of grass pavers and be seeded as lawn while accommodating the weight of food truck usage on an intermittent basis. Entrance to the food truck lane will include removable bollards to restrict access. Proposed pavers are a Unilock Turfstone™ paver system that

includes diamond areas for the installation of grass. *Given the prominent location of the food truck lane and potential issues with maintaining lawn during hot weather, a different system for grass applications may be more desirable.*

- *Resident Seating/Dining Area.* The revised final development plan includes the installation of a new patio seating area that will be located next to the food truck lane. The patio will include seatwalls and two pavilions for shade. Proposed pavilions will require commercial building permits prior to installation. Additional mounding and landscaping will be provided in and around the patio space and sidewalk connections will be added to the surrounding system.
- *Entry Feature.* Proposed plans include additional/upgraded landscaping around the entrance at Prairie Rose Boulevard and in front of the clubhouse on Mountain Laurel Road.

[END OF REPORT | PZ-22-44]

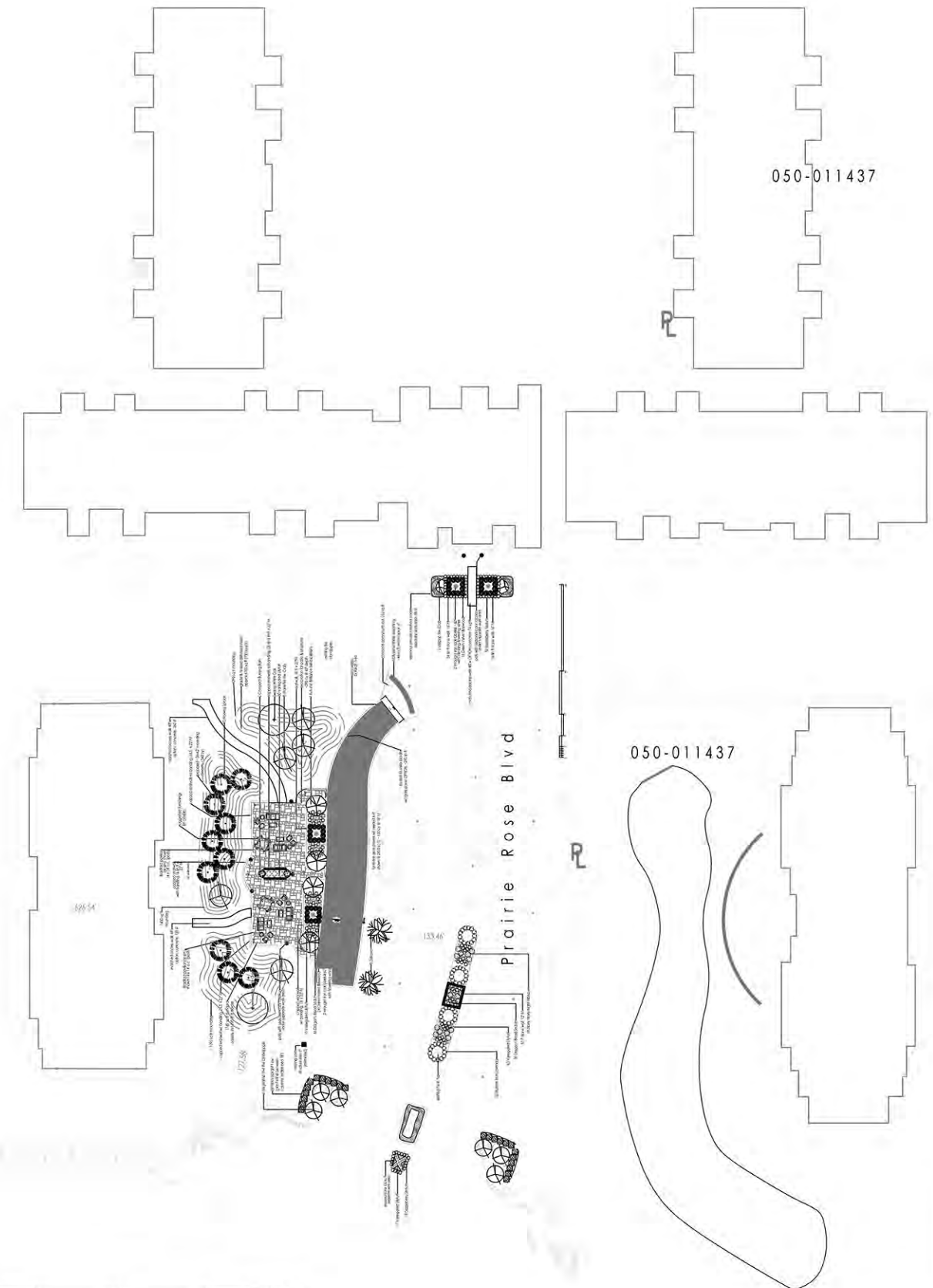
Hickory Chase Way



050-011436

Leap Road

0 5 10 20 40 80 120 160



050-011437

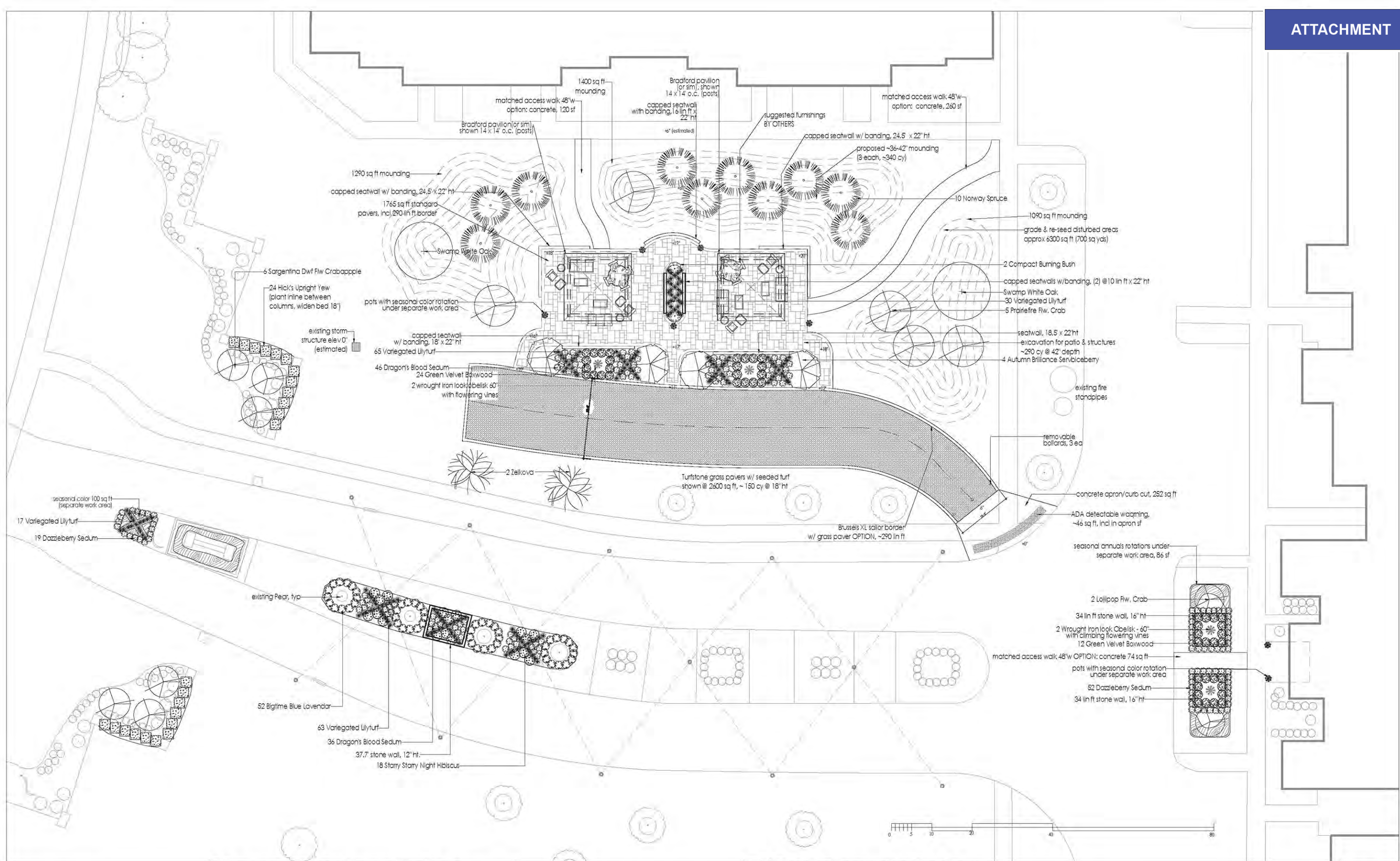
Company: Landscapes by Terra
Address: 11301 Watkins California Rd
 Marysville, OH 43040
Phone #: 614-873-6242
Website: LBTERRA.COM

The GREYSON
Name: The Greyson
Address: 4400 Mountain Laurel Dr
 Hilliard, OH 43026

DATE: 01/06/22 rev 2/4,4/14, 6/27 tar
 revised 6-29 turfstone drive tar
DRAWN BY: TR / GN
PAGE #: 01
SCALE: 1/32" = 1'-0" (on 24x36)

DRAWING TITLE:
PLOT PLAN FROM AERIAL





Color selections for The Greysco

ATTACHMENT

Pavilion stain color choices and roof shingle color choices below

Stains

Pine Siding

								
Bark	Natural	Caramel	Pecan	Smoke	Driftwood	Pioneer Brown	Butternut	Chestnut Brown











Ebony

Owner's selection EBONY

Stain color choices for two Bradford pavilions

Shingles

Standard – Dimensional

							
Sierra Gray	Teak	Onyx Black	Estate Gray	Driftwood	Chateau Green	Desert Tan	Brownwood

Owner's selection BROWNWOOD

Roof shingles color choices for two Bradford pavilions

LANDSCAPES BY
TERRA

* Materials subject to availability

Ledgestone™ Coping (caps for seatwalls)



BUFF

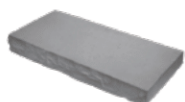


GREY

ADVANTAGES

REALA™ Surface Technology

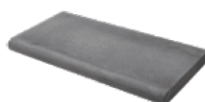
Ultra-realistic textures cast from natural stone, brick and historic cobblestones.



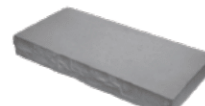
COPING UNIT
12 x 24 x 2 3/4"
305 x 610 x 70mm



CLOSED-END COPING
12 x 24 x 2 3/4"
305 x 610 x 70mm



FULLNOSE COPING
12 x 24 x 2 3/8"
305 x 610 x 60mm



LARGE COPING UNIT
30 x 13.5 x 2 3/4"
1220 x 610 x 70mm



LARGE CLOSED-END COPING
30 x 13.5 x 2 3/4"
1220 x 610 x 70mm

	LDG	LDG	LDG	LDG	LDG
Bundle Type	SINGLE	SINGLE	SINGLE	SINGLE	SINGLE
Thickness (mm)	70MM	70MM	60MM	70MM	70MM
Dimension mm	610mm x 70mm x 305mm	610mm x 70mm x 305mm	610mm x 60mm x 305mm	762mm x 70mm x 343mm	762mm x 70mm x 343mm
Dimension Imperial	24" x 2 3/4" x 12"	24" x 2 3/4" x 12"	24" x 2 3/8" x 12"	30" x 2 3/4" x 13 1/2"	30" x 2 3/4" x 13 1/2"

FCFT PER	Bundle	5.52	5.52	5.12	6.87	6.87
	Layer	1.38000	1.38000	0.39000	1.72000	1.72000
	Stone	0.46	0.46	0.39	0.57	0.57

PER BUNDLE	Layers	4.00	4.00	13.00	4.00	4.00
	Sections	-	-	-	-	-

LNFT PER	Bundle	24.00	24.00	26.00	30.00	30.00
	Unit	2.00	2.00	2.00	2.50	2.50

UNITS PER	SqFt	2.18	2.18	2.54	1.75	1.75
	Section	-	-	-	-	-
	Bundle	12.00	12.00	13.00	12.00	12.00

LBS PER	Layer	193	199	56	282	279
	Section	-	-	-	-	-
	Bundle	772	796	723	1,128	1,116

Internal Use Only. LDG CH

Notes: Produced and sold on a required, refundable skid. Coping is rock faced on the front and the back; Closed-end coping and steps are rock faced on three sides. See page 84 for caulk information. All measurements are nominal. Contact Unilock for more information.

Suggested: buff rockfaced, owner's selection: BUFF rockfaced

Brussels Dimensional System™ (for seatwalls)

CLASSIC



COFFEE CREEK



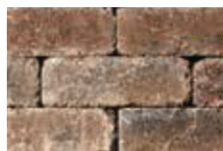
LIMESTONE



RIVER accent



SANDSTONE



SIERRA

wall



	Tapered	Standard
Bundle Type	SINGLE	SINGLE
Thickness (mm)	100MM	100MM
Dimension mm	229mm x 100mm x 200mm	300mm x 100mm x 200mm
Dimension Imperial	9" x 3 7/8" x 7 7/8"	11 7/8" x 3 7/8" x 7 7/8"

FCFT PER	Bundle	36.00	36.00
	Layer	6.00000	6.00000
	Stone	0.25	0.33

PER BUNDLE	Layers	6.00	6.00
	Sections	-	6.00

LNFT PER	Bundle	108.00	108.00
	Unit	0.75	1.00

UNITS PER	SqFt	4.00	3.00
	Section	-	18.00
	Bundle	144.00	108.00

LBS PER	Layer	480	530
	Section	-	530
	Bundle	2,880	3,182



STANDARD
8 x 12 x 4"
200 x 300 x 100mm



SMALL TAPERED UNIT
8 x 9 x 4"
200 x 229 x 100mm

ADVANTAGES

ANTIQUE FINISH

Distressed, timeworn finish

COPING OPTIONS

We recommend using LedgeStone, Natural Stone, Universal Coping or Brussels Fullnose.

Internal Use Only. BDS OH

Notes: **Small tapered units are sold in full bundles only.** Maximum height is 24" (under optimum conditions). *Based on 12" deep wall coverage = 21.4 sqft per bundle. Based on an 8" deep wall coverage = 32 sqft per bundle. LedgeStone, Brussels XL or 6" x 12" Fullnose complement as a possible coping unit. All measurements are nominal. Contact Unilock for more information.

Suggested: sierra w/ charcoal band, owner's selection: sierra w/ river accent band

SUNSET FIREPIT KITS

SQUARE



ROUND



Camelot™ (for patio field pavers)



COFFEE CREEK



GRANITE



RIVER



SIERRA

	SQUARE	RECTANGLE
Bundle Type	SINGLE	SINGLE
Thickness (mm)	60MM	60MM
Dimension mm	159.8MM X 159.8MM X 60MM	160MM X 240MM X 60MM
Dimension Imperial	6 3/8" X 6 3/8" X 2 3/8"	6 3/8" X 9 1/2" X 2 3/8"



RECTANGLE
6 x 9 x 2 3/8"
150 x 225 x 60mm



SQUARE
6 x 6 x 2 3/8"
150 x 150 x 60mm

SQFT PER	Bundle	92.40	98.96
	Layer	11.55000	12.37000
	Section	13.20	19.79
	Stone	0.28	0.41

PER BUNDLE	Layers	8.00	8.00
	Sections	7.00	5.00

SOLDIER LNFT PER	SqFt	1.79	1.19
	Section	23.62	23.62
	Layer	20.67	14.76
	Bundle	165.35	118.11

SAILOR LNFT PER	SqFt	1.79	1.79
	Section	23.62	35.43
	Layer	20.67	22.15
	Bundle	165.35	177.17

UNITS PER	SqFt	3.64	2.43
	Section	48.00	48.00
	Bundle	336.00	240.00

LBS PER	Layer	325	350
	Section	371	560
	Bundle	2,598	2,800

ADVANTAGES

DRIVE FRIENDLY

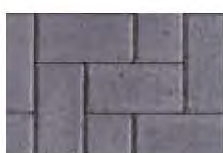
Can handle vehicular loads

Notes: 3 1/8" (80mm) units available by special order only. Minimum quantities apply. Important: A urethane rubber paver mat must be used to prevent scuffing. All measurements are nominal. Contact Unilock for more information.

Internal Use Only. CAM OH

Hollandstone™ (For patio border)

CLASSIC



CHARCOAL



RIVER



RUSTIC RED



SIERRA

	STANDARD
Bundle Type	SINGLE
Thickness (mm)	60MM
Dimension mm	100MM X 200MM X 60MM
Dimension Imperial	3 7/8" X 7 7/8" X 2 3/8"



STANDARD
4 x 8 x 2 3/8"
100 x 200 x 60mm

80mm available as Special Order

SQFT PER	Bundle	106.20
	Layer	11.80000
	Section	17.70
	Stone	0.22

PER BUNDLE	Layers	9.00
	Sections	6.00

SOLDIER LNFT PER	SqFt	1.50
	Section	26.57
	Layer	17.72
	Bundle	159.45

SAILOR LNFT PER	SqFt	3.00
	Section	53.15
	Layer	35.43
	Bundle	318.90

UNITS PER	SqFt	4.58
	Section	81.00
	Bundle	486.00

LBS PER	Layer	319
	Section	478
	Bundle	2,868

ADVANTAGES

DRIVE FRIENDLY

Can handle vehicular loads

Notes: All measurements are nominal. Contact Unilock for more information.

Internal Use Only. HOL OH

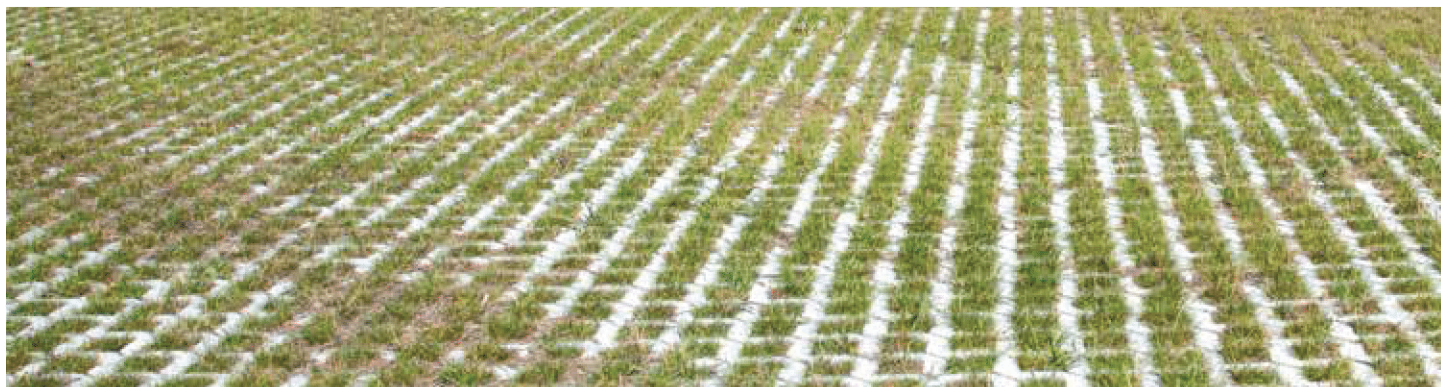


Turfstone™



1-800-UNILOCK | UNILOCK.COM

UNILOCK
PAVERS & WALLS



NATURAL

	STANDARD
Bundle Type	SINGLE
Thickness (mm)	80MM
Dimension mm	400MM X 600MM X 80MM
Dimension Imperial	15 3/4" X 23 5/8" X 3 1/8"



STANDARD
 15¾ x 23⅝ x 3⅛"
 400 x 600 x 80mm

SQFT PER	Bundle	70.00
	Layer	10.00000
	Section	-
	Stone	2.50

PER BUNDLE	Layers	7.00
	Sections	-

SOLDIER LNFT PER	SqFt	-
	Section	-
	Layer	-
	Bundle	-

SAILOR LNFT PER	SqFt	-
	Section	-
	Layer	-
	Bundle	-

UNITS PER	SqFt	0.40
	Section	-
	Bundle	28.00

LBS PER	Layer	249
	Section	-
	Bundle	1,746

ADVANTAGES**PERMEABLE**

Can be installed to allow water to flow through

PEDESTRIAN FRIENDLY

Not recommended for vehicular use

Notes: Sold in full bundles only and is produced and sold on a required, refundable skid. All measurements are nominal. Contact Unilock for more information.

Internal Use Only. TFS OH

CASE 8: PZ-22-46 – CONVERGE TECHNOLOGIES and HILLIARD CITY LAB – 4621 LYMAN DRIVE

PARCEL NUMBER: 050-011534

APPLICANT: Converge Technologies, c/o John Bair, 4621 Lyman Drive, Hilliard, OH 43026; City of Hilliard, c/o Michelle Crandall, 3800 Municipal Way, Hilliard, OH 43026.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to increase the maximum area for two wall signs.

BACKGROUND:

The 1.37-acre site is located along the west side of Lyman Drive with visibility onto I-270. The 2-story office building has a footprint of approximately 18,600 square feet and is zoned B-4 as part of the I-270 Corridor District. To the north is the proposed ADS office development that is zoned PUD as part of the Ansmil PUD Development Plan and Text. South of the site is the former Team Rahal Building located at Lyman Drive which is also zoned B-4. Land to the rear of the site (west) includes undeveloped land within the Ansmil PUD that fronts onto Britton Parkway, as well as woodland owned by the City as parkland.

The site is currently home to Converge Technology which includes offices that focus on emerging technologies and business growth. The building also includes a partnership with the Hilliard City Lab, which includes offices and start-up space for emerging new businesses. This is a request for a variance to the provisions of the Sign Code to permit two signs on the front elevation that will identify the primary business as well as the City's business incubator space. Proposed signage includes a 113.26-square foot sign for Converge Technologies and a 97.6-square foot sign for the Hilliard City Lab.

COMMISSION ROLE:

The Commission is to review the proposed signage for conformance to the provisions of Hilliard Code Section 1129.08.

STAFF RECOMMENDATION:

Staff finds that the proposal is generally consistent with the intent of the Sign Code and will not negatively impact surrounding properties. As a location visible from I-270, the proposed sign package while exceeding the Code in size will be compatible with the existing architecture of the building and blend with the character of the surrounding area. Based on these findings, staff recommends approval of the proposed variance with one condition:

- 1) That sign permits be obtained for each sign prior to installation.

CONSIDERATIONS:

- The site is zoned B-4, I-270 Corridor District, which encourages office-related employment and a mix of uses with high visibility onto I-270. The building consists of a two-story corporate office. The B-4, I-270 District permits individually illuminated channel letters.
- According to Code, the building would be permitted a maximum of 100 square feet of total wall signage.
- The proposed City Lab sign is 97.6 square feet (8'-3" high x 11'-10" wide). The Converge Technology sign is proposed at 113.26 square feet (8'-3" high x 13'-9" wide); however, that area includes a significant amount of negative space due to the shape of the logo.
- The Sign Code requires that signs in this district must be architecturally compatible with the building. The overall size, design and placement of both signs have been created to specifically coordinate with the overall scale and architecture of this particular building.

[END OF REPORT | PZ-22-46]

Visual Mock-Up of Proposed Signage



SCALE 1/8" = 1'

CONSTRUCTION AND INSTALLATION OF SIGN ELEMENTS TO COMPLY WITH NEC ARTICLE 600 - VERIFY ALL MEASUREMENTS PRIOR TO PRODUCTION

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CLIENT APPROVAL	DATE
_____	_____
_____	_____

☐ PRODUCTION ART REQUIRED
Colors on Printed Documents May Vary

PROJECT NAME	CONVERGE TECHNOLOGIES
LOCATION	4126 LYMAN RD.
CITY	HILLIARD
STATE	OHIO 43026

REVISION	7-7-22

SALES	BMS
DESIGN	RAF/DAW
SIZE	14

DATE	5-27-22
SCALE	Noted
PROJECT#	22286

(1 Set) Illuminated Channel Letters & Logo

INDIVIDUAL ALUMINUM FORMED LETTERS AND LOGO.

TRANSLUCENT ACRYLIC FACES ILLUMINATED WITH LED LIGHT CLUSTERS HOUSED INSIDE EACH SHAPE. FACES HELD IN WITH TRIMCAP RETAINERS.

4" DEEP FABRICATED LETTERS ARE MOUNTED TO FASCIA USING 1/4" x 3" TAPCON SCREWS. (4) FASTENERS PER LETTER, MINIMUM.

REMOTE ELECTRIC & POWER UNITS. **UL LISTED #E153594**

PRIMARY ELECTRIC POWER BROUGHT TO SITE BY OTHERS.

COLORS:

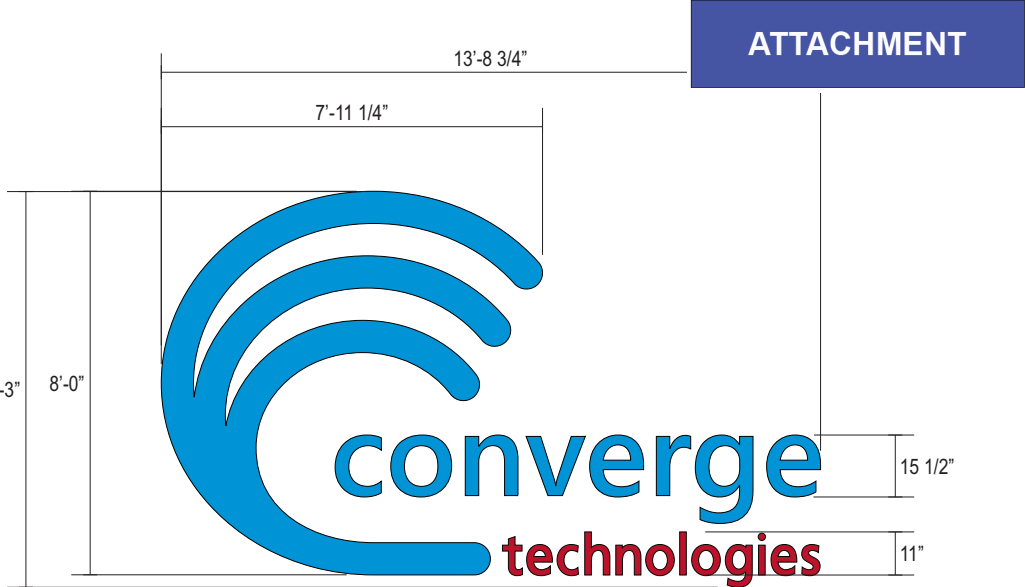
LOGO & "CONVERGE" - BLUE, PMS #2925

"TECHNOLOGIES" - RED, PMS #200

TRIMCAP & RETURNS - MATCH FACE COLORS

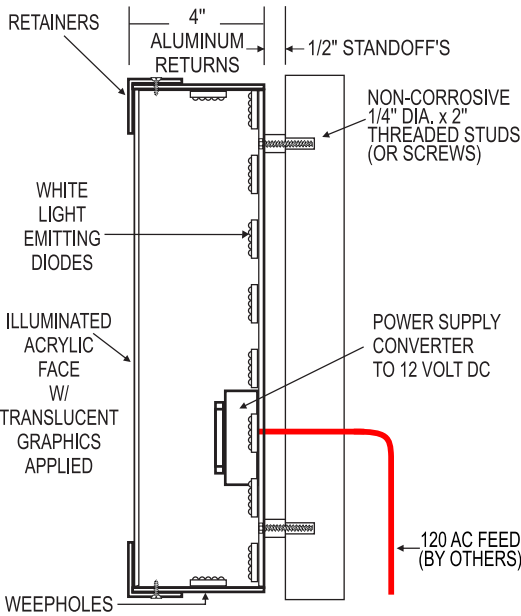


SCALE 1/8" = 1'



SCALE: 1/4" = 1'

113.26 SQ. FT.



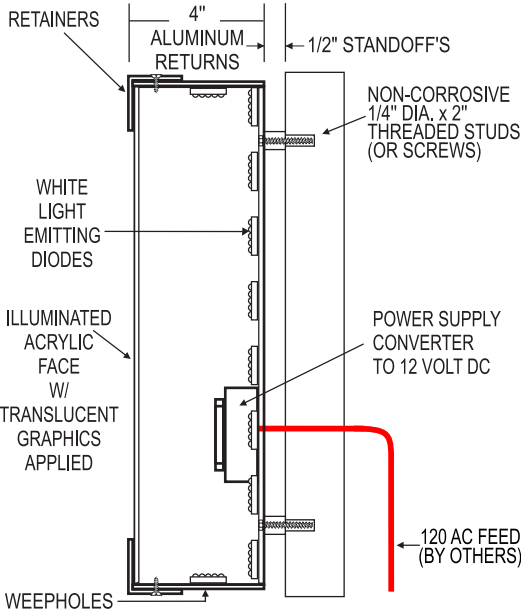
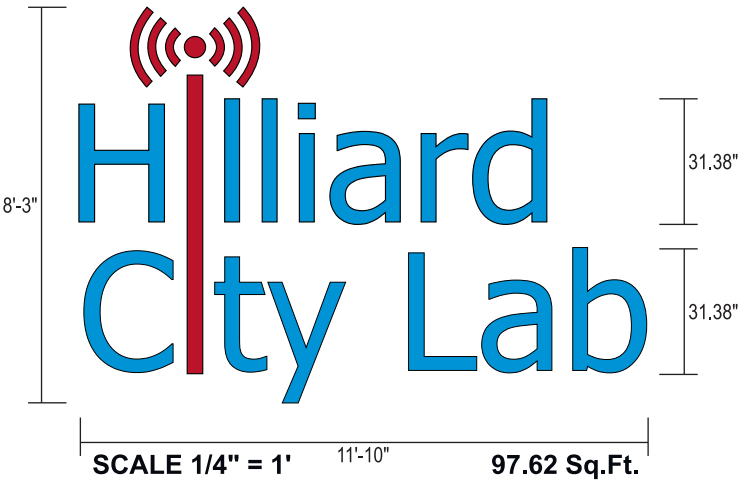
CONSTRUCTION AND INSTALLATION OF SIGN ELEMENTS TO COMPLY WITH NEC ARTICLE 600 - VERIFY ALL MEASUREMENTS PRIOR TO PRODUCTION

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REMOTE ELECTRIC & POWER UNITS. **UL LISTED #E153594**
PRIMARY ELECTRIC POWER BROUGHT TO SITE BY OTHERS.
COLORS:
LOGO - RED, PMS #200
"H-LLARD C-TY LAB" - BLUE, PMS #2925
TRIMCAP & RETURNS - MATCH FACE COLORS



SCALE 1/8" = 1'



CONSTRUCTION AND INSTALLATION OF SIGN ELEMENTS TO COMPLY WITH NEC ARTICLE 600 - VERIFY ALL MEASUREMENTS PRIOR TO PRODUCTION



CLIENT APPROVAL _____ DATE _____

☐ PRODUCTION ART REQUIRED
Colors on Printed Documents May Vary

PROJECT NAME CONVERGE TECHNOLOGIES
LOCATION 4126 LYMAN RD.
CITY HILLIARD STATE OHIO 43026

REVISION 7-7-22

SALES BMS
DESIGN RAF/DAW
SIZE 14

DATE 5-27-22
SCALE Noted
PROJECT# 22286