

MEETING AGENDA



Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube

Thursday, January 12, 2023 | 7:00 pm

1. Call to Order
2. Pledge of Allegiance to the Flag
3. Roll Call
4. Approval of the Meeting Minutes – December 8, 2022
5. Oath to Tell the Truth
6. Changes to the Agenda (requests for postponements, withdrawals, or change in order of cases)
7. Postponed Cases:

CASE 1: PZ-22-43 – COLORADO MOUNTAIN SPORTS – 4445 CEMETERY ROAD

PARCEL NUMBER: 050-002824

APPLICANT: Cemetery Rd Holdings LLC, c/o Eric Bahgat, 4445 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of a PUD Final Development Plan modification under the provisions of the Cemetery Road Properties Located Between Leap & Lacon Roads PUD Concept Plan and Text for a two-story, 3,240-square-foot building addition on 0.44-acre.

CASE 2: PZ-22-59 – THE LINCOLN CENTER LEADERSHIP ACADEMY – 3311-3315 MILL MEADOW DRIVE

PARCEL NUMBER: 050-005422

APPLICANT: Morse-Maize Family LP, 2711 East Main Street, Columbus, OH 43209; c/o Glen Dugger, Smith & Hale LLC, 37 W. Broad Street, Columbus, OH 43215

REQUEST: Review and approval of a PUD Final Development Plan modification under the provisions of Hilliard Code Section 1117.08 concerning permitted uses and standards and a PUD Final Development Plan under the provisions of the Mill Run PUD Concept Plan.

REQUEST
WITHDRAWN
BY THE
APPLICANT

8. New Cases:

CASE 3: PZ-22-67 – HILLIARD RECREATION & WELLNESS CAMPUS – 6287 SCIOTO DARBY ROAD

PARCEL NUMBERS: 050-010512, 050-010761, 050-010762, 050-010763 & 050-010764

APPLICANT: Michelle Crandall, City Manager, City of Hilliard, 3800 Municipal Way, Hilliard, OH 43026.

REQUEST: Review and approval of a revised PUD Concept Plan under the provisions of Hilliard Code Chapter 1117 for a new recreation and wellness center, commercial, office, and park uses on 166.42 acres.

CASE 4: PZ-22-69 – TARLTON MEADOWS OPEN SPACE – SECTION 3, RESERVE E

PARCEL NUMBER: 050-011708

APPLICANT: Tarlton Meadows Homeowners Association Inc., 5500 Blazer Parkway Suite 175, Dublin, OH 43017; c/o Jim Hilz, EDGE Landscape Architects, 475 Metro Place South, Suite 200, Dublin, OH 43017

REQUEST: Review and approval of a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Tarlton Meadows PUD Concept Plan and Text for open space landscaping and maintenance.

CASE 5: PZ-22-70 – MERCHANTS NATIONAL BANK – 3649/3695 FISHINGER BOULEVARD

PARCEL NUMBER: 050-007274

APPLICANT: DC MRH Medical LLC / Alkire Offices LLC, 4653 Trueman Avenue, Suite 100, Hilliard, OH 43026; c/o Christopher Tebbe, Tebbe Civil Engineering, LLC., 4700 Lanehurst Court, Suite 135, Dublin, OH 43016.

REQUEST: Review and approval of a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Mill Run PUD Concept Plan and Text for a drive-up ATM in an existing retail parking lot.

CASE 6: PZ-22-71 – MOO MOO EXPRESS CAR WASH – 3880 BROWN PARK DRIVE

PARCEL NUMBER: 050-007563

APPLICANT: Moo Moo Cemetery Hilliard LLC., 13375 National Road SW, Suite D, Reynoldsburg, OH 43068; c/o Jeff Gilger, Express Wash Concepts, 13375 National Road SW, Suite D, Etna, OH 43068; c/o Kelly Roth, Morrison Sign Company Inc., 2757 Scioto Parkway, Columbus, OH 43221.

REQUEST: Review and approval of variances under the provisions of Hilliard Code Section 1129.08 for a comprehensive sign package for a 4,900-square-foot car wash.

CASE 7: PZ-22-72 – GRANITE INLINER LLC – 4350 WEAVER COURT NORTH

PARCEL NUMBER: 050-002994 (Northwest Industrial Complex Section 3, Lots 19 and 20)

APPLICANT: Granite Inliner LLC, PO Box 50085 Watsonville, CA 95077; c/o Stephen Aaron Carr, Granite Inliner LLC., 4350 Weaver Court North, Hilliard, OH 43026.

REQUEST: Review & approval of a lot split under the provisions of Hilliard Code Section 1188.05 to create a ±7.134-acre parcel from a 14.67 parcel.

CASE 8: PZ-22-73 – HOMESTEAD DEVELOPMENT – HICKORY CHASE WAY – ANSMIL PUD SUBAREA E1

PARCEL NUMBER: 050-0011430

APPLICANT: Greenwich Investors Hickory Chase LLC., 6279 Dupont Station Court E., Jacksonville, FL 32217; c/o Glen Dugger, Smith & Hale LLC, 37 W. Broad Street, Columbus, OH 43215.

REQUEST: Review & approval of a PUD Development Text modification under the provisions of Hilliard Code Chapter 1117 to increase the maximum number of non-age restricted residential dwellings from 500 to 760 to permit a development of 264 multi-family dwelling units on 15.04 acres.

- 9. Discussion Items
- 10. Chairman’s Communication
- 11. Committee Communications
- 12. Adjournment

[END OF AGENDA | JANUARY 12, 2023]

MEETING MINUTES

Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube



Thursday, December 8, 2022 | 7:00 pm

CALL TO ORDER

Vice Chairman Bevan Schneck called the Regular Meeting of Planning and Zoning Commission to order at 7:00 PM.

PLEDGE OF ALLEGIANCE TO THE FLAG

Mr. Pannett led the Commission and attendees in the Pledge of Allegiance.

ROLL CALL

Attendee Name:	Title:	Status:
Chairman Jay Muether	Chair	Excused
Vice Chair Bevan Schneck	Vice Chair	Present
Eric Gutknecht	Member	Excused
Chris Lewie	Member	Present
Tracey Nixon	Member	Present
Tom Pannett	Member	Present
Bill Uttley	Member	Present

Staff Members Present: Planning Director John Talentino, City Engineer Clark Rausch, Planning Manager Carson Combs, Staff Attorney Kelly Clodfelder and Assistant City Manager Dan Ralley.

Others Present: Chad Lowe representing Miller Pipeline (PZ-22-62); Cole Antle representing Westwood Collective (PZ-22-66); Hayden and Chelsea Kimes representing PZ-22-68 and other members of the public in attendance.

APPROVAL OF MEETING MINUTES – November 10, 2022

Vice Chairman Bevan Schneck asked if there were any changes or corrections to the November 10, Planning and Zoning Commission minutes. Minutes were approved by voice vote.

Status:	Accepted by Voice Vote (5-0)
Ayes:	Vice Chair Bevan Schneck, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley.

OATH TO TELL THE TRUTH

Staff Attorney Kelly Clodfelder administered the Oath to Tell the Truth.

CHANGES TO THE AGENDA

Planning Manager Carson Combs noted that a request to postpone Case PZ-22-43 to the January meeting has been made by the applicant due to an inability to attend the meeting. Mr. Lewie, seconded by Ms. Nixon, made a motion to postpone Case PZ-22-43 – Colorado Mountain Sports – 4445 Cemetery Road to the January 12, 2023, meeting.

Status:	Motion to postpone was accepted by voice vote (5-0).
Mover:	Mr. Chris Lewie
Second:	Ms. Tracey Nixon
Ayes:	Vice Chair Bevan Schneck, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley.

CASE 1: PZ-22-62 – MILLER PIPELINE – 4990-5320 SCIOTO DARBY ROAD

PARCEL NUMBERS: 050-002800, 050-003002 & 050-002343

APPLICANT: D&D Property Management LLC, 8850 Crawfordsville Road, Indianapolis, IN 46234; Don & Dale Miller, 4990 Scioto Darby Road, Hilliard, OH 43026; c/o Chad Lowe, Miller Pipeline, 5000 Scioto Darby Road, Hilliard, OH 43026.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to reduce the minimum setback for three 18-square-foot ground signs and two flag poles from 15 feet to 0 feet.

[Mr. Combs gave the staff report]

BACKGROUND:

The site includes three parcels located along the northern side of Scioto Darby Road. The properties at 4990-5320 are leased by Miller Pipeline and are located 130 feet southeast of Jill Lane and approximately 350 feet northwest of Reed Point Drive. The site is adjacent to the Luxair Addition subdivision to the northwest, which is zoned R-2, Low/Medium Density Residential District. The rear of the properties is bounded by the Norfolk Southern rail property. Across Scioto Darby Road from the site are homes within the Conklin Subdivision (zoned R-2) and the Nightingale Estates, which is zoned R-3, Moderate Density Residential District. Properties to the southeast of the site on the same side of the road include a range of commercial businesses that are zoned B-2, Community Business District, similar to the site. The adjacent property at 4984 Scioto Darby includes multi-tenant uses.

The applicant is requesting a variance to reduce the required setback for signs from 15 feet to zero feet for the installation of three 18-square-foot, two-post signs and two flagpoles

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner’s predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Following approval by the Commission, the applicant is responsible for obtaining a sign permit prior to installation for each sign that conforms to the requirements and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed sign package is generally consistent with City Code Section 1129 as modified based on comments contained within this report. Staff finds that as amended, the proposed sign plan will

blend with the general character of the area and will not substantially impact surrounding property owners. Staff finds that the proposed signage will meet the spirit and intent of the Code as modified and based on these findings, recommends approval with the following four conditions:

- 1) That a zero setback for flag poles be approved contingent upon the applicant/property owner being responsible for any damages to and/or costs incurred to flag poles as a result of utility or infrastructure work within the public right-of-way;
- 2) That the proposal be limited to two signs that are placed a minimum of five feet from the right-of-way;
- 3) That any future increase in sign size, height or change in sign type be brought back to the Commission for additional review; and
- 4) That sign permits be obtained for each sign prior to installation.

CONSIDERATIONS:

- *Site Characteristics.* The site includes three curb cuts onto Scioto Darby Road - one for each of the three parcels. The right-of-way along Scioto Darby is 80 feet in width (± 40 feet from centerline). Signage is required by Code to be placed a minimum of 15 feet from the edge of the right-of-way (± 55 feet from centerline). The applicant has indicated visibility problems for delivery trucks and is requesting variances to the required setbacks to alleviate on-site circulation problems with deliveries.
- *Code Enforcement.* The proposed signs were originally placed within the public right-of-way without authorization or an approved sign permit. Upon notification by Code Enforcement, the applicant removed the signs and submitted a variance application for the proposed signs.
- *Flag Poles.* Upon reviewing the sign application, staff determined that the existing flag poles are also located within the public right-of-way and must be removed. The flag poles are proposed to be moved straight back toward the parking lot to be relocated just outside of the right-of-way to continue utilizing existing ground lighting without impacting the parking lot. Staff recommends that the setback reduction be permitted with the condition that the applicant waive municipal/utility company responsibility for any costs associated with relocation and/or damage incurred due to work within the right-of-way.
- *Proposed Sign Package.* The applicant is requesting a total of three sign locations that would be placed at the right-of-way line (zero-foot setback). The signs include a two-post design with a sign face that is 18 square feet in area (3' x 6'). Staff finds that given the nature of the requested variance, there is no need for the equivalent of three business identification signs and recommends that the sign proposal be limited to two signs placed a minimum of five feet from the right-of-way. Staff also recommends that limitations should be established so that any sign change that increases overall size or changes the type of sign be brought back to the Commission for additional consideration in light of the variances. There is no landscaping proposed for the signage.

[END OF REPORT | PZ-22-62]

Based on public comment, Mr. Combs entered into the record an additional condition as part of the staff recommendation:

- 5) That all lighting issues be brought into Code compliance.

Mr. Lewie inquired about landscaping for the signs; Mr. Combs explained that because they are proposing a post-design the applicant is requesting to not install landscaping. He noted that staff is also looking at modifying landscape requirements for signs in the future due to maintenance issues. Mr. Combs noted that the proposal as submitted does not include landscaping.

Mr. Pannett asked about the location of the flagpoles; Mr. Combs explained that the poles are approximately 4 to 5 feet within the right-of-way. He said that staff is requesting that the Commission approve a zero-setback for the poles so that the applicant could utilize the existing lighting. He explained that like other recent cases,

the Commission does not have the ability to approve leaving the poles within the right-of-way. He said that the options are to relocate the poles or remove them.

Chad Lowe representing Miller Pipeline explained that the signs are primarily for delivery drivers and the impact on traffic. He said that now their main concern is why the flagpoles have to be removed after years of being within the right-of-way.

Mr. Lewie reiterated to the Commission that landscaping for signs is the current requirement.

Vice Chair Schneck referred to a public comment letter and asked for clarification from staff about visual obstructions; Mr. Combs explained that visual obstructions are actually on the other side of the street and have been addressed. He said that Code Enforcement has checked sight visibility.

Mr. Uttley, seconded by Mr. Pannett, made a motion to approve the sign variance under the provisions of Hilliard Code Section 1129.08 to reduce the minimum setback for three 18-square-foot ground signs and two flag poles from 15 feet to 0 feet with the following five conditions:

- 1) That a zero setback for flag poles be approved contingent upon the applicant/property owner being responsible for any damages to and/or costs incurred to flag poles as a result of utility or infrastructure work within the public right-of-way;
- 2) That the proposal be limited to two signs that are placed a minimum of five feet from the right-of-way;
- 3) That any future increase in sign size, height or change in sign type be brought back to the Commission for additional review;
- 4) That sign permits be obtained for each sign prior to installation; and
- 5) That all lighting issues be brought into Code compliance.

Status:	Approved (5-0) with five conditions.
Mover:	Mr. Bill Uttley
Seconded:	Mr. Tom Pannett
Ayes:	Vice Chair Bevan Schneck, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley.

CASE 2: PZ-22-43 – COLORADO MOUNTAIN SPORTS – 4445 CEMETERY ROAD

PARCEL NUMBER: 050-002824

APPLICANT: Cemetery Rd Holdings LLC, c/o Eric Bahgat, 4445 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of a PUD Final Development Plan modification under the provisions of the Cemetery Road Properties Located Between Leap & Lacon Roads PUD Concept Plan and Text for a two-story, 3,240-square-foot building addition on 0.44-acre.

[This case was postponed to the January 2023 meeting]

BACKGROUND:

The site consists of approximately 0.44-acre located at the southwest corner of Cemetery Road and Lacon Road and includes Lot 230 and Lot 231 of the original Easthill Acres subdivision plat. Both lots were combined within the last two years. The site has an existing 3,861-square-foot retail building, which Franklin County Auditor records indicate was constructed in 1980. To the west are commercial properties and to the south are single-family residences all zoned PUD as part of the “Cemetery Road Properties Located Between Leap & Lacon Roads” Concept Plan. To the east, across Lacon Road, are commercial properties zoned M-1, Restricted Industrial District. To the north across Cemetery Road is a church zoned B-3, Office/Institutional District, and additional commercial properties zoned B-2, Community Business District. City Council recently adopted Ordinance 22-31

(effective November 26, 2022) to rezone the northern half of the site from B-1, Neighborhood business District to PUD, Planned Unit Development District. City Council also adopted Resolution 22-R-97 on November 28, 2022, approving PUD text modifications for setbacks and other related standards that were recommended by the Commission in August 2022.

The applicant is now requesting approval of a PUD Final Development Plan modification to permit a 2-story, 3,240-square-foot addition to the existing Colorado Mountain Sports building.

COMMISSION ROLE:

The Commission is to review the proposed PUD Final Development Plan modification for conformance to the provisions of the “Cemetery Road Properties Located Between Leap & Lacon Roads” PUD Concept Plan. The Commission is also to review this final development plan modification for conformance to the PUD provisions of the Zoning Code as outlined in the PUD provisions of Chapter 1117. Specifically, the Code provides for the granting of final development plan approval under the criteria as outlined by Section 1117.06:

- Whether the proposed development is consistent with the purposes and conditions of the PUD Zoning District;
- Whether the proposal is consistent with the Hilliard Comprehensive Plan and is compatible with existing and potential uses around the property;
- Whether the layout and design is harmonious with the natural character of the surrounding area and site and employs best management practices;
- Whether the proposed project will place undue burden on public facilities and services;
- Whether the PUD will contain uses or conditions that may be injurious to the public health, safety and welfare;
- Whether the proposed development conforms to Code requirements unless specifically modified and approved in accordance with Chapter 1117;
- Whether the final development plan is generally consistent with the approved Concept Plan; and
- Whether the approval will result in a recognizable and substantial benefit to users of the project and the community, which would not otherwise be feasible under conventional zoning districts.

Following approval by the Commission, the applicant can move forward with final engineering and submit for permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed PUD Final Development Plan modification, as amended in the conditions listed below, is consistent with the approved PUD Concept Plan. Staff finds that such modification is not in conflict with the general health, safety, and welfare of the public. Based on these findings, staff recommends approval of the proposed PUD Final Development Plan modification with the following eight conditions:

- 1) That an additional 10 feet of right-of-way along Cemetery Road is dedicated to the City consistent with the Hilliard Thoroughfare Plan and that parking pavement within the dedicated right-of-way be removed subject to approval of the City Engineer;
- 2) That a variance for the proposed employee parking spaces is obtained by the Board of Zoning Appeals;
- 3) That all building plans be revised to comply with applicable Building and Fire Code requirements;
- 4) That all plans be updated to comply with the City’s regulations for stormwater management to the satisfaction of the City Engineer;
- 5) That the site plan be revised to include required landscaping per Code;
- 6) That the southern drive approach be limited to 14 feet in width;

- 7) That an additional shutter and horizontal trim board be provided on all elevations of the addition that have a stucco finish, subject to staff approval; and
- 8) That a building permit is obtained prior to construction.

CONSIDERATIONS:

- The site has approximately 62 feet of frontage along Cemetery Road, and approximately 180 feet of frontage along Lacon Road. The existing building has an access point on Cemetery Road and a second on Lacon Road (both at the intersection). A third curb cut is located along Lacon Road near the southern property line and is the former access for a residence that was demolished.
- The Franklin County Recorder’s Office notes that in 2017, the City acquired a sliver of additional right-of-way at the corner of Cemetery Road and Lacon Road for street improvements associated with the intersection. The deed was transferred on December 7, 2017. Additional right-of-way along Cemetery Road consistent with the Thoroughfare Plan was not acquired in 2017 due to the timing of the public improvements.

Thoroughfare Plan

- The Thoroughfare Plan identifies Cemetery Road between Leap Road and Britton Parkway as a Major Arterial (four-lane roadway with 2 through lanes in each direction and either a center left-turn lane or separate left-turn lanes at driveways and intersections) with a minimum 100-foot-wide right-of-way. The site has 40 feet of right-of-way from centerline along its Cemetery Road frontage. **An additional 10 feet of right-of-way along Cemetery Road is needed to conform to the Thoroughfare Plan and should be provided as part of the site development. The parking space within the dedication should be removed as part of the proposed expansion.**

Comprehensive Plan

- The Comprehensive Plan recommends the site for Neighborhood Retail uses as a small-scale commercial mixed-use center intended to serve the daily needs of residents and employment centers with a mile radius. The maximum recommended tenant size is 20,000 square feet. Second or third floor uses may include retail, commercial, or residential uses. Parking shall be to the side or rear of the development, and excellent ped/bike access should be provided to all surrounding uses. These retail developments should have a distinct street presence and highly attractive and memorable architecture. Public space and landmarks such as a plaza, small green, fountain, esplanade, or even a clock tower should be included in the development to provide places for area residents to gather and socialize, and to define the character of the development.

PUD Development Text

- The approved *Cemetery Road Properties Located Between Leap and Lacon Roads* PUD text lists the following permitted uses: retail, personal services, business services, offices and banks, non-fast-food restaurants, gas stations and childcare. The proposed retail use is consistent with the text.
- The approved PUD text specifies minimum building setbacks for a commercial use fronting onto Lacon Road, and the proposed plan meets requirements:

BUILDING SETBACK	DISTANCE
Front (Cemetery Road)	50 feet
Front (Lacon Road)	20 feet
Side	10 feet
Rear	10 feet

Proposed PUD Final Development Plan

- The proposed plans show a 3,240-square-foot addition to the rear of the building. The plans show a one-way access drive along the east side of the building with egress onto Lacon Road at the south end of the

site. **Staff recommends that the southern drive approach be limited to a maximum of 14 feet in width as approved by the City Engineer.**

- The minimum number of required parking spaces is 13 based on the proposed plans. The plans provide the required number of spaces, but spaces for employees will include four double-stacked spaces and one space along the building with restricted access. **The applicant has applied to the Board of Zoning Appeals seeking a variance to approve a comprehensive parking arrangement. The application is scheduled on the December 15, 2020, Board of Zoning Appeals agenda.**
- Proposed architectural elevations show different options for architecture on the east building elevation. Option 3A is preferred and would include horizontal siding with spandrel glass windows to replace the existing stucco. The addition would include faux shutters on the second floor with a board and batten finish. **All final plans must comply with applicable building code and fire code requirements.**
- At this time information that demonstrates compliance with stormwater management regulations have not been provided and will be necessary as part of the permit approval process. **Final details should be submitted to the satisfaction of the City Engineer prior to construction activities.**

Architecture

- The PUD text for this site requires that brick, stone, or similar materials are used that compliment each structure. Materials proposed for the project include a board-and-batten treatment and horizontal wood siding. Plans include the incorporation of spandrel glass and faux shutters along Lacon Road to provide architectural variety. Option 3A is the preferred configuration of materials for the east building elevation, and smooth stucco is also proposed as an alternate material for the proposed addition. **Staff recommends that an additional shutter and trim be added to the east elevation of the addition if stucco is selected as the final material choice. If stucco is selected for the south and west elevations of the addition, then staff would recommend that the elevations be revised by adding a horizontal trim board consistent with what is shown on the proposed elevations featuring board and batten siding.**

[END OF REPORT | PZ-22-43]

As part of changes to the agenda, Mr. Lewie, seconded by Ms. Nixon, made a motion to postpone Case PZ-22-43 – Colorado Mountain Sports – 4445 Cemetery Road to the January 12, 2023, meeting.

Status:	Motion to postpone was accepted by voice vote (5-0).
Mover:	Mr. Chris Lewie
Second:	Ms. Tracey Nixon
Ayes:	Vice Chair Bevan Schneck, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley.

CASE 3: PZ-22-66 – SHOPPES BY WESTWOOD – 4055 MAIN STREET

PARCEL NUMBERS: 050-000188 & 050-000084

APPLICANT: Old Hilliard Ltd., c/o Andy Warnock, P.O. Box 1471, Hilliard, OH 43026.

REQUEST: Review & approval of a comprehensive signage plan consisting of wall signs, projecting signs, and A-frame signs for each tenant space.

[Mr. Combs gave the staff report]

BACKGROUND:

The site is 0.294-acre located on the western corner of Main Street and Norwich Street in Old Hilliard. The site is zoned OH-MD, Old Hilliard Mixed Use District, which allows for a wide range of residential and commercial uses. The one-story building is approximately 9,900 square feet in area and includes four tenant spaces with a mix of retail uses. The property also includes a plaza space along Main Street. On July 14, 2022, the Planning and Zoning Commission approved a plan for exterior awnings, lighting, and colors.

The applicant is now requesting approval of a Signage Plan for the overall site consisting of wall signs, projecting signs, and sandwich board signs for each tenant space.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner's predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Following approval by the Commission, the applicant is responsible for obtaining a sign permit prior to installation for each sign that conforms to the requirements and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposal, as amended in the conditions listed below, is consistent with the provisions of the Sign Code. Based on this finding, staff recommends approval of the Signage Plan with the following 5 conditions:

- 1) That each tenant is permitted to have not more than one sandwich board (A-frame) sign with dimensions not greater than 3 feet by 5 feet with not more than four colors;
- 2) That each tenant is permitted to have not more than one projecting sign with dimensions and location as specified by the Sign Code;
- 3) That each tenant is permitted to have wall signage consistent with the provisions of the Sign Code;
- 4) That final designs for any tenant directory signs be specifically approved by the Planning and Zoning Commission; and
- 5) That a sign permit is obtained prior to the installation of each sign.

CONSIDERATIONS:

- *Retail Spaces.* 4055 Main Street includes a total of four retail spaces or suites. The building includes one tenant with access facing Main Street, an additional tenant with corner access facing the intersection of Main and Norwich Streets, and two additional tenant spaces with access onto Norwich Street.
- *Wall Signs.* Wall signage for each tenant will be consistent with the provisions of the Sign Code. The Sign Code permits a maximum of one square foot of sign area for each linear foot of building wall facing the street for each tenant space. A maximum of ½ square foot of sign area for each linear foot of building wall facing a second street is permitted.

- *Projecting Signs.* A maximum of one projecting sign per tenant space will be permitted. The Sign Code permits a maximum projection of three feet from the building and requires the sign to be double faced and not less than eight feet above the sidewalk grade.
- *Sandwich Board.* A maximum of one sandwich board (A-frame) sign not larger than 3-feet-by-5-feet for each tenant would be permitted. The Sign Code permits a maximum of one sandwich board sign per *property* in Old Hilliard with a maximum size of 4 square feet. Sandwich board signs are not permitted on the sidewalk unless the building is located immediately adjacent to the sidewalk in which case the sign may be located subject to the City Engineer’s approval.
- *Tenant Directories.* Two tenant directory wall signs, one on each of the southeast and northeast building elevations is proposed. **Details for these signs have not been provided, and staff recommends that the signs be brought back to the Planning and Zoning Commission for future review.**

[END OF REPORT | PZ-22-66]

Cole Antle, representing the Westwood Collective, indicated for the record that the applicant agrees with the conditions listed in the report. He asked for clarification regarding the use of A-frame signs and whether or not the A-frame signs would be considered as a temporary sign; Mr. Talentino clarified that a one-time sign permit is required for each A-frame and then they can be used when the business is open.

Mr. Pannett, seconded by Ms. Nixon, made a motion to approve a comprehensive signage plan consisting of wall signs, projecting signs, and A-frame signs for each tenant space with the following five conditions:

- 1) That each tenant is permitted to have not more than one sandwich board (A-frame) sign with dimensions not greater than 3 feet by 5 feet with not more than four colors;
- 2) That each tenant is permitted to have not more than one projecting sign with dimensions and location as specified by the Sign Code;
- 3) That each tenant is permitted to have wall signage consistent with the provisions of the Sign Code;
- 4) That final designs for any tenant directory signs be specifically approved by the Planning and Zoning Commission; and
- 5) That a sign permit is obtained prior to the installation of each sign.

Status:	Approved (5-0) with five conditions.
Mover:	Mr. Tom Pannett
Second:	Ms. Tracey Nixon
Ayes:	Vice Chair Bevan Schneck, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley.

CASE 4: PZ-22-68 – KIMES RESIDENCE – 5190 NORWICH STREET

PARCEL NUMBERS: 050-000321 & 050-000293

APPLICANT: Hayden & Chelsea Kimes, 5190 Norwich Street, Hilliard, OH 43026.

REQUEST: Review & approval of an Old Hilliard District Plan under the provisions of Hilliard Code Chapter 1115 to permit a 3,970-square-foot building addition.

[Mr. Combs gave the staff report]

BACKGROUND:

The site consists of two parcels totaling 0.54 acre located on the northeast side of Norwich Street approximately 200 feet southeast of Hamilton Road. The Franklin County Auditor records indicate the 2,210-square-foot house was constructed in 1900. The site also includes a ±980-square-foot detached garage. The applicant is now requesting approval of an Old Hilliard District Plan to permit an addition to the existing dwelling.

COMMISSION ROLE:

The Commission is to review the Old Hilliard District Plan proposal for conformance to the general design criteria as specified in Code Section 1115.05 to determine whether the proposed Old Hilliard District Plan achieves the following criteria:

- Whether the project conforms to neighborhood development goals and the recommendations of the Comprehensive Plan.
- Whether the project is complementary to the historic character of the District.
- Whether the project harmoniously relates to and enhances adjacent structures and public spaces with respect to scale, building materials, setbacks and similar design elements.
- Whether the proposal accommodates and promotes pedestrian activity through wide sidewalks, linkages to surrounding uses and public spaces and minimal conflicts with vehicular access.
- Whether the project contributes to the area's sense of place, reinforce Old Hilliard's unique character and enhance the people-oriented setting.
- Whether the proposal places special emphasis on creating people-oriented facades along Main and Norwich Streets and are facades in scale with pedestrian activity and movement with entrances that are well-defined and inviting.
- Whether the proposed plan addresses specific design requirements for architecture, building materials, color, roof forms, windows, mechanicals, awnings, landscaping, screening, parking, utilities, maintenance and signage as provided for in Section 1115.05.

Following approval by the Commission, the applicant may submit for permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposal is consistent with the provisions of the Zoning Code and furthers the goals of the Hilliard Comprehensive Plan and generally meet the criteria for an Old Hilliard District Plan. Based on these findings, staff recommends approval of the proposal with the following four conditions:

- 1) That a variance to reduce the minimum side yard from 5 feet to 3.5 feet is obtained from the Board of Zoning Appeals;
- 2) That the garage is located not less than 50 feet from the Norwich Street right-of-way line;
- 3) That exterior materials and colors are consistent with those proposed, subject to staff approval; and
- 4) That a building permit is obtained prior to construction.

CONSIDERATIONS:

- The site is zoned OH-RD, Old Hilliard Residential District. Single-family residence is a permitted use in this zoning district. The Hilliard Comprehensive Plan recommends the site for medium-density residential housing. New infill development should follow the residential and architectural pattern that exists. Parking should be located as to not dominate the front of the structure and side-loaded or detached garages are preferred. Front porches and patios are strongly encouraged in this area.
- According to Hilliard Code Section 1115.05, the architectural design of buildings must create and enhance the community image. Variations in façade elements shall be incorporated into all sides of the principal building to minimize the perceived mass and scale. The width of a principal building façade

along a public street shall be a minimum of 60 percent of the lot width. Colors shall be neutral and natural tones with low reflectivity. Accent and trim colors must complement the effect of the primary building color. Bold, brash, intense, bright, fluorescent, black or metallic accent colors are prohibited, unless approved by the Planning and Zoning Commission for very limited application. All exterior colors should be subdued, with strong colors such as reds, blues, and golds, etc., should only be applied to trim and accent being avoided. Roof colors shall be muted and compatible with the dominant building color. Sloped roofs shall be a minimum 6/12 pitch and a maximum 12/12 pitch.

- Development standards in the OH-RD zoning district include a front setback of 0 to 25 feet, minimum 5-foot side yard on one side, minimum 12-foot total side yards, minimum 25-foot rear yard, maximum 35-foot building height, and minimum 1,300-square-foot floor area.
- The proposal includes the demolition of the rear half of the existing house and the existing detached garage. The proposed addition consists of a new front porch, new first and second floors at the rear of the house, and a 3-car garage on the southeast side of the house. With the proposed addition, setbacks will be 25.5 feet from the Norwich Street right-of-way line, 26.8 feet from the northwest property line, 3.5 feet from the southeast property line, and approximately 158 feet from the rear property line. It should be noted that the garage will be set back approximately 58 feet from the Norwich Street right-of-way line to not dominate the front of the house consistent with the recommendations in the Comprehensive Plan. **The applicant has applied to the Board of Zoning Appeals seeking a variance to reduce the required side yard from 5 feet to 3.5 feet for the proposed addition. The application is scheduled on the December 15, 2020, Board of Zoning Appeals agenda.**
- The proposed two-story building addition includes 1,163 square feet on the first floor, 1,826 square feet on the second floor, and, on the southeast side of the house, a 981-square-foot attached garage and a new chimney. A new front porch is proposed along the entire front of the house and along a portion of the northwest side and will feature a standing seam metal roof. Exterior materials for the proposed addition include horizontal composite board siding (Hardie Plank 8-inch exposure – Sherwin Williams SW 7008 “Alabaster”) in combination with composite board shingle siding (Hardie Shingle Siding SW 7008 “Alabaster”), standing seam metal roofing (Galvanized color) on the front porch and a portion of the rear elevation, and asphalt shingles (Certainteed Landmark Pro “Moire Black”). The chimney is shown with cultured stone (Dutch Quality “Kentucky Limestone” or “Tuscan Ridge”). The proposed roof pitch is 10/12, except on the front porch which ranges from 3/12 to 4.5/12. Proposed windows are white double-hung 2-over-2 panels consistent with those on the existing dwelling. The front door and side porch door are red (Sherwin Williams SW 7587 “Antique Red”), and all other exterior doors including the garage door are white (Sherwin Williams SW 7008 “Alabaster”). Shutters are blue (Sherwin Williams SW 6244 “Naval Blue”) and gutters and downspouts are white. Exterior trim and soffits will match the siding color.

[END OF REPORT | PZ-22-68]

Mr. Combs clarified that the existing detached garage located on the property line would be removed and the proposed attached garage would actually increase the setback.

Hayden and Chelsea Kimes addressed the Commission and noted that they agree with the conditions in the staff report. They clarified for Mr. Uttley that the existing garage would be torn down as part of the proposal.

Mr. Lewie asked for confirmation that the selected colors are compatible with the historic paint palette; the Kimes confirmed that the colors are similar to the existing condition and will include a cream/light tan exterior with dark blue detailing. They noted that the only real change is the proposed red door color.

Mr. Uttley commented for the record that the proposed architecture is very appealing.

Ms. Nixon, seconded by Mr. Lewie, made a motion to approve an Old Hilliard District Plan under the provisions of Hilliard Code Chapter 1115 to permit a 3,970-square-foot building addition with the following four conditions:

- 1) That a variance to reduce the minimum side yard from 5 feet to 3.5 feet is obtained from the Board of Zoning Appeals;
- 2) That the garage is located not less than 50 feet from the Norwich Street right-of-way line;
- 3) That exterior materials and colors are consistent with those proposed, subject to staff approval; and
- 4) That a building permit is obtained prior to construction.

Status:	Approved (5-0) with four conditions.
Mover:	Ms. Tracey Nixon
Seconded:	Mr. Chris Lewie
Ayes:	Vice Chair Bevan Schneck, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley

DISCUSSION ITEMS / COMMITTEE COMMUNICATIONS

Vice Chair Schneck thanked Mr. Lewie for bringing cookies to the meeting.

Mr. Lewie inquired about the status of the Comprehensive Plan; Mr. Talentino noted that a final draft should be provided to the Commission before February. He said that the Commission will have a month to review prior to being formally heard as part of business. He said that staff will provide a presentation at that time. Mr. Talentino also agreed with Mr. Pannett that staff can provide hard copies to the Commission members for review.

Mr. Uttley noted that the Arts Commission meeting was cancelled due to illness.

Ms. Nixon informed the Commission that the recreation center will also include a private partnership. She inquired about Commission compensation since she missed the prior meeting; Vice Chair Schneck noted that the new arrangement had been approved in the budget.

ADJOURNMENT – 7:30 PM

With no additional business, Mr. Uttley (seconded by Mr. Lewie) motioned to adjourn at 7:30 p.m.

CERTIFICATION:

Carson Combs, Planning Manager
January 13, 2023

[END OF MINUTES | December 8, 2022]

STAFF REPORT



Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube

Thursday, January 12, 2023 | 7:00 pm

CASE 2: PZ-22-43 – COLORADO MOUNTAIN SPORTS – 4445 CEMETERY ROAD

PARCEL NUMBER: 050-002824

APPLICANT: Cemetery Rd Holdings LLC, c/o Eric Bahgat, 4445 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of a PUD Final Development Plan modification under the provisions of the Cemetery Road Properties Located Between Leap & Lacon Roads PUD Concept Plan and Text for a two-story, 3,240-square-foot building addition on 0.44-acre.

BACKGROUND:

The site consists of approximately 0.44-acre located at the southwest corner of Cemetery Road and Lacon Road and includes Lot 230 and Lot 231 of the original Easthill Acres subdivision plat. Both lots were combined within the last two years. The site has an existing 3,861-square-foot retail building, which Franklin County Auditor records indicate was constructed in 1980. To the west are commercial properties and to the south are single-family residences all zoned PUD as part of the “Cemetery Road Properties Located Between Leap & Lacon Roads” Concept Plan. To the east, across Lacon Road, are commercial properties zoned M-1, Restricted Industrial District. To the north across Cemetery Road is a church zoned B-3, Office/Institutional District, and additional commercial properties zoned B-2, Community Business District. City Council recently adopted Ordinance 22-31 (effective November 26, 2022) to rezone the northern half of the site from B-1, Neighborhood business District to PUD, Planned Unit Development District. City Council also adopted Resolution 22-R-97 on November 28, 2022, approving PUD text modifications for setbacks and other related standards that were recommended by the Commission in August 2022.

The applicant is now requesting approval of a PUD Final Development Plan modification to permit a 2-story, 3,240-square-foot addition to the existing Colorado Mountain Sports building.

COMMISSION ROLE:

The Commission is to review the proposed PUD Final Development Plan modification for conformance to the provisions of the “Cemetery Road Properties Located Between Leap & Lacon Roads” PUD Concept Plan. The Commission is also to review this final development plan modification for conformance to the PUD provisions of the Zoning Code as outlined in the PUD provisions of Chapter 1117. Specifically, the Code provides for the granting of final development plan approval under the criteria as outlined by Section 1117.06:

- Whether the proposed development is consistent with the purposes and conditions of the PUD Zoning District;
- Whether the proposal is consistent with the Hilliard Comprehensive Plan and is compatible with existing and potential uses around the property;
- Whether the layout and design is harmonious with the natural character of the surrounding area and site and employs best management practices;
- Whether the proposed project will place undue burden on public facilities and services;

- Whether the PUD will contain uses or conditions that may be injurious to the public health, safety and welfare;
- Whether the proposed development conforms to Code requirements unless specifically modified and approved in accordance with Chapter 1117;
- Whether the final development plan is generally consistent with the approved Concept Plan; and
- Whether the approval will result in a recognizable and substantial benefit to users of the project and the community, which would not otherwise be feasible under conventional zoning districts.

Following approval by the Commission, the applicant can move forward with final engineering and submit for permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed PUD Final Development Plan modification as amended below is consistent with the approved PUD Concept Plan. Staff finds that such modification is not in conflict with the general health, safety, and welfare of the public. Based on these findings, staff recommends approval of the proposed PUD Final Development Plan modification with the following eight conditions:

- 1) That an additional 10 feet of right-of-way along Cemetery Road is dedicated to the City consistent with the Hilliard Thoroughfare Plan and that parking pavement within the dedicated right-of-way be removed subject to approval of the City Engineer;
- 2) That a variance for the proposed employee parking spaces is obtained by the Board of Zoning Appeals;
- 3) That all building plans be revised to comply with applicable Building and Fire Code requirements;
- 4) That all plans be updated to comply with the City's regulations for stormwater management to the satisfaction of the City Engineer;
- 5) That the site plan be revised to include required landscaping per Code;
- 6) That the southern drive approach be limited to 14 feet in width;
- 7) That an additional shutter and horizontal trim board be provided on all elevations of the addition that have a stucco finish, subject to staff approval; and
- 8) That a building permit is obtained prior to construction.

CONSIDERATIONS:

- The site has approximately 62 feet of frontage along Cemetery Road, and approximately 180 feet of frontage along Lacon Road. The existing building has an access point on Cemetery Road and a second on Lacon Road (both at the intersection). A third curb cut is located along Lacon Road near the southern property line and is the former access for a residence that was demolished.
- The Franklin County Recorder's Office notes that in 2017, the City acquired a sliver of additional right-of-way at the corner of Cemetery Road and Lacon Road for street improvements associated with the intersection. The deed was transferred on December 7, 2017. Additional right-of-way along Cemetery Road consistent with the Thoroughfare Plan was not acquired in 2017 due to the timing of the public improvements.

Thoroughfare Plan

- The Thoroughfare Plan identifies Cemetery Road between Leap Road and Britton Parkway as a Major Arterial (four-lane roadway with 2 through lanes in each direction and either a center left-turn lane or separate left-turn lanes at driveways and intersections) with a minimum 100-foot-wide right-of-way. The site has 40 feet of right-of-way from centerline along its Cemetery Road frontage. *An additional 10 feet of right-of-way along Cemetery Road is needed to conform to the Thoroughfare Plan and should be*

provided as part of the site development. The parking space within the dedication should be removed as part of the proposed expansion.

Comprehensive Plan

- The Comprehensive Plan recommends the site for Neighborhood Retail uses as a small-scale commercial mixed-use center intended to serve the daily needs of residents and employment centers with a mile radius. The maximum recommended tenant size is 20,000 square feet. Second or third floor uses may include retail, commercial, or residential uses. Parking shall be to the side or rear of the development, and excellent ped/bike access should be provided to all surrounding uses. These retail developments should have a distinct street presence and highly attractive and memorable architecture. Public space and landmarks such as a plaza, small green, fountain, esplanade, or even a clock tower should be included in the development to provide places for area residents to gather and socialize, and to define the character of the development.

PUD Development Text

- The approved *Cemetery Road Properties Located Between Leap and Lacon Roads* PUD text lists the following permitted uses: retail, personal services, business services, offices and banks, non-fast-food restaurants, gas stations and childcare. The proposed retail use is consistent with the text.
- The approved PUD text specifies minimum building setbacks for a commercial use fronting onto Lacon Road, and the proposed plan meets requirements:

BUILDING SETBACK	DISTANCE
Front (Cemetery Road)	50 feet
Front (Lacon Road)	20 feet
Side	10 feet
Rear	10 feet

Proposed PUD Final Development Plan

- The proposed plans show a 3,240-square-foot addition to the rear of the building. The plans show a one-way access drive along the east side of the building with egress onto Lacon Road at the south end of the site. *Staff recommends that the southern drive approach be limited to a maximum of 14 feet in width as approved by the City Engineer.*
- The minimum number of required parking spaces is 13 based on the proposed plans. The plans provide the required number of spaces, but spaces for employees will include four double-stacked spaces and one space along the building with restricted access. *The applicant has applied to the Board of Zoning Appeals seeking a variance to approve a comprehensive parking arrangement. The application is scheduled on the December 15, 2020, Board of Zoning Appeals agenda.*
- Proposed architectural elevations show different options for architecture on the east building elevation. Option 3A is preferred and would include horizontal siding with spandrel glass windows to replace the existing stucco. The addition would include faux shutters on the second floor with a board and batten finish. *All final plans must comply with applicable building code and fire code requirements.*
- At this time information that demonstrates compliance with stormwater management regulations have not been provided and will be necessary as part of the permit approval process. *Final details should be submitted to the satisfaction of the City Engineer prior to construction activities.*

Architecture

- The PUD text for this site requires that brick, stone, or similar materials are used that compliment each structure. Materials proposed for the project include a board-and-batten treatment and horizontal wood siding. Plans include the incorporation of spandrel glass and faux shutters along Lacon Road to provide architectural variety. Option 3A is the preferred configuration of materials for the east building elevation, and smooth stucco is also proposed as an alternate material for the proposed addition. *Staff*

recommends that an additional shutter and trim be added to the east elevation of the addition if stucco is selected as the final material choice. With stucco, the south and west elevations should also include a matching trim board to provide architectural relief.

Recommended Trim/Shutter with Stucco Finish



East Elevation



West Elevation



South Elevation

[END OF REPORT | PZ-22-43]



050-002018

050-002021

050-002022

050-002023

050-002031

050-002022

050-002028

050-002024

*House has been demolished

Cemetery Road

Lacon Drive

050-002029

050-002033

1/29/2021



Construction of
COLORADO MTN SPORTS
 4445 Cemetery Rd. Hilliard, OH 43026

Prepared for
MARKER

Issued For:
PERMIT

Issued Date:
JULY 1, 2022

ARCHITECT:
 The Columbus Architectural Studio
 405 N Front Street
 Columbus, OH 43215

CIVIL ENGINEER:
 Choice One Engineering
 440 E. Hoewisher Rd
 Sidney, OH 45365

STRUCTURAL ENGINEER:
 Jezerinac Geers & Associates
 5640 Frantz Road
 Dublin, OH 43017

PLUMBING & MECHANICAL ENGINEER:
 Regal Mechanical
 3735 Paragon Dr.
 Columbus, OH 43228

ELECTRICAL ENGINEER:
 Romanoff Group
 1288 Research Rd.
 Gahanna, OH 43230

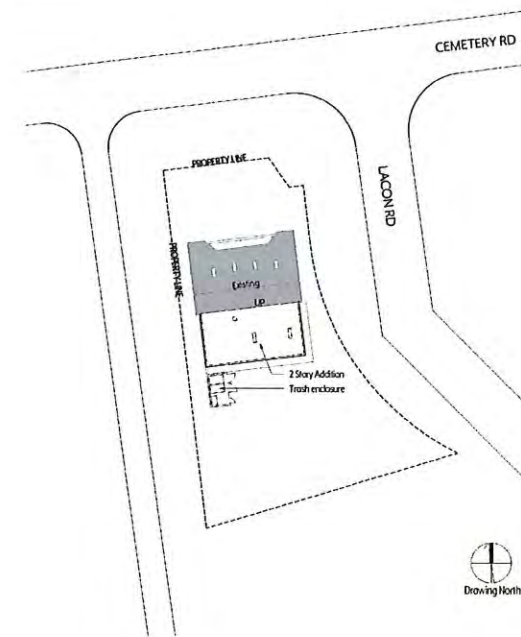
PROJECT SCOPE

Renovation and addition to existing retail space. The changes include but are not limited to adding sprinklers throughout, removing a 1 story shed addition on rear and adding a 2 story addition connecting existing and new spaces. Removing the existing East stairways which are steep, and replacing with wider compliant stairs for staff and public. Replacing existing exterior stair to basement storage with wider stair now on interior. Remove existing restrooms and provide an ADA restroom.

VICINITY MAP



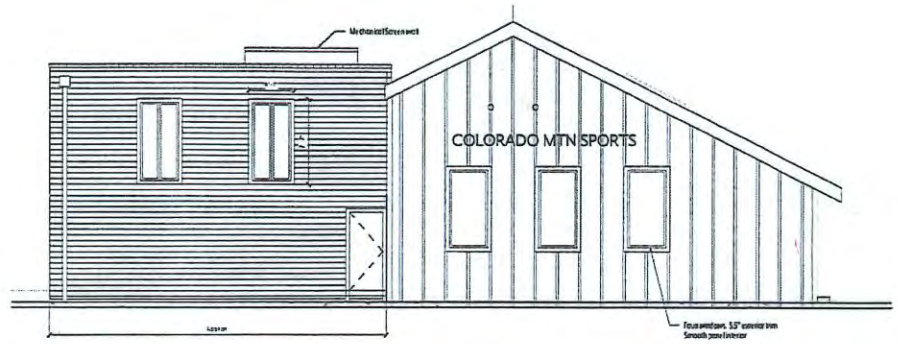
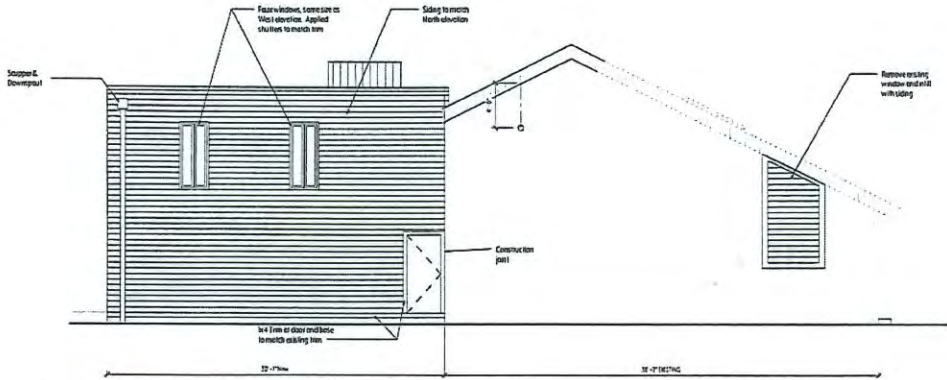
LOCATION MAP



SHEET LIST

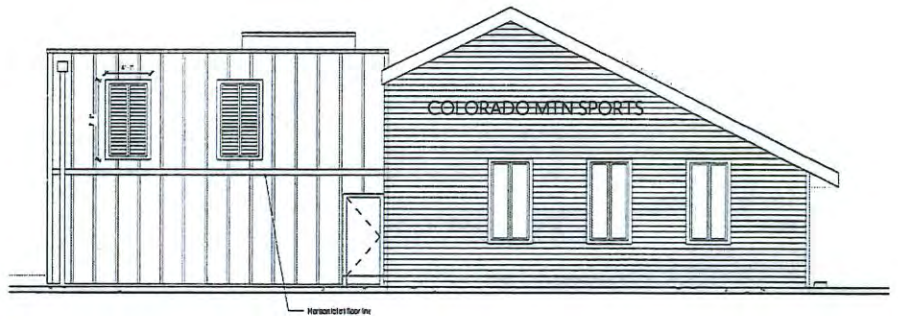
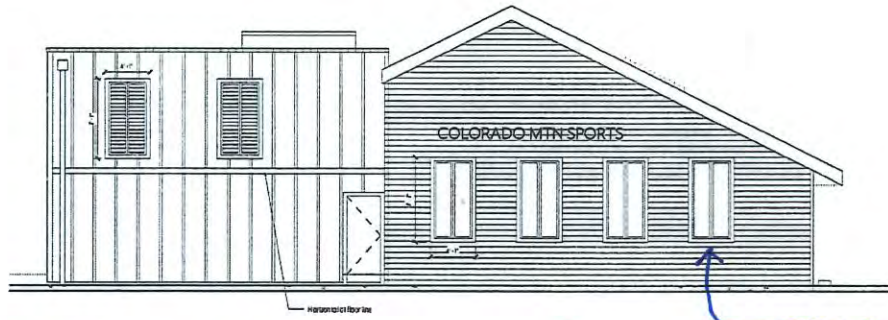
Sheet Number	Sheet Name
00 GENERAL	
G000	COVER
G201	LIFE SAFETY
01 CIVIL	
C1	TITLE SHEET
C2	GENERAL NOTES
C3	GENERAL NOTES
C4	GENERAL DETAILS
C5	DEMOLITION PLAN
C6	DIMENSIONS AND PAVEMENT PLAN
C7	UTILITY PLAN
C8	GRADING AND EROSION CONTROL PLAN
C9	PAVEMENT ELEVATIONS PLAN
02 ARCHITECTURE	
A001	SYMBOLS & ABBREVIATIONS
A002	TYPICAL MOUNTING LOCATIONS
A003	ADA REQUIREMENTS & DETAILS
A010	WALL TYPES
A015	DOOR SCHEDULE
A200	BASEMENT FLOOR PLANS
A201	FIRST FLOOR PLANS
A202	SECOND FLOOR PLANS
A203	ROOF PLAN & DETAILS
A301	EXTERIOR ELEVATIONS
A302	BUILDING SECTIONS
A401	WALL SECTIONS & DETAILS
A601	STAIRS
A701	REFLECTED CEILING PLANS
A810	INTERIOR ELEVATIONS
A850	INTERIOR DETAILS
A900	FINISHES
AD201	DEMO PLAN
03 STRUCTURE	
S001	GENERAL STRUCTURE INFORMATION
S002	GENERAL STRUCTURE INFORMATION
S101	FOUNDATION & FIRST FLOOR FRAMING PLANS
S102	SECOND FLOOR & ROOF FRAMING PLANS
S301	FOUNDATION DETAILS
S310	FRAMING DETAILS
S311	FRAMING DETAILS
04 MECHANICAL	
M0.1	HVAC SCHEDULE AND DETAILS
M0.5	BASEMENT HVAC PLAN
M1.0	FIRST FLOOR HVAC PLAN
M2.0	SECOND FLOOR HVAC PLAN
M3.0	ROOF HVAC PLAN
05 PLUMBING	
P0.1	PLUMBING SCHEDULES AND DETAILS
PI.0	PLUMBING PLANS
06 ELECTRICAL	
SU-1	ELECTRICAL SITE UTILITY PLAN
E100	FIRST FLOOR LIGHTING PLAN
E102	SECOND FLOOR LIGHTING PLAN
E201	FIRST FLOOR POWER PLAN
E202	SECOND FLOOR POWER PLAN
E300	RISER DIAGRAM AND PANEL SCHEDULES

EAST ELEVATION OPTIONS



1 EAST ELEVATION - SIDING
SCALE: 3/16" = 1'-0"

2 EAST ELEVATION Option 2
SCALE: 3/16" = 1'-0"



* 3 EAST ELEVATION Option 3a
SCALE: 3/16" = 1'-0"

3 EAST ELEVATION Option 3b
SCALE: 3/16" = 1'-0"

MARKER * PREFERRED OPTION

COLORADO MTN SPORTS
EXTERIOR REVISIONS

November 28, 2022

COLORADO MTN SPORTS

4445 Cemetery Rd Hilliard, OH 43026

MARKER.

Client: Marker
Address: 2011 Riverside Dr. Columbus, OH 43221



405 N Front St Columbus, OH 43215 Tel: Don't enter Fax: Test here

STRUCTURAL ENGINEERS
American Green & Associates
5640 Frantz Rd
Dublin, OH 43017
614.765.055

MECHANICAL & PLUMBING
Ragel Plumbing & Heating Co.
3735 Paragon Dr
Hilliard, OH 43026
614.888.8905

CIVIL ENGINEERS
Choice One Engineering
440 E Howelther Rd
Sidney, OH 45365
937.497.0200

ELECTRICAL ENGINEER
Romanoff Electric
1288 Research Road
Gahanna, OH 43230

ELEVATION - GENERAL NOTES

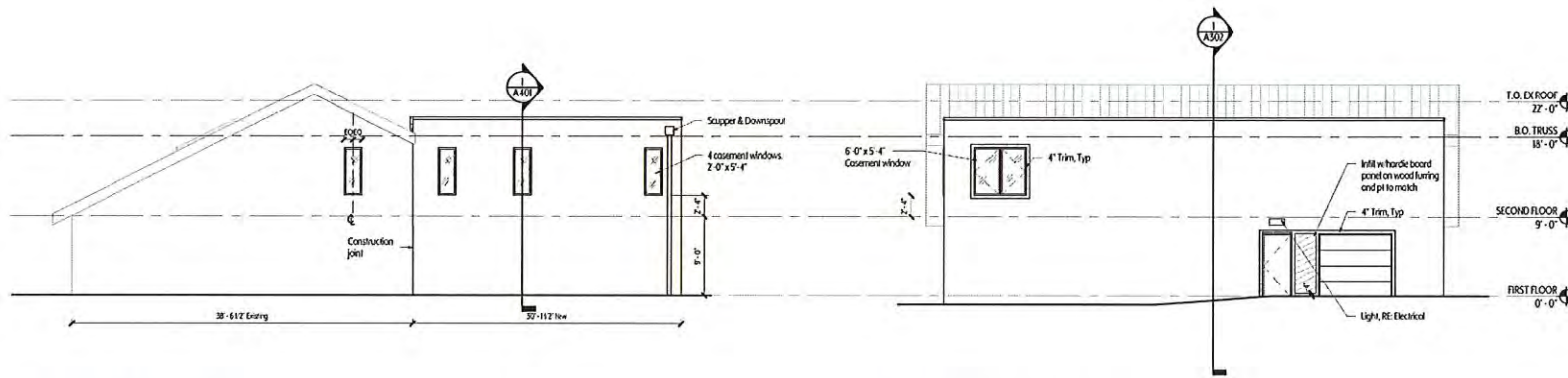
1. All MEP elements shall be centered between and structural elements and/or aligned with the closest brick coursing unless noted otherwise.
2. All exterior steel, or steel contained within an exterior wall assembly, shall be hot dipped galvanized and field painted.

EXTERIOR MATERIALS SUMMARY

IG-1	EXTERIOR CLEAR VISION GLASS Double glazed insulated unit See window mfr for selections
WD Trim	Hard Board Trim to match existing on North Facade
Material	Composite Wood
Dimensions	22" tall x 4" or 6"
Finish	Painted to match or prefinished
PT-1	PAINT
Color	SW 2000X
Location	Trim
PT-2/3	PAINT over Stucco system
Color	SW 2000X
Location	Trim

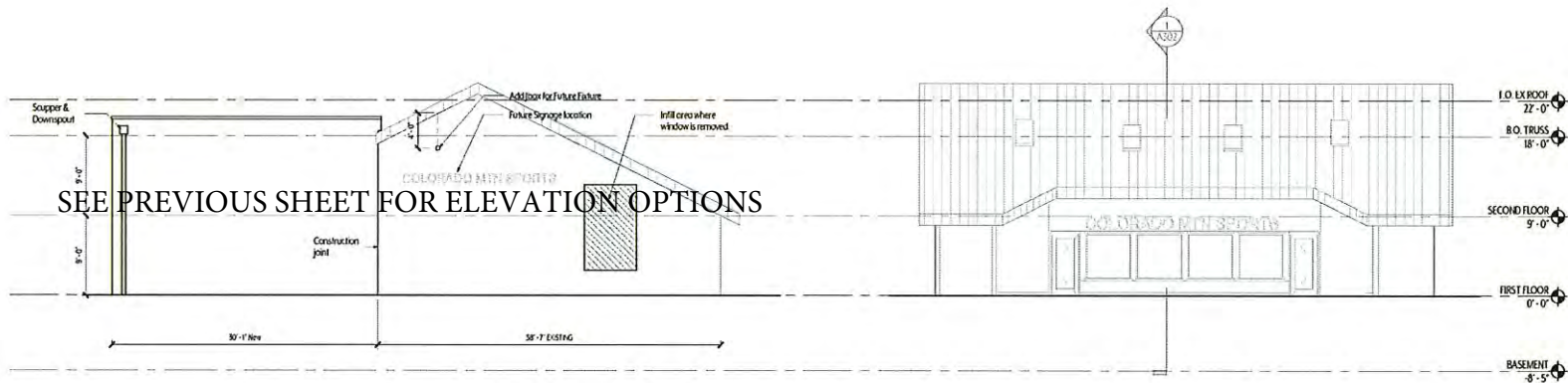
EXTERIOR MATERIALS LEGEND

	IG-1: Clear Glass, low-E
	Stucco
	Hard Board



3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

4 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"

1 NORTH ELEVATION - EXISTING
SCALE: 1/8"=1'-0"

Date	Description

Issued For / Date	
Permit / July 1, 2022	
Seal / Signature	



Project Name	COLORADO MTN SPORTS
Project Number	22-009
Scale	As indicated
Description	

EXTERIOR ELEVATIONS

A301



SMOOTH STUCCO



HORIZONTAL SIDING
"BOARD AND BATTEN" SIDING

The addition could be a mix of this nice smooth (rich looking) stucco. We would still have the shiplap siding on the front part as well. The other picture (to the right) would be the first choice, but I'm sure this will be very spendy!

Thanks,

COLORADO MTN SPORTS
ERIC BAHGAT
4445 CEMETERY RD.
HILLIARD, OH 43026
614.459.6666

COLORADO MTN SPORTS

4445 Cemetery Rd Hilliard, OH 43026

MARKER.

Client: Marker
Address: 201 Riverside Dr. Columbus, OH 43221

THE COLUMBUS ARCHITECTURAL STUDIO

405 N Front St Columbus, OH 43215
Tel: Do not enter
Fax: Text here

STRUCTURAL ENGINEERS
Jazzman Gears & Associates
6540 Frontz Rd
Dublin, OH 43017
614-766-055

MECHANICAL & PLUMBING
Riegel Plumbing & Heating Co.
3725 Pangborn Dr
Hilliard, OH 43026
614.888.8505

CIVIL ENGINEERS
Choice One Engineering
440 E Hewshurst Rd
Sidney, OH 45365
937.487.0200

ELECTRICAL ENGINEER
Romanoff Electric
1288 Research Road
Gahanna, OH 43230

Date	Description

Issued For / Date
Permit / July 1, 2022

Seal / Signature



Abbie Steier, License #1817281
Expiration Date 12/31/2022

Project Name
COLORADO MTN SPORTS

Project Number
22-009

Scale
As Indicated

Description

LIFE SAFETY

G201

GENERAL NOTES

- 1. Room occupancy will typically be evenly distributed when more than one exit exists.

CODE INFORMATION

REFERENCE CODES
2017 OHIO BUILDING CODE WITH LATEST AMENDMENTS/UPDATES AS ISSUED BY THE STATE OF OHIO
I.C.C. A117-2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES

O.P.T.3 OCCUPANCY

- M Mercantile
- B Business, as offices for Mercantile

Accessory and incidental occupancies per section 508.2

O.P.T.5 HEIGHTS / FLD AREAS

Table 504.4 Mercantile, Type VB Sprinklered can be 2 stories.

Allowable Height: 2 stories, 40ft
Actual Height: 2 stories, 24ft (Approximate)

Allowable Area / Floor

Use	9,000sf NS	36,000sf SI	27,000sf SM
Basement*	1575	0	0
First floor	2,140	1,540	3,680
Second floor	923	1,700	2,623
Total	4,635	3,240	6,303 sf

Actual Area:

Use	Existing	New	Total
Basement*	1575	0	NA
First floor	2,140	1,540	3,680
Second floor	923	1,700	2,623
Total	4,635	3,240	6,303 sf

*For Basement area: OBC 501.6.3

O.P.T.6 TYPE OF CONSTRUCTION

601 Construction Type VB, no rating required.

O.P.T.7 FIRE RESISTANCE

Exterior Walls (SECTION 705.6)
North and South Walls are + 30ft Separation Distance
East and West Walls are 10-15ft from R.O.W., Sprinklered 45% Openings allowed

O.P.T.8 ACCESSIBILITY

101.4 Elevators are not required as the second floor is less than 3000sf, exception 1.

O.P.T.29 PLUMBING

2902.2 Exception 3 does not require separate facilities for occupancy under 100. First floor restroom serves entire space. Second floor restroom is private to the office space.

O.P.T.34 POSTING BUILDINGS

3401.1 Exception 2 & 3 does not require stair tread and riser or railings to be updated if prohibitive.

GENERAL NOTES

OCCUPANT LOAD FACTORS

Mercantile	60 Gross	
Mercantile Stair	300 Gross	
Mercantile Office	100 Gross	

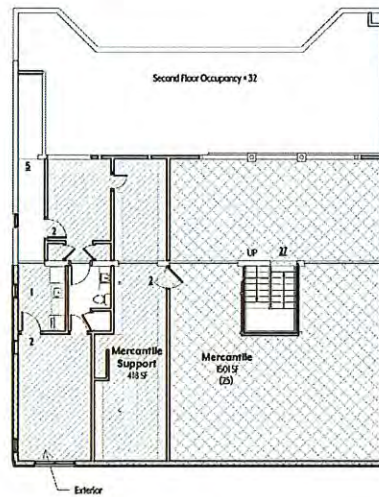
EXIT WIDTH FACTORS

Stairs	2 person
Other	15 person

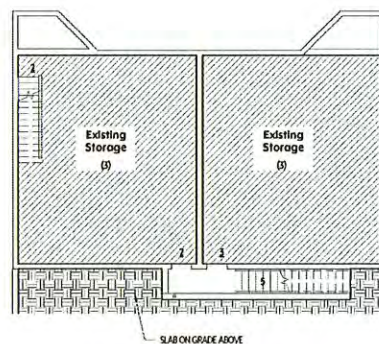
- XXX Occupancy of section or room
- XXX Number of occupants advancing
- Direction of occupant flow through element
- XXX' Travel distance
- Travel path
- FE 10 445 Fire extinguishers will be well mounted on hooks. All to confirm final locations with owner.

EXITMENT TAG

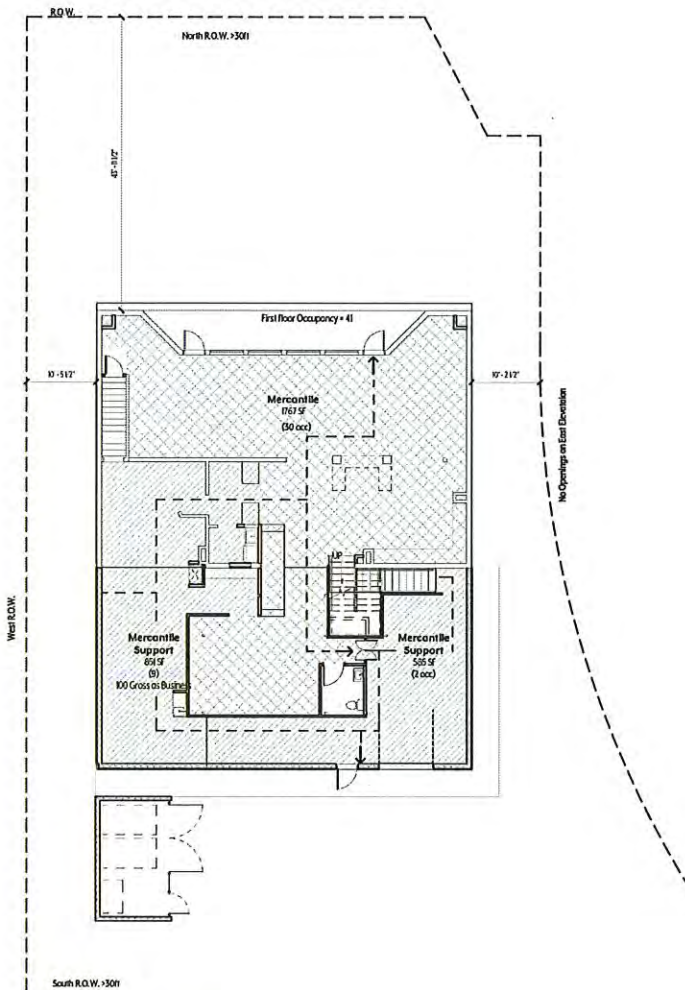
0	Total number of occupants exiting
0	Allowable number of occupants
0.0'	Exit width in decimal feet



2 LIFE SAFETY - LEVEL 02
SCALE: 3/32" = 1'-0"



3 LIFE SAFETY - BASEMENT
SCALE: 3/32" = 1'-0"



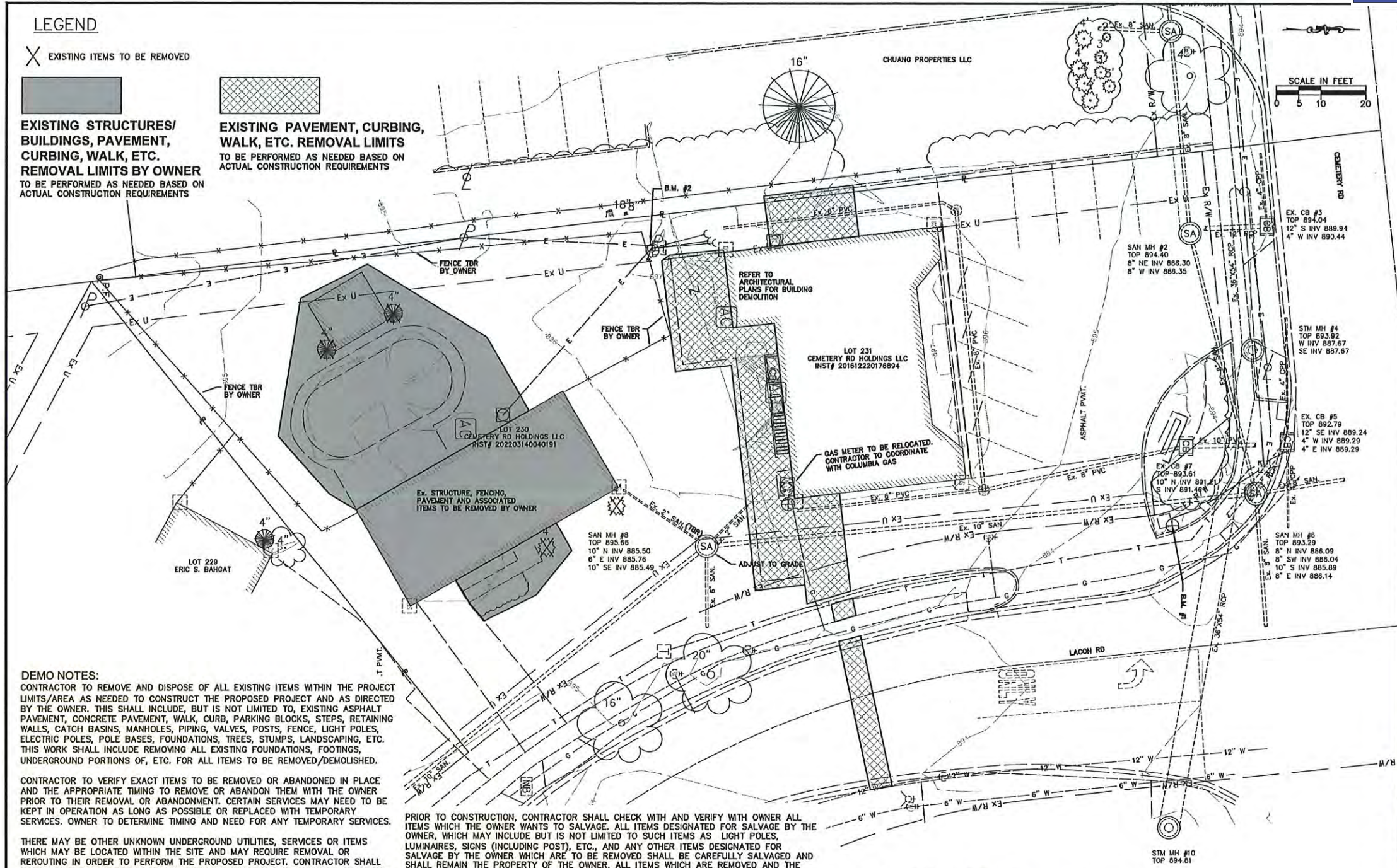
1 LIFE SAFETY - LEVEL 01
SCALE: 3/32" = 1'-0"

LEGEND

X EXISTING ITEMS TO BE REMOVED

EXISTING STRUCTURES/
BUILDINGS, PAVEMENT,
CURBING, WALK, ETC.
REMOVAL LIMITS BY OWNER
TO BE PERFORMED AS NEEDED BASED ON
ACTUAL CONSTRUCTION REQUIREMENTS

EXISTING PAVEMENT, CURBING,
WALK, ETC. REMOVAL LIMITS
TO BE PERFORMED AS NEEDED BASED ON
ACTUAL CONSTRUCTION REQUIREMENTS



DEMO NOTES:

CONTRACTOR TO REMOVE AND DISPOSE OF ALL EXISTING ITEMS WITHIN THE PROJECT LIMITS/AREA AS NEEDED TO CONSTRUCT THE PROPOSED PROJECT AND AS DIRECTED BY THE OWNER. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, EXISTING ASPHALT PAVEMENT, CONCRETE PAVEMENT, WALK, CURB, PARKING BLOCKS, STEPS, RETAINING WALLS, CATCH BASINS, MANHOLES, PIPING, VALVES, POSTS, FENCE, LIGHT POLES, ELECTRIC POLES, POLE BASES, FOUNDATIONS, TREES, STUMPS, LANDSCAPING, ETC. THIS WORK SHALL INCLUDE REMOVING ALL EXISTING FOUNDATIONS, FOOTINGS, UNDERGROUND PORTIONS OF, ETC. FOR ALL ITEMS TO BE REMOVED/DEMOLISHED.

CONTRACTOR TO VERIFY EXACT ITEMS TO BE REMOVED OR ABANDONED IN PLACE AND THE APPROPRIATE TIMING TO REMOVE OR ABANDON THEM WITH THE OWNER PRIOR TO THEIR REMOVAL OR ABANDONMENT. CERTAIN SERVICES MAY NEED TO BE KEPT IN OPERATION AS LONG AS POSSIBLE OR REPLACED WITH TEMPORARY SERVICES. OWNER TO DETERMINE TIMING AND NEED FOR ANY TEMPORARY SERVICES.

THERE MAY BE OTHER UNKNOWN UNDERGROUND UTILITIES, SERVICES OR ITEMS WHICH MAY BE LOCATED WITHIN THE SITE AND MAY REQUIRE REMOVAL OR REROUTING IN ORDER TO PERFORM THE PROPOSED PROJECT. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF ANY UNKNOWN UNDERGROUND UTILITIES OR OTHER ITEMS WHICH ARE ENCOUNTERED AND WORK WITH THE OWNER TO DECIDE HOW THESE ITEMS SHOULD BE HANDLED.

CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE REMOVAL OF UTILITIES.

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CHECK WITH AND VERIFY WITH OWNER ALL ITEMS WHICH THE OWNER WANTS TO SALVAGE. ALL ITEMS DESIGNATED FOR SALVAGE BY THE OWNER, WHICH MAY INCLUDE BUT IS NOT LIMITED TO SUCH ITEMS AS LIGHT POLES, LUMINAIRES, SIGNS (INCLUDING POST), ETC., AND ANY OTHER ITEMS DESIGNATED FOR SALVAGE BY THE OWNER WHICH ARE TO BE REMOVED SHALL BE CAREFULLY SALVAGED AND SHALL REMAIN THE PROPERTY OF THE OWNER. ALL ITEMS WHICH ARE REMOVED AND THE OWNER DOES NOT WANT TO SALVAGE SHALL BE REMOVED FROM THE SITE AND SHALL BECOME THE CONTRACTOR'S PROPERTY FOR PROPER DISPOSAL OFF-SITE, UNLESS OTHERWISE NOTED.

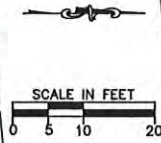
DEMOLITION OF ALL ITEMS TO BE PER ALL FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND STANDARDS. ALL DEMOLITION PERMITS TO BE OBTAINED PRIOR TO DEMOLITION.

DEMO EXISTING PAVEMENT NOTE:

DEMOLITION EDGES IN EXISTING PAVEMENT SHALL BE STRAIGHT, CLEAN AND TRUE.

EXISTING ELECTRICAL NOTE:

CONTRACTOR SHALL REFER TO THE ELECTRICAL DRAWINGS FOR DEMO INFO. ON HOW ALL EXISTING ELECTRICAL ITEMS FOR THE SITE ARE TO BE HANDLED AND ADDRESSED.



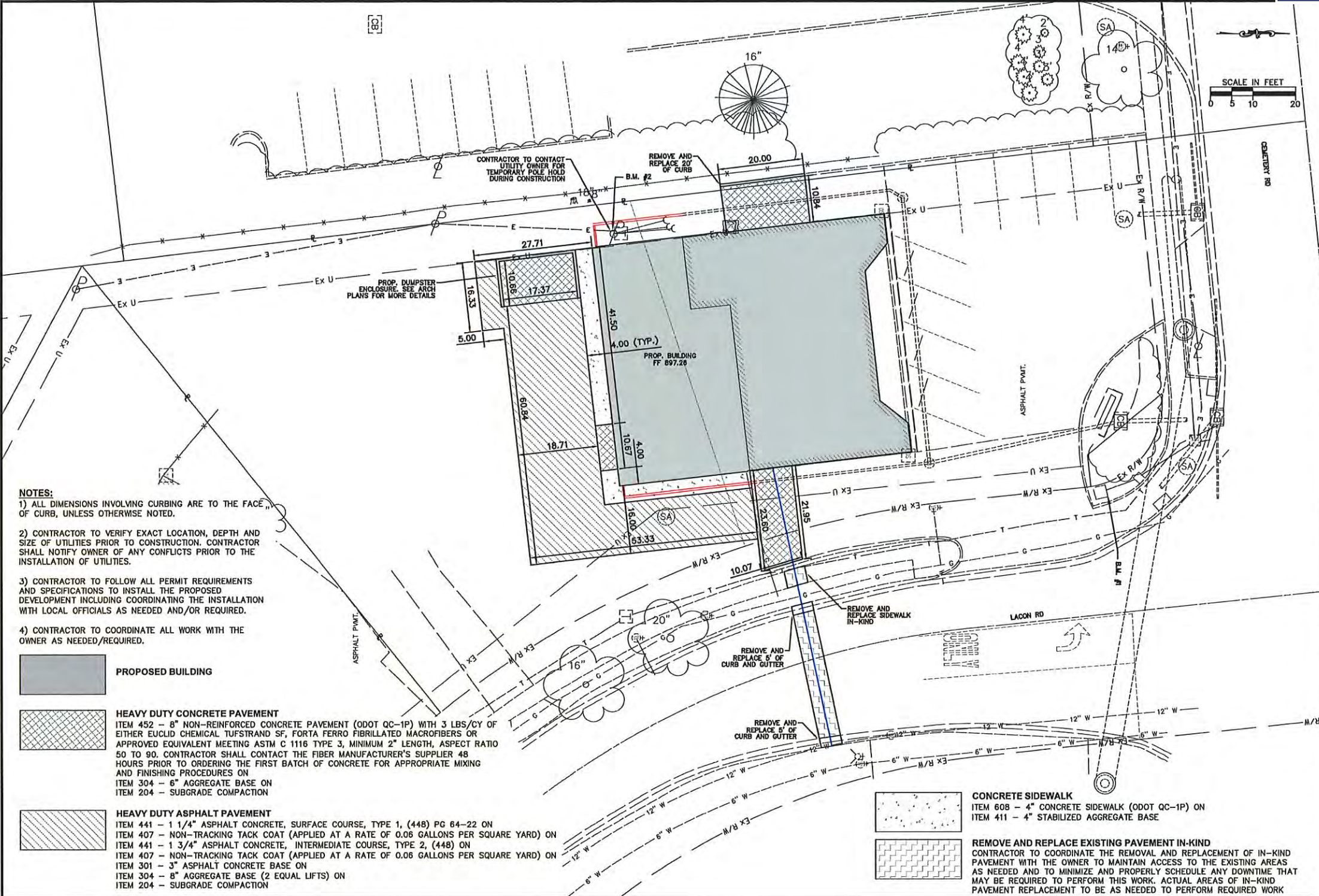
SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

**COLORADO MOUNTAIN SPORTS
CITY OF HILLARD
DEMOLITION PLAN**

REVISIONS:

FILE NAME	DEMOLITION
DRAWN BY	JAC
CHECKED BY	JSP
PROJECT No.	FRAHL2202
DATE	6-30-2022
SHEET NUMBER	

**COLORADO MOUNTAIN SPORTS
 CITY OF HILLARD
 DIMENSIONING AND PAVEMENT PLAN**



- NOTES:**
- 1) ALL DIMENSIONS INVOLVING CURBING ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
 - 2) CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE INSTALLATION OF UTILITIES.
 - 3) CONTRACTOR TO FOLLOW ALL PERMIT REQUIREMENTS AND SPECIFICATIONS TO INSTALL THE PROPOSED DEVELOPMENT INCLUDING COORDINATING THE INSTALLATION WITH LOCAL OFFICIALS AS NEEDED AND/OR REQUIRED.
 - 4) CONTRACTOR TO COORDINATE ALL WORK WITH THE OWNER AS NEEDED/REQUIRED.

- PROPOSED BUILDING**
- HEAVY DUTY CONCRETE PAVEMENT**
 ITEM 452 - 8" NON-REINFORCED CONCRETE PAVEMENT (ODOT QC-1P) WITH 3 LBS/CY OF EITHER EUCLID CHEMICAL TUFSTRAND SF, FORTA FERRO FIBRILLATED MACROFIBERS OR APPROVED EQUIVALENT MEETING ASTM C 1116 TYPE 3, MINIMUM 2" LENGTH, ASPECT RATIO 50 TO 90. CONTRACTOR SHALL CONTACT THE FIBER MANUFACTURER'S SUPPLIER 48 HOURS PRIOR TO ORDERING THE FIRST BATCH OF CONCRETE FOR APPROPRIATE MIXING AND FINISHING PROCEDURES ON
 ITEM 304 - 6" AGGREGATE BASE ON
 ITEM 204 - SUBGRADE COMPACTION
- HEAVY DUTY ASPHALT PAVEMENT**
 ITEM 441 - 1 1/4" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, (448) PG 64-22 ON
 ITEM 407 - NON-TRACKING TACK COAT (APPLIED AT A RATE OF 0.06 GALLONS PER SQUARE YARD) ON
 ITEM 441 - 1 3/4" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, (448) ON
 ITEM 407 - NON-TRACKING TACK COAT (APPLIED AT A RATE OF 0.06 GALLONS PER SQUARE YARD) ON
 ITEM 301 - 3" ASPHALT CONCRETE BASE ON
 ITEM 304 - 8" AGGREGATE BASE (2 EQUAL LIFTS) ON
 ITEM 204 - SUBGRADE COMPACTION

- CONCRETE SIDEWALK**
 ITEM 608 - 4" CONCRETE SIDEWALK (ODOT QC-1P) ON
 ITEM 411 - 4" STABILIZED AGGREGATE BASE
- REMOVE AND REPLACE EXISTING PAVEMENT IN-KIND**
 CONTRACTOR TO COORDINATE THE REMOVAL AND REPLACEMENT OF IN-KIND PAVEMENT WITH THE OWNER TO MAINTAIN ACCESS TO THE EXISTING AREAS AS NEEDED AND TO MINIMIZE AND PROPERLY SCHEDULE ANY DOWNTIME THAT MAY BE REQUIRED TO PERFORM THIS WORK. ACTUAL AREAS OF IN-KIND PAVEMENT REPLACEMENT TO BE AS NEEDED TO PERFORM REQUIRED WORK

REVISIONS:

FILE NAME	
DIMENSION	
DRAWN BY	JAC
CHECKED BY	JSP
PROJECT NO.	FRAHIL2202
DATE	6-30-2022
SHEET NUMBER	6 OF 9

COLORADO MTN SPORTS

4445 Cemetery Rd. Hilliard, OH 43026

MARKER.

Client: Marker
Address: 2011 Riverside Dr. Columbus, OH 43221

THE COLUMBUS ARCHITECTURAL STUDIO

405 N Front St Columbus, OH 43215 Tel: Do not enter Fax: Text here

STRUCTURAL ENGINEERS
Jezar Inc Genes & Associates
5640 Frantz Rd Dublin, OH 43017
614-766-066

MECHANICAL & PLUMBING
Ragel Plumbing & Heating Co.
3735 Paragon Dr Hilliard, OH 43026
614-888-8606

CIVIL ENGINEERS
Choice One Engineering
440 E Hoeveler Rd Sidney, OH 45365
937-497-0200

ELECTRICAL ENGINEER
Ransford Electric
1288 Research Road Gahanna, OH 43230

SHEET NOTES

- Refer to Sheet A00 for partition and exterior wall types.
 - A. All interior partitions walls are type S3, UNO
 - B. All new exterior walls are type d#8
 - C. Existing exterior stucco walls to be modified are e#1
 - D. Greenboard or cement board to be used for shower walls, mop sink surround and wet wall of ADA restroom
- All wall dimensions are to finished face, UNO.
- Refer to Sheet A06 for doors, frames, and hardware.
- All doors shall maintain at least 3" clearance on either side of jamb for 3" macking around door frame.
- All storefront dimensions are to rough opening. Screenshot MFG to account for slim and section space.
- For rolling types see, A601

CODED NOTES

- New opening in existing wall. Refer to Structure for details.
- Infill existing opening.
- Tie new perimeter drainage into existing refer to 7.501

△	Date	Description

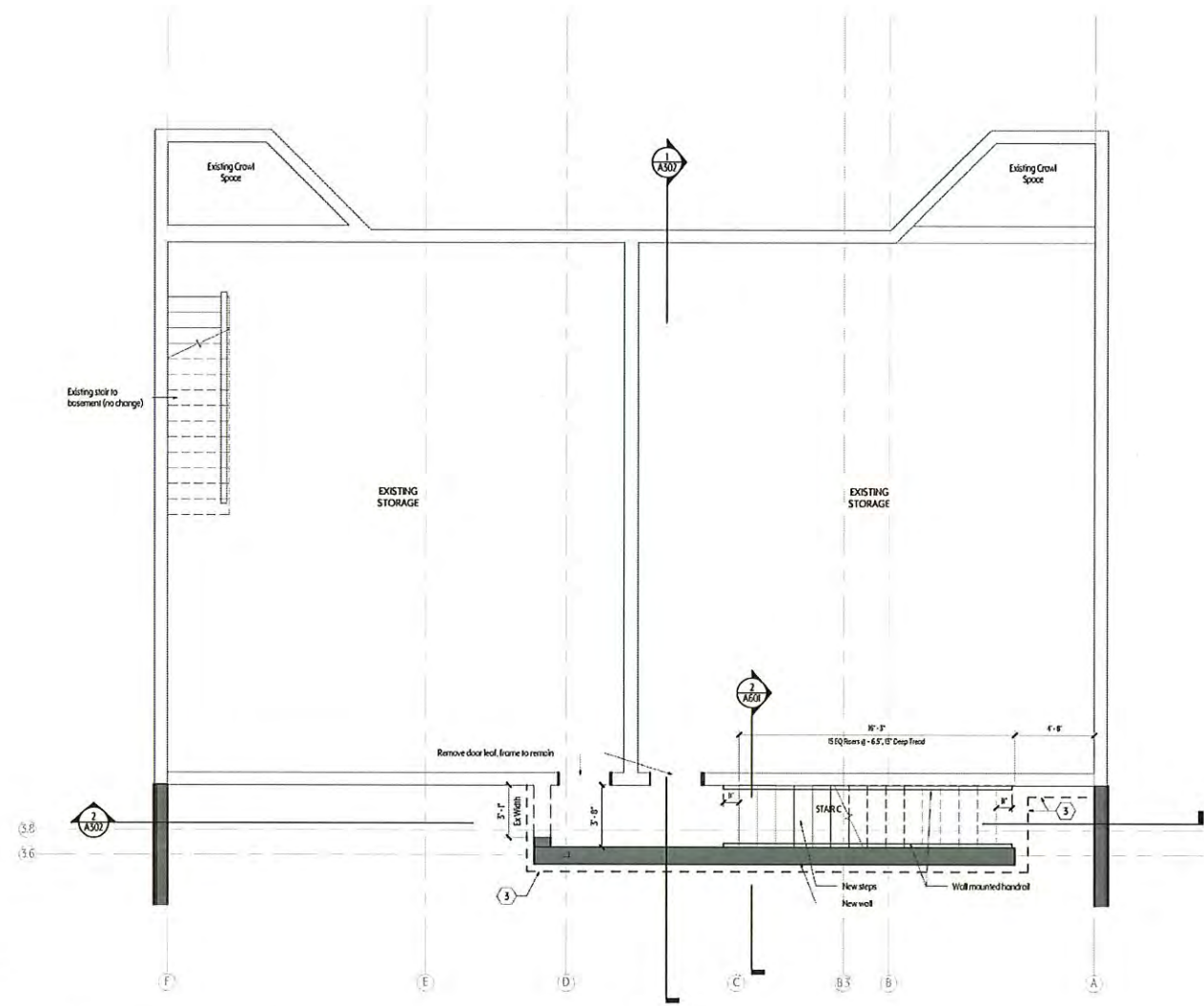
Issued For / Date	
Permit / July 1, 2022	
Seal / Signature	



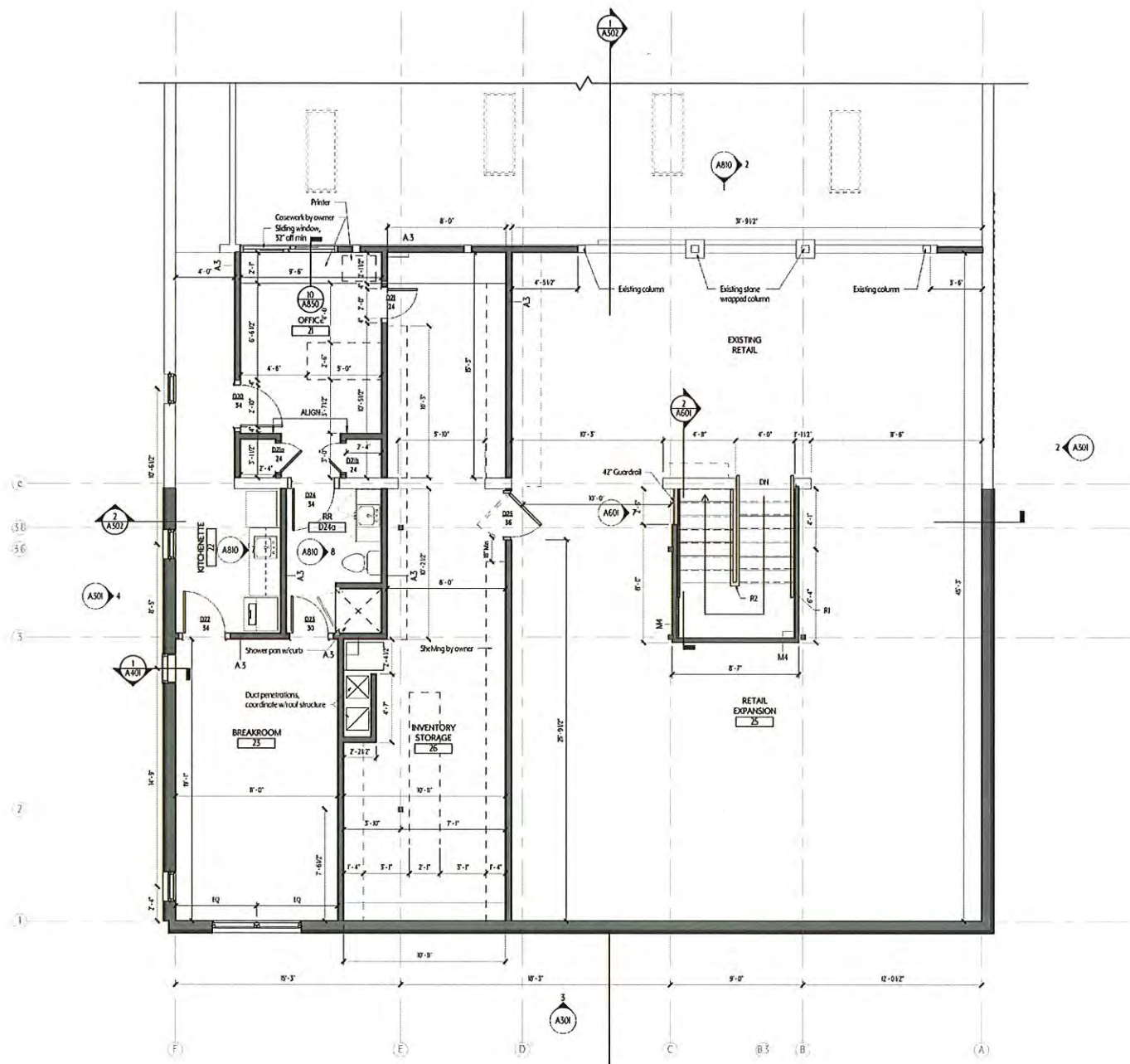
Project Name	COLORADO MTH SPORTS
Project Number	22-009
Scale	As indicated
Description	

BASEMENT FLOOR PLANS

A200



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- Refer to Sheet A200 for partition and exterior wall types.
 - A. All interior partitions walls are type SS, UNO.
 - B. All new exterior walls are type #11.
 - C. Existing exterior stucco walls to be modified are #11.
 - D. Green board or cement board to be used at shower walls, mop sink surround and wet wall of ADA restroom.
 - All wall dimensions are to finished face, UNO.
 - Refer to Sheet A205 for doors, frames, and hardware.
 - All doors shall maintain at least 3" clearance on either side of jamb for 3" molding around door frame.
 - All storefront dimensions are to rough opening. Storefront MFG to account for shim and sealant space.
 - For railing types see, A501.

- CODED NOTES**
- New opening in existing wall. Refer to Structure for details.
 - W/ll existing opening.
 - The new perimeter drainage into existing refer to 7/5301.

COLORADO MTN SPORTS

4445 Cemetery Rd. Hilliard, OH 43026

MARKER.

Client: Marker
Address: 201 Riverside Dr., Columbus, OH 43221

The Columbus ARCHITECTURAL STUDIO

405 N Front St Columbus, OH 43215 Tel: Don't enter Fax: Text here

STRUCTURAL ENGINEERS
Jeter/Greer & Associates
5640 Frantz Rd
Dublin, OH 43017
614.765.056

MECHANICAL & PLUMBING
Ragel Plumbing & Heating Co.
3735 Paragon Dr
Hilliard, OH 43026
614.888.8905

CIVIL ENGINEERS
Choice One Engineering
440 E Hoeftweiler Rd
Sidney, OH 45365
937.497.0200

ELECTRICAL ENGINEER
Flannery Electric
1288 Research Road
Gahanna, OH 43230

Date	Description

Issued For / Date
Permit / July 1, 2022

Seal / Signature



Abbie Stern, License #1617281
Expiration Date 12/31/2022

Project Name
COLORADO MTN SPORTS

Project Number
22-009

Scale
As indicated

Description

SECOND FLOOR PLANS

A202

COLORADO MTN SPORTS

4445 Cemetery Rd. Hilliard, OH 43026

MARKER

Client: Marker
Address: 2011 Riverside Dr., Columbus, OH 43221

THE Columbus ARCHITECTURAL STUDIO

405 N. Front St. Columbus, OH 43215
Tel: Do not enter
Fax: Text here

STRUCTURAL ENGINEERS
Jazzarino, Gens & Associates
5640 Frantz Rd
Dublin, OH 43017
614-765-055

MECHANICAL & PLUMBING
Royal Plumbing & Heating Co.
3735 Paragon Dr
Hilliard, OH 43029
614-888-8905

CIVIL ENGINEERS
Chicko One Engineering
440 E. Henselriver Rd
Sidney, OH 45365
937-497-0200

ELECTRICAL ENGINEER
Rumorelli Electric
1288 Research Road
Gahanna, OH 43230

GENERAL NOTES

- Refer to Sheet A200 for partition and exterior wall types.
 - A. All interior partition walls are type S3, U.R.O.
 - B. All new exterior walls are type e11.
 - C. Existing exterior stucco walls to be modified are eV1.
 - D. Greenboard or cement board to be used at shower walls, mop sink surround and wet wall of ADA restroom.
- All wall dimensions are to finished face, U.R.O.
- Refer to Sheet A205 for doors, frames, and hardware.
- All doors shall maintain at least 5" clearance on either side of jamb for 3" making around door frame.
- All structural dimensions are to rough opening. Skirt front M/G to account for shim and setback space.
- For railing types see, A501.

CODED NOTES

- New opening in existing wall. Refer to Structure for details.
- Infill existing opening.
- New perimeter drainage into existing rafter to T5501.

Date	Description

Issued For / Date
Permit / July 1, 2022
Seal / Signature



Abbie Stern, License #1617281
Expiration Date 12/31/2022

Project Name
COLORADO MTN SPORTS

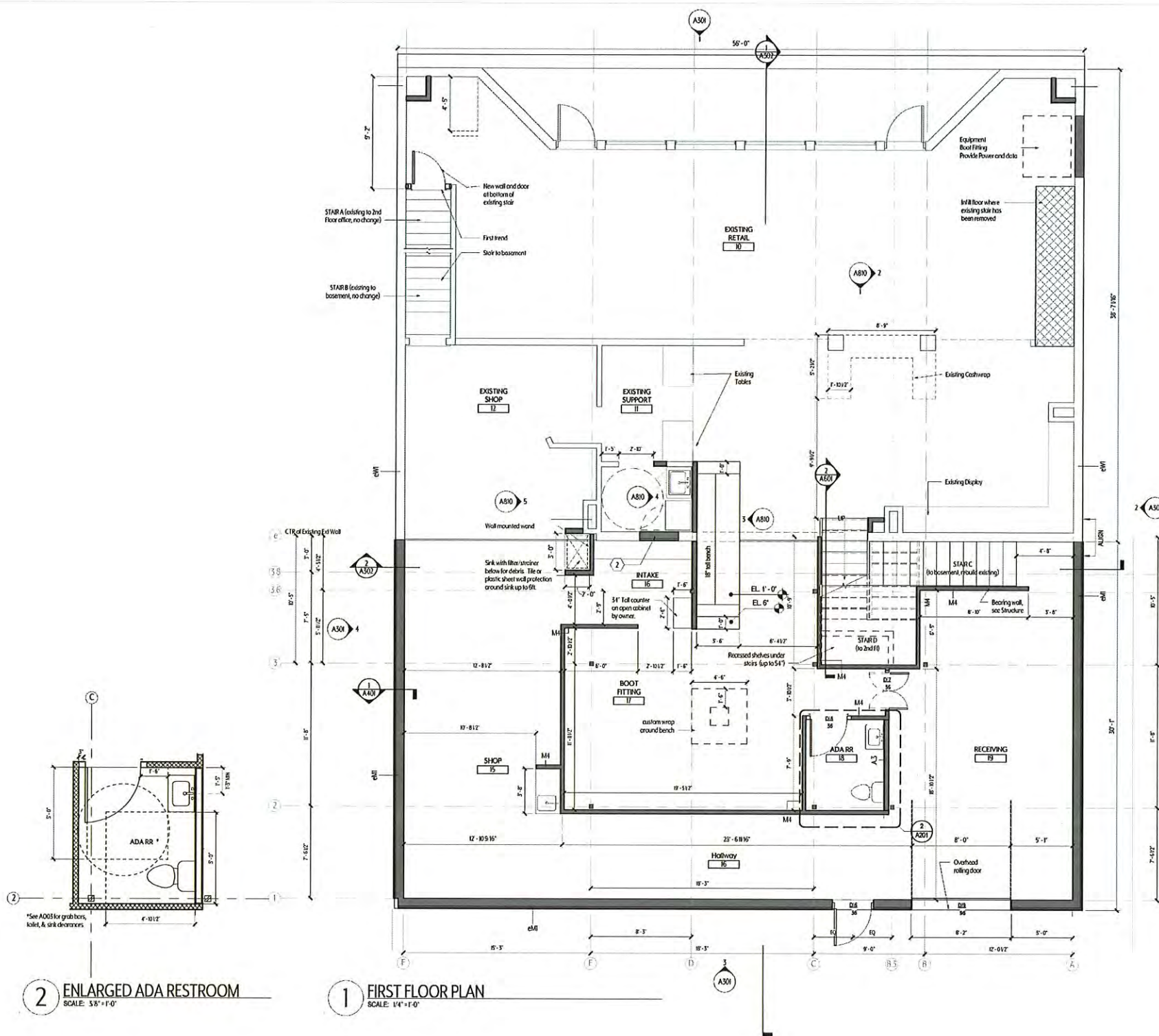
Project Number
22-009

Scale
As indicated

Description

FIRST FLOOR PLANS

A201



2 ENLARGED ADA RESTROOM
SCALE: 3/8" = 1'-0"

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

COLORADO MTN SPORTS

4445 Cemetery Rd Hilliard, OH 43026

MARKER.

Client: Marker
Address: 2011 Riverside Dr., Columbus, OH 43221

THE Columbus ARCHITECTURAL STUDIO

405 N Front St Columbus, OH 43205 Tel: Don't enter Fax: Text here

STRUCTURAL ENGINEERS
Jezzerino Geers & Associates
5640 Frantz Rd
Dublin, OH 43017
614-765-055

MECHANICAL & PLUMBING
Regal Plumbing & Heating Co.
3735 Paragon Dr
Hilliard, OH 43026
614-888-6905

CIVIL ENGINEERS
Chloe One Engineering
440 E Howelisher Rd
Sidney, OH 45365
937-497-0200

ELECTRICAL ENGINEER
Romacoff Electric
1288 Research Road
Gahanna, OH 43230

△	Date	Description
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Issued For / Date

Permit / July 1, 2022

Seal / Signature



Abbie Steers, License #1817281
Expiration Date 12/31/2022

Project Name

COLORADO MTN SPORTS

Project Number

22-009

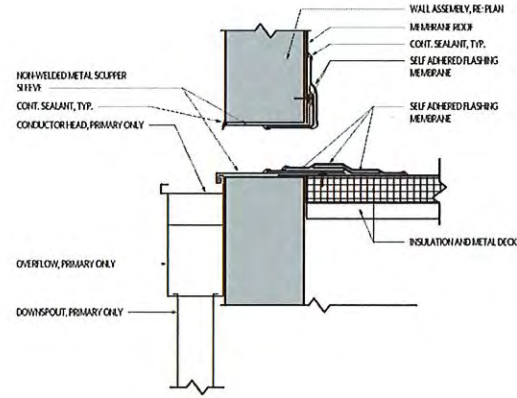
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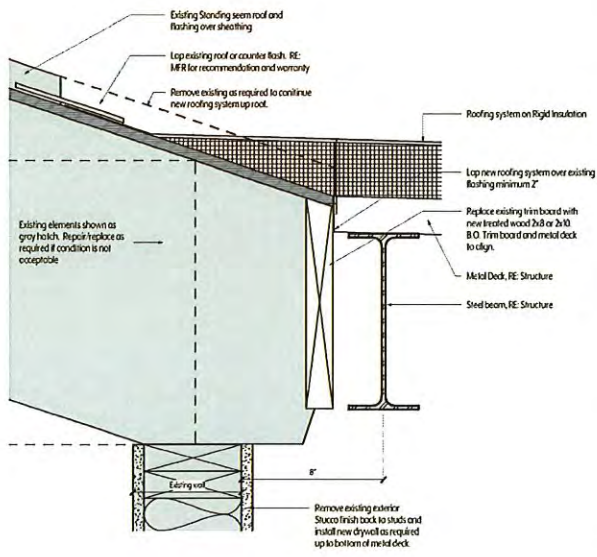
Description

ROOF PLAN & DETAILS

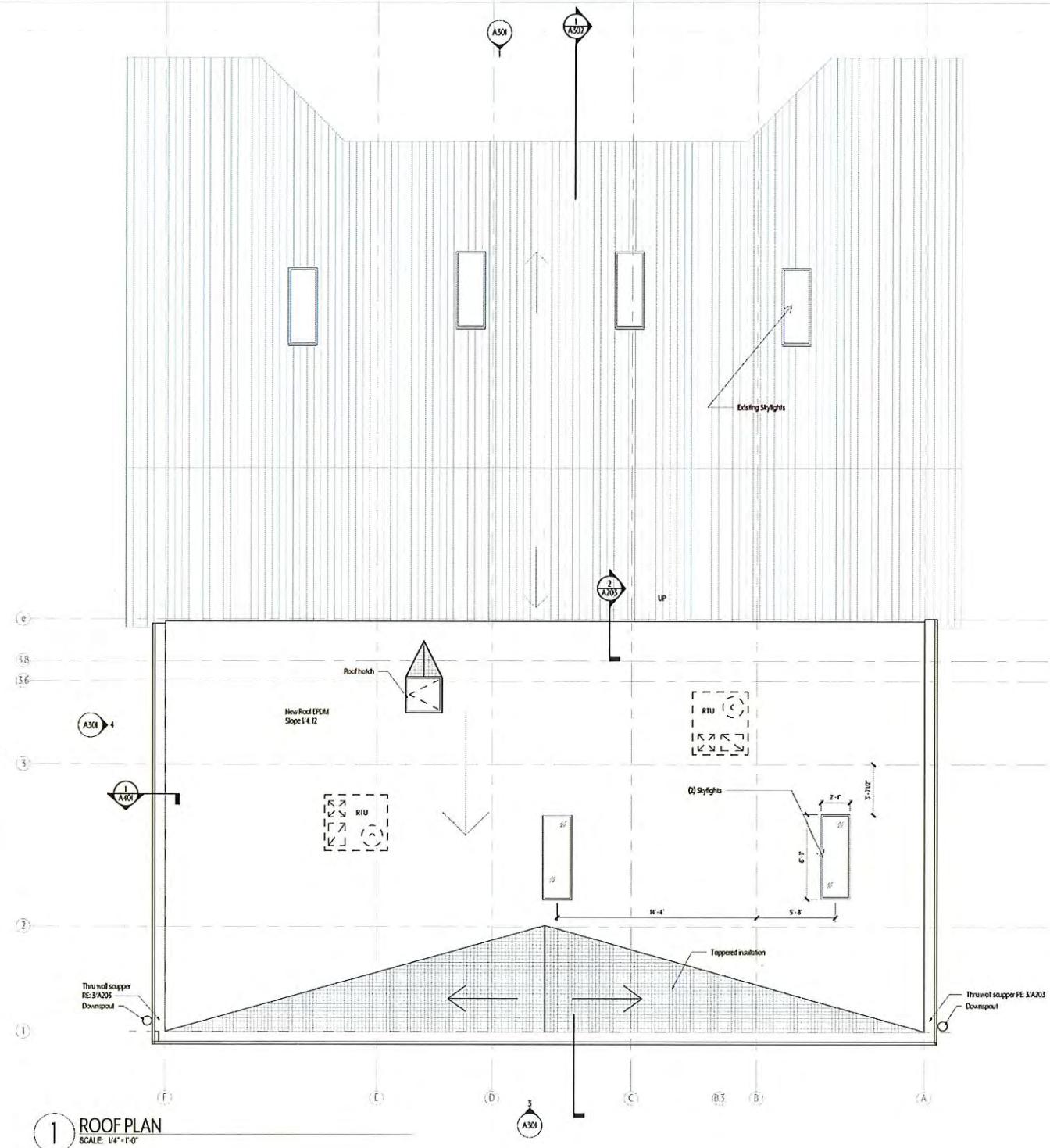
A203



3 SCUPPER DETAIL
SCALE: 1/2" = 1'-0"



2 ROOF DETAIL @ EXISTING
SCALE: 3/4" = 1'-0"



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

COLORADO MTN SPORTS

4445 Cemetery Rd Hilliard, OH 43076

MARKER.

Client: Marker
Address: 201 Riverside Dr. Columbus, OH 43221

THE Columbus ARCHITECTURAL STUDIO

405 N Front St Columbus, OH 43225 Tel: Do not enter Fax: Text here

STRUCTURAL ENGINEERS
Jezerina Giers & Associates
5640 Frantz Rd
Dublin, OH 43017
614-765-056

MECHANICAL & PLUMBING
Royal Plumbing & Heating Co.
3735 Paragon Dr
Hilliard, OH 43026
614-888-8506

CIVIL ENGINEERS
Choice One Engineering
440 E Hoevelner Rd
Sidney, OH 45365
937-497-0200

ELECTRICAL ENGINEER
Ransawoff Electric
1288 Research Road
Gahanna, OH 43230

Date	Description

Issued For / Date

Permit / July 1, 2022

Seal / Signature



Abbie Stiers, License #1817281
Expiration Date 12/31/2022

Project Name

COLORADO MTN SPORTS

Project Number

22-009

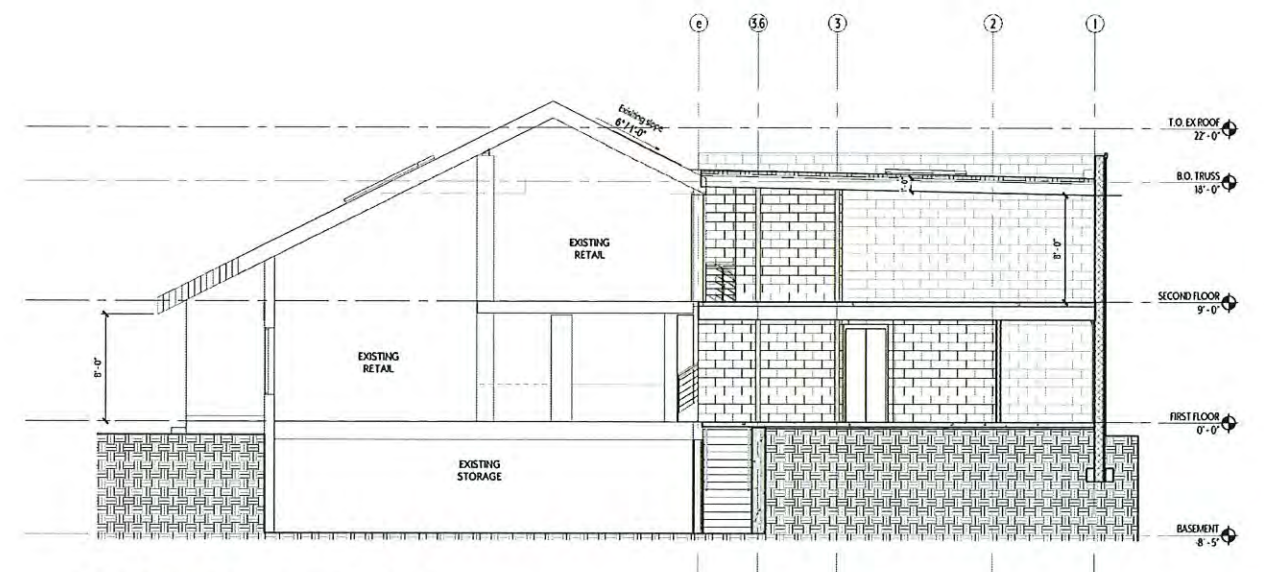
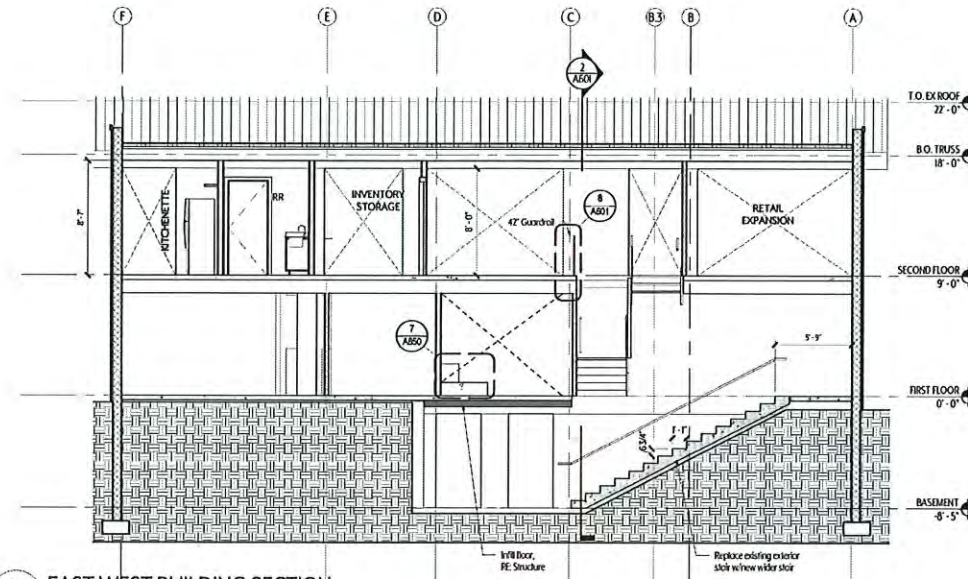
Scale

3/16" = 1'-0"

Description

BUILDING SECTIONS

A302



**COLORADO
MTN
SPORTS**
4445 Cemetery Rd. Hilliard,
OH 43026



405 N Front St
Columbus, OH 43215

MARKER.

STRUCTURAL ENGINEERS
Jezerinac Geers & Associates
5640 Frantz Rd
Dublin, OH 43017
614.765.058

GENERAL CONTRACTOR
Marker Construction
2011 Riverside Dr.
Columbus, OH 43221

CIVIL ENGINEERS
Choice One Engineering
440 E Howlisher Rd.
Sidney, OH 45305
937.497.0200

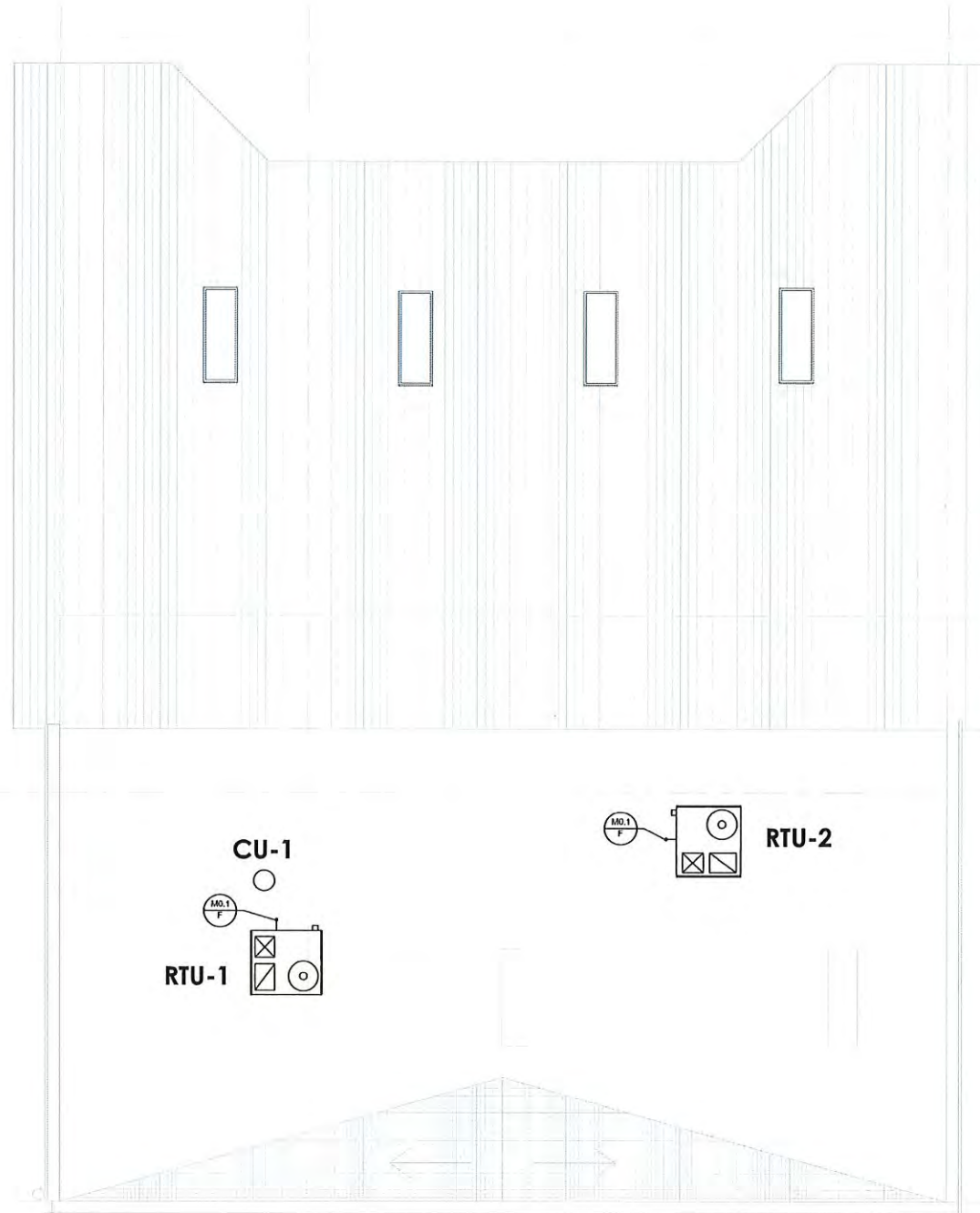
MECH & PLBG CONTRACTOR
Regal Mechanical
3735 Paragon Dr.
Hilliard, OH 43026
Tel 614.888.8905

HVAC GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO OHIO BUILDING, PLUMBING AND MECHANICAL CODES AND ANY OTHER APPLICABLE CODES AND REQUIREMENTS.
2. DUCT WORK SHALL MEET OR EXCEED ALL SMACNA STANDARDS.

HVAC CODED NOTES:

1. CONNECT THE TWO EXT'G 14X8 DUCTWORK TRUNK IN BASEMENT.
2. RELOCATE GAS METER AND REDUCE TO ONE METER.
3. ROUTE 3" DRYER VENT TO EXTERIOR WALL.
4. 1/2" GAS PIPE TO DRYER (17,000 BTU/H).
5. RETURN PLENUM 14.25x19.5 RG-1; HART & COOLEY 650, 30X24, RETURN AIR REGISTER, WHITE.
6. EXT'G DUCTWORK IN BASEMENT AND EXT'G FLOOR REGISTER ON 1ST FLOOR.
7. EXT'G DUCTWORK AND CEILING DIFFUSER IN BASEMENT.
8. DEMO FLOOR REGISTER AND DEMO/CAP DUCTWORK AS REQUIRED. GC TO REPAIR FLOOR.
9. CONNECT TO EXT'G 14x8 DUCTWORK IN BASEMENT.
10. EXT'G DUCTWORK AND CEILING DIFFUSER IN 1ST FLOOR.
11. CONNECT TO EXT'G DUCTWORK IN SOFFIT.
12. EF-3 PULLS IN VENTILATION AIR THROUGH WALL LOUVER L-1. L-1 FREE AREA NO LESS THAN 0.5 FT2 AND PROVIDED WITH BACKDRAFT DAMPER



HVAC - ROOF PLAN
SCALE: 1/4" = 1'-0"



REGAL
PLUMBING & HEATING

3735 PARAGON DR.
HILLIARD, OH 43026
TEL: 614.888.8905
LICENSE #26872

△	Date	Description
	07/01/2022	PERMIT SET

Seal / Signature

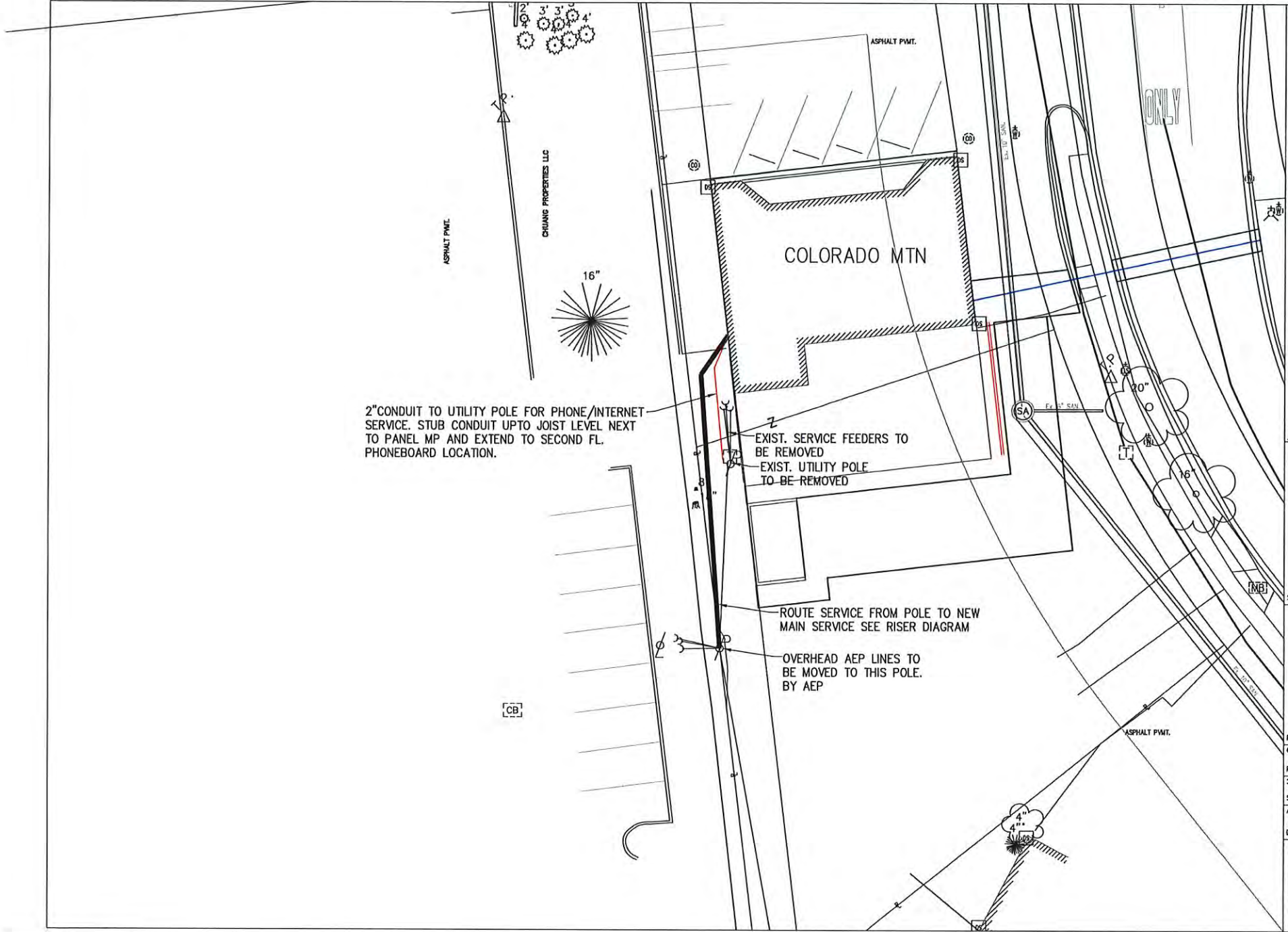


RYAN BILLING
E-71805
EXPIRES: 12.31.22

Project Name	COLORADO MTN SPORTS
Project Number	77-114485
Scale	1/4" = 1'-0"
Description	ROOF FLOOR PLAN

ROOF FLOOR PLAN

M3.0



**COLORADO
MTN SPORTS**

4445 Cemetery Rd. Hilliard,
OH 43026
Client: Marker
Address: 2011 Riverside Dr. Columbus, OH 43221



405 N Front St Columbus, OH 43215 Tel Do not enter
Fax Text here



PHONE: 614-755-4500
FAX: 614-755-4510

ROMANOFF ELECTRIC
1288 RESEARCH ROAD GAHANNA, OHIO 43230

△	Date	Description
	07/01/22	Construction Documents

Seal / Signature



David K. Anthony

Project Name
COLORADO MTN SPORTS

Project Number
22-01x

Scale
As Indicated

Description

**ELECTRICAL
SITE UTILITY PLAN
SU-1**

Development Plan – Cemetery Road Properties Located Between Leap & Lacon Roads
 City of Hilliard
 November 17, 2015 August 11, 2022

5.5 Area and Visibility

Visibility along the northern boundary of the subject site is excellent given this is a lineal segment of Cemetery Road that is free from major obstacles. Long-range visibility is somewhat hampered by the Cemetery Road underpass that is east of the site.

Intersections are found at Leap and Cemetery, Brown Park Drive and Cemetery, and Lacon and Cemetery.

The number of curb cuts along the northern side of Cemetery Road supports the access drive restriction for the subject site.

5.6 Proposed Development

The following narrative provides a description of those elements of the rezoning application that can be addressed at this time. As it has been previously stated, this application is the first step in the development review process for the subject properties. Details such as building configuration, etc., will be resolved prior to zoning clearance.

5.6.1 Permitted Uses

The proposed use of the subject site is as a commercial, office or mixed use development that is a single component and developed as a complex of structures or a single structure.

The following uses are included in this application as proposed uses:

- a. Retail business.
- b. Retail goods.
- c. Personal services.
- d. Business services.
- e. Offices and banks.
- f. Restaurants, except fast-food restaurants (as defined in item 3 below).

The following definitions apply only to the property located at 4657 Cemetery Road:

1. Full service restaurant: establishments engaged in providing food services to patrons who order and are served while seated (i.e. waiter/waitress service) and pay after eating.
2. Limited service restaurant: establishments primarily engaged in providing food services where patrons generally order or select and pay before eating. Food may be consumed on premises, taken out, delivered to the customer's location, or provided through one drive-up window.
3. Fast-food restaurant: all establishments that do not meet the definition of Full service or Limited service restaurant.
- g. Accessory uses.
- h. Gasoline service stations, except automotive repair.
- i. Child care facilities.

Development Plan – Cemetery Road Properties Located Between Leap & Lacon Roads
City of Hilliard
November 17, 2015 August 11, 2022

5.6.2 Prohibited Uses

The following uses are prohibited:

- a. Taverns.
- b. Adult entertainment.
- c. Convenience grocery.
- d. Video arcades.
- e. Fast-food restaurants.
- f. Roof-mounted satellite ground stations.
- g. Off-premises signage (billboards).
- h. Automotive repair.

5.6.3 Access

Access to the subject site is indicated on the Site Plan and shall only be provided by the following means. Actual pavement width and number of lanes shall meet the standards established by the City Engineer prior to issuance of any building permit.

- a. An access drive shall be provided opposite Brown Park Drive
- b. One access drive shall be provided along Lacon Road.
- c. Access shall be provided to Leap Road through extension of a private access drive.

All existing residential driveways located on the subject site shall be removed prior to issuance of any building permit. The curb and sidewalk shall be replaced at each of these locations and shall meet the City's design standards.

5.6.4 Screening, Buffering, and Landscaping

The Landscape Ordinance requirements will apply to the subject site. Specifically, the following provisions are proposed:

- a. An eight-foot wood privacy fence shall be installed along the property line adjacent to all residential properties. The building setback shall remain at 50 feet in these locations. Together this should provide a suitable screen for neighboring residents.
- b. Existing vegetation along Tudor Ditch on the subject site shall be maintained where such maintenance does not interfere with stormwater

Development Plan – Cemetery Road Properties Located Between Leap & Lacon Roads
 City of Hilliard
 November 17, 2015 August 11, 2022

drainage. Any area along the property line where such vegetation does not exist, four-foot evergreen shrubs shall be planted every four feet to provide a screen, except where such planting interferes with stormwater drainage.

5.6.5 Development Standards

The following development standards apply to the subject site.

- a. Double Frontage Lots – Any double frontage lots that will be developed on the subject site shall not have individual lot access directly onto a public road or right-of-way. Limited curb cuts shall be provided on-site to provide internal access only.
- b. Parking – There shall be no on-street parking either along public rights-of-way or within the subject site.
- c. Building Height – All buildings and structures shall not exceed two stories in height.
- d. Building Setbacks – The **minimum** building setbacks shall be 50 feet from the Cemetery Road right-of-way, 50 **20** feet from the Lacon Road right-of-way **for commercial uses, 30 feet from the Lacon Road and Lacon Circle rights-of-way for single-family residential uses, 10 feet from the side property line for properties with frontage on Lacon Road or Lacon Circle**, 10 feet from the rear property line, and 50 feet from all residential zoning districts.
- e. Vehicular Use Area Setbacks – The **minimum vehicular use area setbacks shall be 20 feet from any public right-of-way, and 20 feet from any single-family residential use. Vehicular use area interior and perimeter landscaping shall be consistent with the provisions of Hilliard Zoning Code.**

5.6.6 Signage

Signage and shall meet the requirements of the Hilliard graphics code and shall compliment the architectural treatment of the development. Corporate logos and trademarks shall not occupy more than 50 percent of the sign area of each individual sign.

5.6.7 Architectural Considerations

The architectural character of the development should build upon the themes found in the greater Cemetery Road corridor, in particular the Mill Run development, Brown Commerce Park, and U.S. Post Office. In addition:

- a. Rear Treatment – The rear treatment of the south facing building exteriors that are visible from any adjacent residential property, Lacon Road, and Tudor Ditch shall at a minimum be painted to compliment the structure's architectural treatment,

Development Plan – Cemetery Road Properties Located Between Leap & Lacon Roads
City of Hilliard
~~November 17, 2015~~ August 11, 2022

unless painting interferes with the material used to face such wall and such material does not visually set such wall apart from the other exterior walls.

- b. Building Exterior – Building exterior shall be comprised of brick, stone or similar materials that compliment the architectural treatment of each structure. If more than one structure or building is present on the subject site, all structures and buildings shall compliment on another relative to their building exteriors.
- c. Roofs – Roofs should be pitched to portray a residential character for all buildings. Air conditioning, ventilation, and heating equipment shall not be visible from adjacent ~~residential~~ properties ~~or rights-of-way~~.

RECORD OF ACTION



Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube

Thursday, August 11, 2022 | 7:00 pm

CASE 6: PZ-22-43 – COLORADO MOUNTAIN SPORTS – 4445 Cemetery Road

PARCEL NUMBER: 050-002824

APPLICANT: Cemetery Rd Holdings LLC, c/o Eric Bahgat, 4445 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of an application to rezone Lot 231 of Easthill Acres from B-1 to PUD under the provisions of Hilliard Code Chapter 1117; a modification of the Cemetery Road Properties Located Between Leap and Lacon Roads PUD by adding Lot 231 of Easthill Acres to the PUD, and revising development standards under the provisions of Hilliard Code Section 1117.08.

The Planning and Zoning Commission took the following action at this meeting:

MOTION 1 (REZONING):

Vice Chair Schneck made a motion to approve an application to rezone Lot 231 of Easthill Acres from B-1 to PUD under the provisions of Hilliard Code Chapter 1117.

Mr. Pannett seconded the motion.

VOTE:

Chairman Muether	Yes
Vice Chair Schneck	Yes
Mr. Gutknecht	Excused
Mr. Lewie	Yes
Ms. Nixon	Yes
Mr. Pannett	Yes
Mr. Uttley	Yes

STATUS:

Case #6: The rezoning request for PZ-22-43 was approved (6-0). A positive recommendation will be forwarded to City Council for the proposed rezoning.

MOTION 2 (PUD TEXT MODIFICATION):

Vice Chair Schneck made a motion to approve a modification of the "Cemetery Road Properties Located Between Leap and Lacon Roads" PUD by adding Lot 231 of Easthill Acres to the PUD, and revising development standards under the provisions of Hilliard Code Section 1117.08 with one condition:

- 1) That a revised PUD Development Text meeting the conditions of Planning and Zoning Commission approval is submitted prior to being scheduled on any Council agenda.

Chairman Muether seconded the motion.

VOTE:

Chairman Muether	Yes
Vice Chair Schneck	Yes
Mr. Gutknecht	Excused
Mr. Lewie	Yes
Ms. Nixon	Yes
Mr. Pannett	Yes
Mr. Uttley	Yes

STATUS:

Case #6: The PUD text modification for PZ-22-43 was approved (6-0) with one condition. A positive recommendation will be forwarded to City Council.

CERTIFICATION:



Carson Combs, Planning Manager/Acting Clerk
August 12, 2022

[END OF RECORD]

CASE 2: PZ-22-59 – THE LINCOLN CENTER LEADERSHIP ACADEMY – 3311-3315 MILL MEADOW DRIVE
PARCEL NUMBER: 050-005422

APPLICANT: Morse-Maize Family LP, 2706 E. Columbus, OH 43209; c/o Glen Dugger, Smith & Hale LLC, 37 W. Broad Street, Columbus, OH 43209

REQUEST: Review and approval of a PUD map amendment for the provisions of Hilliard Code Section 1117.08 concerning permitted uses and development standards and a PUD Final Development Plan under the provisions of the Mill Run PUD Concept Plan.

REQUEST
WITHDRAWN
BY THE
APPLICANT

BACKGROUND:

This request was initially heard by the Planning and Zoning Commission on October 13, 2022. At that time, the Commission voiced concerns about the specifics of the permitted uses proposed for the Mill Run PUD text amendment. At the request of the applicant, the Commission approved a motion to postpone the request until such time as a final development plan application is submitted for review by the Commission. The applicant submitted final details for the project. Based on comments from staff regarding the submission, a formal notice to withdraw the application was provided just prior to publishing the meeting agenda.

NO ACTION IS NECESSARY AND THE APPLICATION HAS BEEN CLOSED

[END OF REPORT | PZ-22-59]

CASE 3: PZ-22-67 – HILLIARD RECREATION & WELLNESS CAMPUS – 6287 SCIOTO DARBY ROAD

PARCEL NUMBERS: 050-010512, 050-010761, 050-010762, 050-010763 & 050-010764

APPLICANT: Michelle Crandall, City Manager, City of Hilliard, 3800 Municipal Way, Hilliard, OH 43026.

REQUEST: Review and approval of a revised PUD Concept Plan under the provisions of Hilliard Code Chapter 1117 for a new recreation and wellness center, commercial, office and park uses on 166.42 acres.

BACKGROUND:

The site consists of five parcels totaling approximately 166.42 acres. It is located on the south side of Scioto Darby Road at the southern terminus of Cosgray Road, to the west of Hilliard Municipal Park, to the north of Heritage Lakes subdivision, and on the east side of Alton Darby Road. It includes the 30.6-acre soccer park and four parcels which have been farmed for years.

On June 13, 2001, the 30.6-acre portion of the site currently used as a soccer park was annexed to the City of Hilliard (Ordinance No. 01-18). On January 9, 2002, the 30.6 acres was rezoned to S-1, Special, (Ordinance No. 01-70). On November 22, 2007, four parcels owned by the Estate of Evelyn Jerman were annexed to the City of Hilliard (Ordinance No. 07-52). On March 25, 2008, the four parcels were rezoned to A-1, Agricultural, (Ordinance No. 08-03). On April 28, 2008, the City of Hilliard adopted the final draft of the Big Darby Accord Watershed Master Plan (BDAWMP) dated June 2006 (Resolution No. 08-R-10). On November 18, 2008, the Darby Accord Panel recommended conditional approval of the proposed development. On October 8, 2009, the Planning and Zoning Commission forwarded a positive recommendation to Council concerning the Alton Commons PUD Concept Plan. On April 26, 2010, Council adopted an ordinance (No. 10-10) creating the Alton Commons PUD. On May 14, 2015, the Commission approved a 6-month extension of the Alton Commons PUD Concept Plan. On November 26, 2015, the Alton Commons PUD Concept Plan expired due to a lack of construction. On February 4, 2021, the City of Hilliard purchased the four properties from the Evelyn Jerman estate.

On December 13, 2022, the Big Darby Accord Advisory Panel was scheduled to review this application but did not have a quorum to conduct the meeting. The Advisory Panel will hear the case on January 10, and staff will provide an update of the results during the Commission meeting. The applicant is now requesting approval of a PUD Concept Plan for a new recreation and wellness center, commercial, office, and park uses on 166.42 acres. The proposal also includes a stream restoration project for the portion of Clover Groff Ditch that is adjacent to the site and the construction of the Cosgray Road extension through the site.

COMMISSION ROLE:

The Commission is to review the proposal for conformance with the provisions of Chapter 1117 of the Code, the goals and objectives of the Hilliard Master Plan and the BDAWMP and then forward a recommendation to City Council. The Commission shall forward its recommendation to Council that the PUD Concept Plan be approved as presented, approved with supplementary conditions, or not approved.

STAFF RECOMMENDATION:

Staff finds the proposal to be consistent with the goals and objectives of the BDAWMP. Staff finds the proposal, as amended in the conditions listed below, is generally consistent with the goals of the Comprehensive Plan concerning land use and economic development. Based on these findings, staff recommends that the

Commission forwards a positive recommendation to Council concerning the proposal with the following four conditions:

- 1) That plans are revised to show the boundaries of the 100-year floodplain consistent with the stream restoration work that has been completed on the Clover Groff Ditch and Hamilton Ditch;
- 2) That not less than 50 percent of the site is open space consistent with the previously approved plan for the site;
- 3) That not less than 22 percent of the site is natural open space; and
- 4) That plans are revised to show the minimum building and pavement setback lines.

CONSIDERATIONS:

Site Context

- To the east is Hilliard Municipal Park zoned S-1, Support Facilities. To the south are single-family dwellings within Heritage Lakes subdivision and portions of Heritage Lakes Golf Course zoned PUD. To the west are single-family estate lots and Agape Community Fellowship church within Norwich Township. To the north, across Scioto Darby Road are commercial properties within Darby Town Center zoned B-5, and a commercial nursery zoned L-B-4, Highway or Regional Business with a Limited Overlay and R-R, Rural Residential.

Comprehensive Plan Issues

- The Comprehensive Plan recommends the site for community retail, park/open space, and office uses. It recommends expanding the existing park network to serve a variety of active and passive uses. Park development should be easily accessed by a variety of mobility options, include multi-generational activities, and provide environmental education opportunities. Development principles include ensuring that open space is accessible to the public and cohesively linked with open space from adjacent developments and public spaces; providing education and recreation opportunities that showcase the unique natural features of the Big Darby area; and providing a multi-use path connection between Municipal Park and Prairie Oaks Metro Par. This area should incorporate a mix of small to medium sized office space for a range of uses, generally professionals such as medical, financial services, legal practices, and engineering consultants. The recommendation concerning community retail was based on the Alton Commons PUD Concept Plan which has since expired.
- The proposed plans indicate that the site will be divided into three subareas. Subarea 1 consists of a new recreation and wellness center, including some of the existing soccer fields, and office uses. Subarea 2 consists of athletic fields and passive recreation space. Subarea 3 consists of a site for a new Norwich Township fire station. The plans show three roundabouts along the new Cosgray Road extension including one at the intersection of Scioto Darby Road and Cosgray Road. Approximately 20 percent of the site will consist of areas for active recreation. The plans indicate that 50 percent of the site will be open space and 22 percent of the site will be natural open space.

Big Darby Accord Watershed Master Plan Issues

- The proposed Cosgray Road extension connection is consistent with that shown on the Hilliard Thoroughfare Plan, MORPC's regional transportation plan, and the Darby Accord General Land Use Plan. The proposed plans indicate that the site will consist of 50 percent open space (___ percent counting the open space and stormwater areas within the rights-of-way). The western half of the existing 30.6-acre soccer park located in the northwest portion of the site will be retained and approximately ___ acres of park land in the southern portion of the site will feature soccer fields.
- Portions of the wooded areas along Clover Groff Ditch may be impacted by the stream restoration project. The BDAWMP identifies this site as having significant areas of Tier 1 and Tier 3 environmental conservation zones. However, FEMA Flood Insurance Rate Map (Map #39049C0143K; Map Revised 6/17/2008) information indicates that a significant portion of the 100-year floodplain (and therefore

Tier 1 land) would be eliminated on this site. The proposed stream restoration would further reduce the area of the 100-year floodplain.

- Figure 3.7 Proposed General Land Use Map identifies the site as Existing Parks and Easements, and Tier 1 and Tier 3 conservation zones. Most of the northern portion of the site is proposed to be developed with a mix of retail and office uses. This alternative land use will be mitigated on site by the stream restoration planned for Clover Groff Ditch and the proposed stormwater management facilities including vegetated swales on each side of the Cosgray Road extension. The proposal will incorporate Low Impact Development principles to disconnect impervious areas, lengthen flow paths, and promote infiltration. The proposal will provide bike/pedestrian path links to adjacent properties and rights-of-way.
- The proposed plan identifies 13 wetlands totaling 6.34 acres including 11 adjacent to Clover Groff Ditch and two located near Alton Darby Road. The wetlands shall be protected/mitigated consistent with the requirements of the USACE and Ohio EPA. Six of the wetlands would be impacted by the proposed stream restoration project and two would be impacted by the proposed athletic field construction. Clover Groff Ditch will be re-aligned and restored using a natural stream channel design which will build meanders into a channelized and entrenched portion of the ditch. A 300-foot-wide Stream Corridor Protection Zone (SCPZ) is proposed along Clover Groff Ditch which will significantly reduce the area of the 100-year floodplain and serve as the SCPZ mitigation plan. The southwest corner of the site includes 100-year floodplain for Hamilton Ditch. Stream restoration for Hamilton Ditch has been completed in that area which should have removed the 100-year floodplain from that portion of the site.
- From Big Darby Accord - Section 3.6 Stream Restoration: Based on the degree of degradation that has been documented for both Clover Groff and Hamilton Runs, stream morphology must be enhanced through some level of restoration to sustain a more desirable aquatic life use designation and to provide a meaningful contribution to the overall water quality within the watershed. The Accord general land use plan indicates a priority stream restoration zone for the entirety of Clover Groff and Hamilton Runs. Meaningful restoration of these watercourses will likely require extensive physical alteration of the existing stream channels to provide for the appropriate morphology and habitat features.
- From Big Darby Accord – Section 3.7 Floodplain Management: Stream restoration is an anticipated activity within a designated 100-year floodplain and floodway. There may be circumstances where fill is placed within the 100-year floodplain in conjunction with stream restoration.

Transportation, Mobility, and Access Issues

- The subject property is bounded by Scioto Darby Road to the north. The extension of Cosgray Road to the south will divide the site and connect with Alton Darby Road near the southwest corner of the site. Both roadways are listed as major arterials in the City of Hilliard Thoroughfare Plan. The extension of Cosgray Road has been planned for many years to provide for better long term traffic operations. This extension is critical to the future Hilliard infrastructure.
- Access to the proposed development is via a series of roundabouts and unsignalized partial access driveways (without median breaks) on the Cosgray Road extension and one full access driveway on Scioto Darby Road. In addition to all site access points, the intersection of Cosgray Road and Scioto Darby Road and the intersection of Scioto Darby Road and Alton Darby Road were analyzed as part of the traffic study. The Scioto Darby/Cosgray and Scioto Darby/Alton Darby intersections were analyzed as both roundabouts and signalized intersections.
- The intersection of Scioto Darby Road and Cosgray Road will be reconstructed with multi-lane roundabout as part of the project. The Scioto Darby Road/Alton Darby Road intersection will remain signalized since a large volume of traffic will be diverted away from this intersection.
- The 2001 and the 2011 Thoroughfare Plans originally called for the Cosgray Road and Alton Darby Road corridors to be a 4-lane divided roadway. The traffic analysis shows that, in general, the development can be supported by the 2-lane divided Cosgray Road extension with roundabouts, which would better

achieve Hilliard's safety goals with fewer vehicle lanes, slower speeds, and controlled access. Right-of-way is being dedicated and preserved to allow for expansion of the roadway in the future, if necessary.

- The project supports the multi-modal connection of existing neighborhoods to parkland and regional trails with the construction of approximately 2 miles of trails along the streets and through the parkland, a sidewalk connection to Heritage Lakes, and two enhanced pedestrian crossings.

Proposed PUD Concept Plan and Text

- The proposed plan shows a mixed-use development with three sub-areas. The text states that the intent is to create a high-quality community center, wellness campus, and athletic complex that will provide new and improved recreational opportunities including a new, larger soccer complex with more parking and greater connectivity to Hilliard Municipal Park.

General Text Standards:

- Section II.A.3. – Final development plans for the community recreation and wellness center, office buildings, or passive recreation facilities within Subarea 1 will be reviewed for approval by the City's administrative staff without the need for Planning and Zoning Commission review provided that the plans conform to the provisions of the PUD text. Final development plans for all other uses within Subareas 1 and 2 and all uses within Subarea 3 will be reviewed for approval by the Planning and Zoning Commission.
- Section II.C.1. – Requires all external lighting to be cut-off type fixtures, except for athletic field lighting which may be flood light or sports light fixtures.
- Section II.F.2. – Requires all mechanical equipment to be screened to the full height of the unit.
- Section II.G.1. – Requires the architecture, quality of design, and exterior materials for any structures to be consistent with those shown on the building elevations and/or renderings included in the PUD Concept Plan.
- Section II.G.2.c. – Requires consistent level of architectural design quality on all sides of each building.
- Section II.H.1. – Requires a 300-foot wide stream corridor protection zone along the Clover Groff Run waterway. Additionally, the existing ditch will be naturalized to enhance its natural filtering capacity.

Subarea 1 (Recreation and Wellness Center / Offices) – 53.09 acres

- Section III.B.1. – Lists community recreation and wellness centers, offices, and passive recreation including trails as permitted uses.
- Section III.B.2. – Lists athletic fields and playgrounds as conditional uses.
- Section III.C.1. – Specifies a 45-foot maximum building height.
- Section III.D.1.a. & b. – Specifies minimum 30-foot building and pavement setbacks from any public right-of-way.
- Section III.D.1.c. – Specifies a minimum 20-foot building setback from any other overall Subarea 1 boundary line.
- Section III.D.1.d. – Specifies a minimum 25-foot pavement setback from all other Subarea 1 boundary lines.
- Section III.E.1. – Limits parking lot lighting to a maximum 28 feet in height for one-story buildings and a maximum 35 feet in height for multiple story buildings.
- Section III.F.1. - Specifies the minimum parking requirement of one space per 300 square feet of gross floor area for community recreation and wellness centers, and one space per 300 square feet of usable floor area for office uses.
- Section III.H.1. – Requires a 3-foot-tall earth mound with a maximum 4:1 slope along the Cosgray Road frontage for office building sites wherever structures do not exist at the building line.
- Section III.J.1. – Requires service courts and loading docks to be screened from all public streets by landscaping, mounding, or walls.

Subarea 2 (Soccer Park) – 67.77 acres

- Section IV.B.1. – Lists public parks, open space and recreational areas, and accessory buildings as permitted uses.
- Section IV.B.2. – Lists Athletic fields and playgrounds as conditional uses.
- Section IV.E.1. – Limits parking lot lighting to a maximum height of 35 feet.
- Section IV.E.2. – Limits athletic field lighting to a maximum height of 90 feet.

Subarea 3 (Fire Station) – 3.32 acres

- Section V.B.1.a. – Lists fire station as a permitted use. Specifies that if meaningful construction has not commenced and progressed meaningfully toward completion within 5 years of the approval of the PUD Concept Plan, then Subarea 3 shall be void and the land will be included in Subarea 1 and be subject to all of the provisions listed for Subarea 1.
- Section V.D.1. & 2. – Specifies minimum 25-foot building and pavement setbacks from all property lines.
- Section V.F.1. – Specifies the minimum parking requirement of one space per bedroom plus one space per 300 square feet of usable floor area for office/administrative area.
- Section V.H.1. – Requires a 3-foot-tall earth mound with a maximum 4:1 slope along the Cosgray Road frontage and the Alton Darby Road frontage wherever structures do not exist at the building line.

[END OF REPORT | PZ-22-67]

Big Darby Accord Advisory Panel

Applicant Checklist and Submittal Requirements

Revised 03/29/2021

About the Panel

The Big Darby Accord Advisory Panel is an eleven-member body appointed by communities within the planning area. The Panel reviews zoning and development applications for compliance with the Big Darby Accord's goals and policies and provides recommendations to the Accord's member jurisdictions.

Project Information
Project Name Hilliard Recreation & Wellness Center
Project location South side of Scioto Darby Road & East of Alton Darby Road
Checklist Completed by Drew Russell, PLA, EDGE Chad Boyer, PE, CFM, ms consultants, inc.

Instructions

Please complete this form. The form provides guidance to applicants with projects that require Accord Panel review.

An application package for the Panel consists of 4 required components

1. Existing conditions site map
2. Conceptual site plan
3. Site data table
4. Applicant's checklist

Note: Incomplete application packages will not be scheduled for Accord Panel review and will be returned to the applicant. For additional information (including meeting dates and timeline) please contact the jurisdiction in which the project is located.

1. Existing Conditions Site Map: Required Elements

Instructions: Submit a map that details existing conditions of the subject site. Include each element listed below.

Map size: 24" x 36"

Map extent: Subject site plus 300' surrounding the subject site

Checkboxes: Indicate a completed item with a check in the appropriate box. For elements that don't apply, indicate NA

Scale: 1"=300' minimum

<p>Surface water Elements</p> <p><input checked="" type="checkbox"/> Watershed and subwatershed boundaries</p> <p><input checked="" type="checkbox"/> Surface water locations including perennial, intermittent, ephemeral streams</p> <p><input checked="" type="checkbox"/> Floodway and 100-year floodplain</p> <p><input checked="" type="checkbox"/> Wetlands: jurisdictional and agricultural</p> <p><input checked="" type="checkbox"/> Drainage patterns</p> <p><input type="checkbox"/> Field tile locations (Will be addressed if encountered)</p> <p>NA Groundwater recharge / pollution protection zones</p> <p><input type="checkbox"/> Wellhead protection zone (Wells found will be abandoned per the development through ODNR regulations)</p> <p><input type="checkbox"/> Stream water quality (EPA assessment)</p> <p><input checked="" type="checkbox"/> Stormwater management facilities (on-site & nearby)</p> <p>NA Water quality monitoring points (Site-level and, any OEPA within 300' of subject site and nearest Ohio EPA downstream and upstream monitoring sites)</p> <p>Utility and Roadway Elements</p> <p><input checked="" type="checkbox"/> Existing septic systems</p> <p><input checked="" type="checkbox"/> Existing wells</p> <p><input checked="" type="checkbox"/> Existing utilities and easements</p> <p><input checked="" type="checkbox"/> Existing roads and rights-of-way</p>	<p>Land Elements</p> <p><input checked="" type="checkbox"/> Soil types including location of hydric soils (if present)</p> <p><input checked="" type="checkbox"/> Topography and 2-foot contours</p> <p><input checked="" type="checkbox"/> Wooded areas</p> <p><input type="checkbox"/> Open space / natural Areas</p> <p>NA Significant wildlife habitat</p> <p><input checked="" type="checkbox"/> Existing easements</p> <p>NA Easement planting and management plan</p> <p>Other Elements</p> <p><input checked="" type="checkbox"/> Political jurisdiction boundaries</p> <p><input checked="" type="checkbox"/> Existing zoning of surrounding parcels</p> <p><input checked="" type="checkbox"/> Nearby recreation and community facilities</p> <p>NA Other historical, natural or cultural resources</p>
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Big Darby Accord Advisory Panel

2. Conceptual Site Plan: Required Elements

Instructions: Submit a conceptual site plan showing the elements listed below

Map size: 24" x 36"

Map extent: Subject site

Checkboxes: Indicate a completed item with a check in the appropriate box. For elements that don't apply, indicate NA

Scale: 1"=200' minimum

Physical Elements	Environmental Elements
<input checked="" type="checkbox"/> Property lines	<input checked="" type="checkbox"/> Floodway and 100-year floodplain
<input type="checkbox"/> Setbacks / build-to lines	<input checked="" type="checkbox"/> Stream corridor protection zone area
<input checked="" type="checkbox"/> Building footprint	<input checked="" type="checkbox"/> SCPZ permanent on-site designation (method/design)
<input checked="" type="checkbox"/> Parking areas	<input checked="" type="checkbox"/> LID techniques: location and type
<input checked="" type="checkbox"/> Proposed roadways	<input checked="" type="checkbox"/> Stormwater BMPs: location and type
<input type="checkbox"/> Proposed utilities and easements	<input type="checkbox"/> Water quality monitoring points
<input checked="" type="checkbox"/> Adjacent street names and access points	<input type="checkbox"/> Planting areas: location, size, species
<input checked="" type="checkbox"/> Adjacent zoning and land uses	<input type="checkbox"/> Location of stormwater recharge zone
<input checked="" type="checkbox"/> Vicinity map and north arrow	

3. Site Data Table: Required Elements

Instructions: Submit a table with the following data listed. Include the table as a separate document or list the data on the conceptual site plan.

Checkboxes: Indicate a completed item with a check in the appropriate box. For elements that don't apply, indicate NA

*Natural Area Open Space calculations are to be based on the Accord Panel's adopted definition of Conservation (Natural) Open Space.

<p>Acreage statements: developed areas</p> <p><input checked="" type="checkbox"/> Site area: gross</p> <p><input checked="" type="checkbox"/> Roadways and rights of way</p> <p><input checked="" type="checkbox"/> Site area: net of rights-of way</p> <p><input checked="" type="checkbox"/> Zoning districts: area for each district</p> <p>NA Residential land use area</p> <p><input checked="" type="checkbox"/> Non-residential land use area</p> <p>Acreage statements: open space</p> <p><input checked="" type="checkbox"/> Stream corridor protection zone area</p> <p><input checked="" type="checkbox"/> Other preservation and no-disturb zones</p> <p><input checked="" type="checkbox"/> Open space: total</p> <p><i>Consisting of:</i></p> <p><input checked="" type="checkbox"/> Natural areas* (including SCPZ)</p> <p><input checked="" type="checkbox"/> Active recreation area</p> <p><input checked="" type="checkbox"/> Stormwater management facilities area</p> <p><input checked="" type="checkbox"/> Other area</p>	<p>Density calculations</p> <p>NA Density: gross</p> <p>NA Density: net of rights-of-way</p> <p>NA Density: net of rights-of-way, open space areas</p> <p>Open space calculations</p> <p><input checked="" type="checkbox"/> Open space requirement percentage</p> <p>Include a table showing the following calculations. The areas named below must be consistent with the acreage statements to the left</p> <table border="1"> <thead> <tr> <th>Area</th> <th>Divided by:</th> </tr> </thead> <tbody> <tr> <td><input checked="" type="checkbox"/> Open space: total</td> <td>Site area: gross</td> </tr> <tr> <td><input checked="" type="checkbox"/> Open space: total</td> <td>Site area: net of rights-of-way</td> </tr> <tr> <td><input checked="" type="checkbox"/> SCPZ area</td> <td>Site area: net of rights-of-way</td> </tr> <tr> <td><input checked="" type="checkbox"/> Natural areas* (including SCPZ)</td> <td>Site area: net of rights-of-way</td> </tr> <tr> <td><input checked="" type="checkbox"/> Active recreation area</td> <td>Site area: net of rights-of-way</td> </tr> <tr> <td><input checked="" type="checkbox"/> Stormwater mgmt. facilities area</td> <td>Site area: net of rights-of-way</td> </tr> <tr> <td><input checked="" type="checkbox"/> Natural areas* (including SCPZ)</td> <td>Open space: total</td> </tr> <tr> <td><input checked="" type="checkbox"/> Active recreation area</td> <td>Open space: total</td> </tr> </tbody> </table>	Area	Divided by:	<input checked="" type="checkbox"/> Open space: total	Site area: gross	<input checked="" type="checkbox"/> Open space: total	Site area: net of rights-of-way	<input checked="" type="checkbox"/> SCPZ area	Site area: net of rights-of-way	<input checked="" type="checkbox"/> Natural areas* (including SCPZ)	Site area: net of rights-of-way	<input checked="" type="checkbox"/> Active recreation area	Site area: net of rights-of-way	<input checked="" type="checkbox"/> Stormwater mgmt. facilities area	Site area: net of rights-of-way	<input checked="" type="checkbox"/> Natural areas* (including SCPZ)	Open space: total	<input checked="" type="checkbox"/> Active recreation area	Open space: total
Area	Divided by:																		
<input checked="" type="checkbox"/> Open space: total	Site area: gross																		
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<input checked="" type="checkbox"/> Natural areas* (including SCPZ)	Open space: total																		
<input checked="" type="checkbox"/> Active recreation area	Open space: total																		

Big Darby Accord Advisory Panel

4. Applicant's Checklist: Required Elements

Instructions: Complete the table below. Information provided should demonstrate how your proposal complies with the goals and policies of the Big Darby Accord. Please identify and explain any variation from the Accord Plan.

If you include a separate document instead of completing the table below, *each requirement below must be addressed in the order listed.*

Conservation

Requirement (BDA reference)	Details/Comments
If land is proposed for development that is Tier 1 through 3, specify what types of development is being proposed for these areas?	Recreation and wellness center, stream restoration of the Clover Groff Ditch; construction of the Cosgray Road extension; Norwich Township Fire Station; athletic fields; office buildings.
What Tier 1 land is being protected and how is it being protected (3.1)?	Tier 1 land located on the site is associated with the floodplains of Clover Groff Ditch and Hamilton Ditch, and wetlands adjacent to Clover Groff Ditch. The existing farmed floodplains will be replaced with a 300-foot-wide stream corridor protection zone and drainage swales to reduce the size of the floodplain.
What Tier 2 Land is being protected and how is it being protected (3.1)?	NA
What Tier 3 Land is being protected and how is it being protected (3.1)?	Some existing Tier 3 land is being converted to development areas. Additional land in the southern portion of the site will consist of passive recreation areas and active recreation areas which should be considered suitable for Tier 3 areas (Section 3.1.1 of the BDAWMP).
Are wooded areas greater than 3 acres being preserved and how will they be protected (3.1.1)?	Portions of the wooded areas along Clover Groff Ditch may be impacted in association with the stream restoration plan. The amount of disturbance will be reduced by all available means during construction.
How much open space is being provided? Will the open space provided be based on the minimum of 10 acres per 1,000 residents? Note: this includes any tiered land that is being preserved. (5.16)?	50 percent. No, because there is no residential development proposed.
How will the open space be connected within site?	Multi-use paths and/or sidewalks will be provided along Scioto Darby Road, Cosgray Road, and Alton Darby Road frontages, and will provide multiple connections to the Recreation and Wellness Center and athletic fields.
How will the open space link with off-site open space (5.4.2)?	Path connections will be provided to the adjacent Hilliard Municipal Park and to the ends of public street frontages.
How will the open space be permanently protected (4.3)? Describe: easements, dedication, etc.	The stream corridor protection zone will be designated pursuant to OEPA regulations. Expanded park areas will be owned by the City of Hilliard.
What plant species are native and non-invasive (4.3)?	There are existing non-native woods and other plants surrounding the Clover Groff Ditch. Native plants will be used throughout the development.
Does the development include a long-term planting management plan that addresses items found in Section 4.3 (4.3)?	Yes.
Will the development provide a 3 year performance bond for maintenance of these plantings (4.3)?	The majority of the plantings will be on public property controlled by the City of Hilliard. The City will provide the required maintenance of the plantings.

Streams and Wetlands

Requirement (BDA reference)	Details/Comments
Have all the wetlands (agricultural) been identified in conjunction with NRCS (4.2.2)?	NA for this site since the land is not currently being farmed.
Have all the wetlands (non-agricultural) been identified in conjunction with Army Corps of Engineers and OEPA (4.2.2)? Please indicate category of each wetland.	EMH&T completed delineation field work and flagged the locations of four wetland areas on the property which would likely be considered jurisdictional by the United States Army Corps of Engineers (USACE). Their sizes and locations have been verified by the USACE in a Preliminary Jurisdictional Determination. Please refer to the attached USACE Preliminary Jurisdictional Determination letter. The category of each wetland will be determined in conjunction with Ohio EPA as part of the wetland permitting process.
Will identified wetlands be preserved or impacted by development? Explain reasoning and plans for preservation/mitigation. (4.2.2)?	Based upon our conceptual layout, 8 of the 13 potential wetlands would be impacted by the proposed stream restoration project and athletic field construction as shown on the conceptual Stormwater Management Plan. The final stream restoration plans will respect USACE and OEPA rules regarding the same.
If identified wetlands will be impacted, explain status of permit and plans for mitigation. The Accord recommends mitigation within the Accord planning area (4.2.2)	The applicable permits have not yet been applied for. Mitigation will occur within the Accord planning area or through purchases from a wetland bank.
Will the development provide a wetland protection plan during the construction phase (4.2.2)?	Yes, for the wetlands that are to remain undisturbed.
How will the 100-year floodplain be protected from fill and/or excavation (4.7.4)?	Clover Groff Ditch will be realigned and restored using a natural stream channel design to mitigate (offset) fill placed within the current 100-year floodplain of Clover Groff Ditch in order to remove most of the site from the 100-year floodplain.
How does the project incorporate stream restoration (3.6)?	Phase I of the Clover Groff Ditch restoration was completed in 2015, and Phase II of the restoration will be completed in 2023.
How does the project incorporate site monitoring of water quality?	Post construction best management practices (BMPs) will be inspected annually for any operational and maintenance needs.

Big Darby Accord Advisory Panel

Are any streams located on the site? If so, indicate stream use designation and attainment status.	Clover Groff Ditch and two tributaries to Clover Groff Ditch are located in the project area. According to Ohio EPA, Clover Groff Ditch is classified as Modified Warm Water Habitat (MWH) in this area (Ohio EPA, 2004).
Does any portion of the project fall within the Stream Corridor Protection Zone? If yes, how has it been calculated and how will it be protected? (4.2.1)?	The stream restoration project falls within the stream corridor protection zone (SCPZ). The SCPZ is being modified from the existing 100-year floodplain of Clover Groff Ditch. It has been calculated based upon the requirements for SCPZ widths in the City of Hilliard Engineering Design Manual. The SCPZ will be placed in a conservation easement upon completion of the stream restoration.
What are the proposed uses and ownership for the SCPZ (4.2.1)?	The SCPZ will include vegetated stream buffer, newly constructed wetlands, and park land. Any portion of the SCPZ not owned by the City of Hilliard will be transferred (deeded) to the City.
Are wetland buffers provided for all preserved wetlands in accordance with the recommendations of the Rainwater and Land Development Manual (5.2.2)?	Only wetlands in SCPZ are planned to be preserved. Width of SCPZ will provide adequate width for a wetland buffer.
Is verification provided that hydrology will be maintained in preserved wetlands (4.2.2).	No.
Will buffers be preserved in their natural state (Rainwater and Land Development Manual)?	Buffers will be preserved around any wetlands to be preserved.
How will buffers be protected by a public entity (Rainwater and Land Development Manual)?	SCPZ will be placed in a conservation easement to the City of Hilliard.
Stormwater Best Management Practices	
Requirement (BDA reference)	Details/Comments
Are the detention (quantity) controls adapted from the critical storm method (4.7.1)?	Yes, the design will incorporate peak flow features that will meet or exceed the critical storm method.
Will the post-construction groundwater recharge rate equal or exceed the pre-development rate (4.7.2)?	Yes, the post-construction groundwater recharge rate will equal or exceed the pre-development rate.
Please give details about the Stormwater Pollution Prevention Plan (SWPPP) that you will complete (4.7.3)?	The SWPPP will be established in phases based on the disturbance as the project progresses. It will include methods approved by the OEPA General Construction Permit.
What are the details for site level monitoring of water quality, including approximate locations and data collection (5.3.1 and Figure 5.5)?	Site Level Monitoring grab samples can be collected at the outlet structures or downstream discharge points for any site drainage after the development has occurred.
Were BMPs selected through the site planning process, please describe your approach(4.8.1)?	The intent of the site planning process was followed. The approach is to use distributed stormwater controls throughout the site to manage the overall stormwater needs.
How does the site plan incorporate BMPs? Are BMPs from the toolkit in Chapter 4 of the Accord being utilized (4.7)?	BMPs will be incorporated into the overall site design using a number of BMP's from the toolkit in Chapter 4. See below for an exact list of BMPS.
How are the BMPs consistent with Low Impact Development principles (3.5.2)?	The BMP's are consistent with the Low Impact Development principles, where practical.
List BMPs that will be utilized on the project below: (3.8.3)	Bioretention Cells, Grassed Filter Strips, Grassed Swales, Underground Detention, Infiltration Basins, and if needed Dry Detention or Wet Retention Basins.
Sewer System	
Requirement (BDA reference)	Details/Comments
What type of wastewater system has been proposed for the development, and what is the available capacity (4.9.1 and 4.9.2)?	Traditional gravity sewer that drains to the City of Columbus' system is proposed for the development. Adequate capacity is available downstream for the proposed improvements.
How does the proposal meet the requirements for Alternative Wastewater Systems (4.9.2)?	NA
Does the project provide measures for site-level monitoring (4.9.2)?	No.
Revenue	
Requirement (BDA reference)	Details/Comments
Is Tax Increment Financing in place or planned (5.5.4)?	No.
Is a New Community Authority in place or planned (5.5.4)?	No.
Has a developer contribution been applied (financial) (5.5.4)?	Yes. City of Hilliard paid \$1.75 million for the Clover Groff Ditch and Hamilton Ditch stream restoration projects.

Big Darby Accord Advisory Panel

Has a developer contribution provided (in-kind) (5.5.4)	
Overall	
Requirement (BDA reference)	Details/Comments
How is the proposed Land Use consistent with the Big Darby Accord Plan. If not consistent with the Accord's land use plan, specify how land use it differs from the Accord Plan (3.3)?	The existing site has three land uses as shown on the current General Land Use Plan: Existing Parks and Easements, Tier 1 land, and Tier 3 land, plus the Cosgray Road extension through the site. The proposed development integrates land uses and environmental systems in a way that responds directly to the concerns described in the Big Darby Accord Watershed Master Plan. The proposal will ensure that water quality is what it should be post construction and by mitigating the reduction in the groundwater recharge rate that is typically associated with the proposed land uses through the use of an innovative swale system that will carry and clean the storm water runoff prior to leaving the site.
Is the proposed density consistent with Big Darby Accord Plan (3.3)?	The Big Darby Accord Plan shows park land, Tier 1 land, Tier 3 land, a priority stream restoration zone, and a main road through the site. The proposed plan will result in the expansion of the Hilliard Municipal Park. Approximately 122.12 acres of the site will be used for recreation and park uses. The proposal includes stream restoration of the Clover Groff Ditch and the construction of the Cosgray Road extension.
Does the project conserve a minimum of 50% of land as open space* (4.4)? (Conservation Development area only)	Although the Big Darby Accord General Land Use Plan does not identify the site within either of the Conservation Development Overlays, not less than 50 percent of the site will be open space. Approximately 24 percent of the site will be natural open space which exceeds the approximately 11 percent natural open space approved with the previous plan for this site.
How does the project incorporate LID principles? Please list all LID techniques to be used. (3.5.2)	LID principles are being incorporated in the development and include reducing impervious cover and maximizing infiltration, providing storm water BMP's such as bio-retention cells adjacent to vehicular use areas, using native plantings, and restoring the Clover Groff stream corridor with additional constructed wetlands improving overall water quality.
How does the project incorporate the Town Center Principles (4.6)? (Town Center area only)	NA
Does the site incorporate LEED Principles (3.4)? (Required in LEED area)	Yes. As shown on the Big Darby Accord General Land Use Plan, the property falls outside the LEED area. LEED certification will not be pursued; however, it is anticipated that a number of LEED principles will be integrated in the design of the overall development.
Does the project incorporate the required public facilities? How will schools, fire, police service be provided? (5.3.3)?	Yes, a 3.32-acre site (Subarea 3) for a Norwich Township Fire Station is proposed.
How will the project provide overall trail linkages (4.11)?	Multi-use paths and/or sidewalks will be provided along Scioto Darby Road, Cosgray Road, and Alton Darby Road frontages, and will provide multiple connections to the Recreation and Wellness Center and athletic fields. Path connections will be provided to the adjacent Hilliard Municipal Park and to the ends of public street frontages.
How will the project provide the required transportation improvements (4.10)?	The City of Hilliard is constructing the Cosgray Road extension through the site as well as the sidewalk and multi-use path connections.

*Natural Area Open Space calculations are to be based on the Accord Panel's adopted definition of Conservation (Natural) Open Space.



DEPARTMENT OF THE ARMY
HUNTINGTON DISTRICT, CORPS OF ENGINEERS
502 EIGHTH STREET
HUNTINGTON, WEST VIRGINIA 25701-2070

REPLY TO
ATTENTION OF:

August 31, 2022

Regulatory Division
North Branch
LRH-2022-715-SCR

PRELIMINARY JURISDICTIONAL DETERMINATION

Mr. Clark Rausch
City of Hillard
3800 Municipal Way
Hillard, Ohio 43026

Dear Mr. Rausch:

I refer to the *Investigation of Waters of the United States, Wellness Campus & Clover Groff Corridor, City of Hillard, Franklin County, Ohio*, dated August 24, 2022 and submitted on your behalf by EMH&T. You have requested a preliminary jurisdictional determination (JD) for the potentially jurisdictional aquatic resources located within the approximate 171-acre JD review area. The JD review area is located east of Alton Darby Creek Road and south of Scioto Darby Road, in the City of Hillard, Franklin County, Ohio, at approximately 40.0283 latitude, -83.1805 longitude. Your request has been assigned the following file number: LRH-2022-715-SCR. Please reference this file number on all future correspondence related to this JD request.

The United States Army Corps of Engineers' (Corps) authority to regulate waters of the United States is based on the definitions and limits of jurisdiction contained in 33 CFR 328 and 33 CFR 329. Section 404 of the Clean Water Act (Section 404) requires a Department of the Army (DA) permit be obtained prior to the discharge of dredged or fill material into waters of the United States, including wetlands. Section 10 of the Rivers and Harbors Act of 1899 (Section 10) requires a DA permit be obtained for any work in, on, over or under navigable water.

Preliminary Jurisdictional Determination

Based upon a review of the submitted information received on August 24, 2022, this office has determined that approximately 3,326 linear feet (0.75 acre) of two (2) streams (Clover Groff Run and Stream 2) and 5.61 acres of thirteen wetlands (Wetlands A1-A3, and Wetlands B-K) are located within the JD review area and may be waters of the United States in accordance with the Regulatory Guidance Letter for JDs issued by the Corps on October 31, 2016 (Regulatory Guidance Letter No. 16-01). As indicated in the guidance, this preliminary JD is non-binding and cannot be appealed (33 CFR 331.2) and only provides a written indication that waters of the United States, including wetlands, may be present on-site.

-2-

You have declined to exercise the option to obtain an approved JD in this instance and at this time for the aquatic resources mentioned above. However, for the purposes of the determination of impacts, compensatory mitigation, and other resource protection measures for activities that require authorization from this office, these aquatic resources will be evaluated as if they are waters of the United States.

Enclosed please find a copy of the preliminary JD. If you agree with the findings of this preliminary JD and understand your options regarding the same, please sign and date a copy of the preliminary JD form and return it to this office within 30 days of receipt of this letter. You should submit the signed copy via email or to the following address:

United States Army Corps of Engineers
Huntington District
Attn: North Branch
502 Eighth Street
Huntington, West Virginia 25701

A copy of this letter will be provided to your agent, Ms. Heather Dardinger with EMH&T. If you have any questions concerning the above information, please contact Mr. Cecil Cox of the North Branch at 304-399-5274, by mail at the above address or by email at cecil.m.cox@usace.army.mil.

Sincerely,



Laurie A. Moore
Regulatory Project Manager
North Branch

Enclosure(s)





SITE VICINITY MAP

NOT TO SCALE

LEGEND

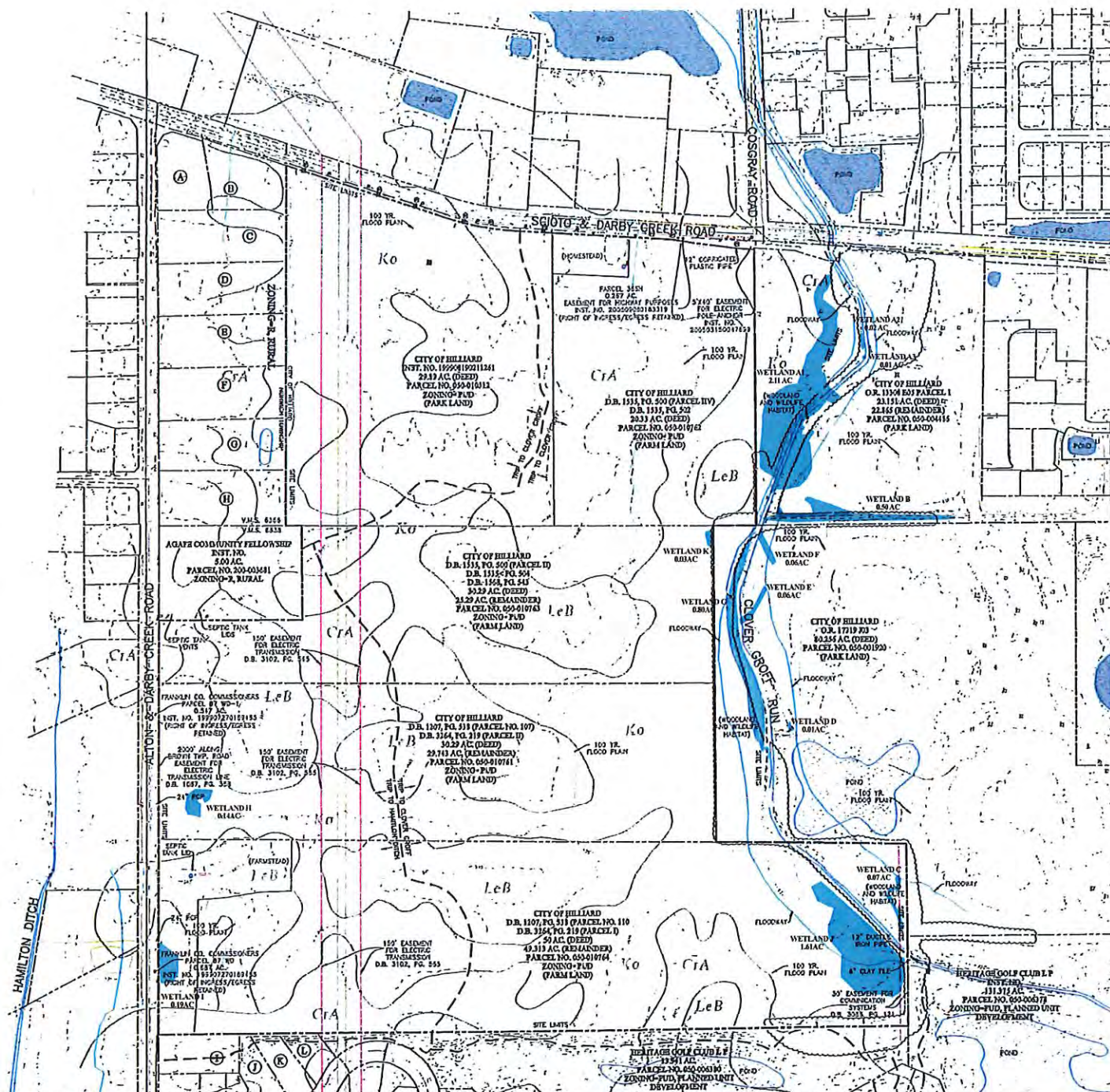
- PROPERTY BOUNDARY
- WATERSHED BOUNDARY
- - - EX. CONTOURS
- ⚡ POWER POLE
- ☐ TELEPHONE/FESTIVAL
- ☐ EX. CATCH BASIN
- ☐ EX. STORM MANHOLE
- ☐ EX. SANITARY MANHOLE
- ⊕ WATER WELL



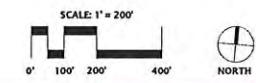
EXISTING CONDITIONS ENVIRONMENTAL CONSERVATION ZONES

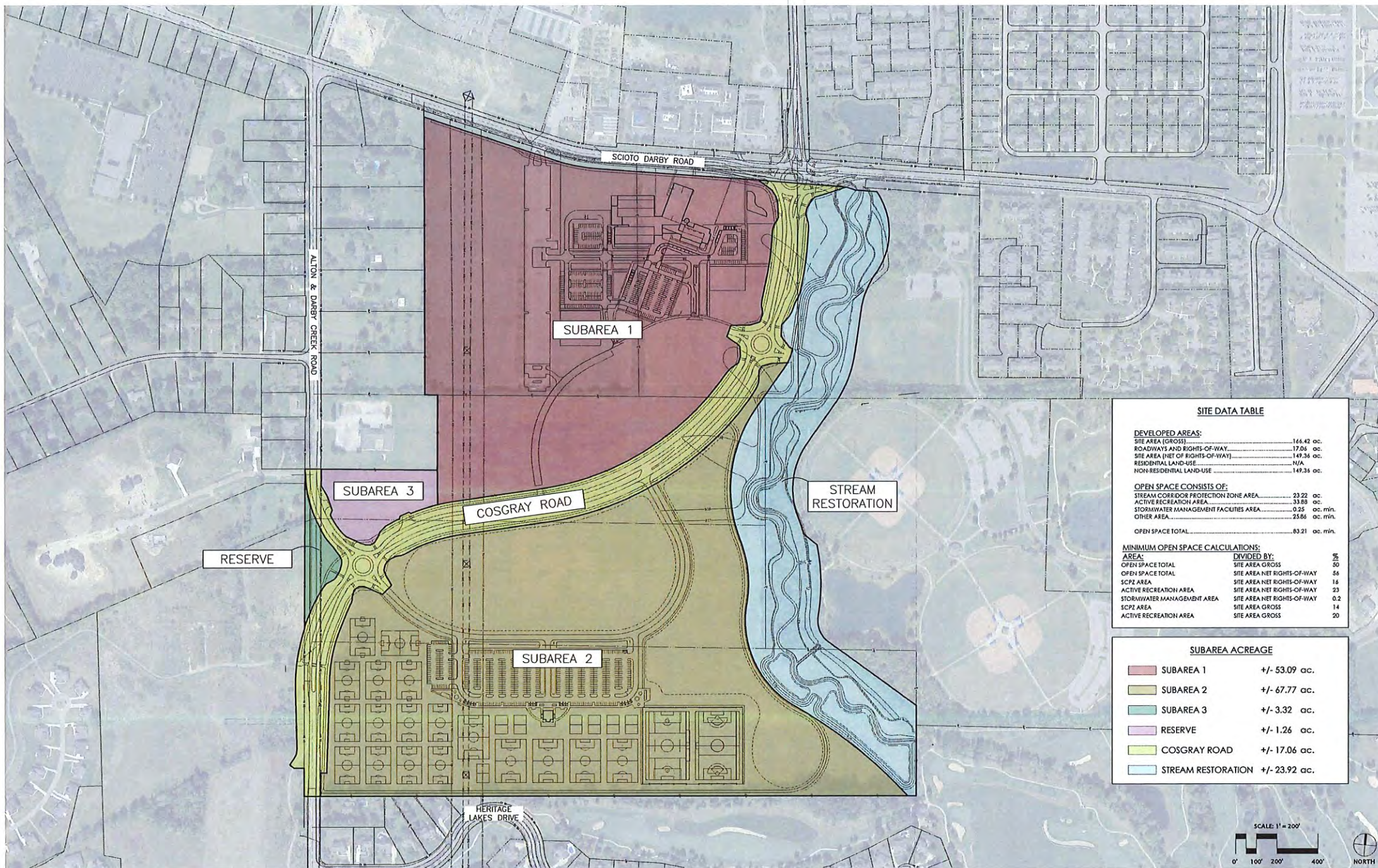
- █ EXISTING (PARK)
- █ TIER 1
- █ TIER 3

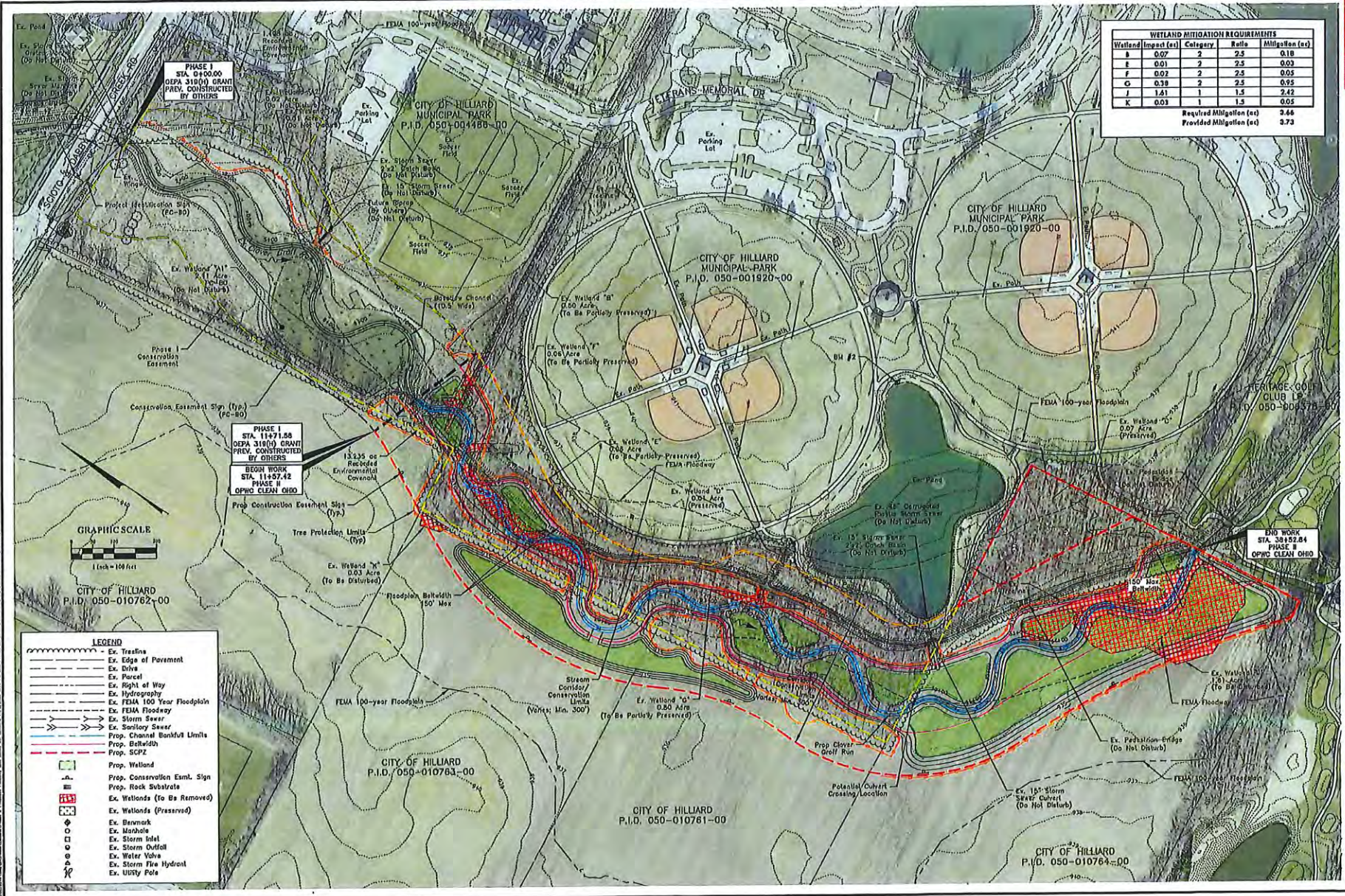
- (A) GENS BENTLEY
1.316 AC
PARCEL NO. 200-000018
- (B) JORGE & ROSMERY BELTRAN
1.842 AC
PARCEL NO. 200-000018
- (C) MATTHEW & KRISTINA GORR
WILLBARGER
2.433 AC
PARCEL NO. 200-003413
- (D) THOMAS & JULI WILLBARGER
2.211 AC
PARCEL NO. 200-000011
- (E) JEFFREY A. SMITH & STEPHANIE
EMITE WOLFRAIM
2.311 AC
PARCEL NO. 200-000011
- (F) ROGER L. MASSIE
2.211 AC
PARCEL NO. 200-000069
- MARIN SOEUNG & YEASNA KORM
2.211 AC
PARCEL NO. 200-000066
- (G) MARY F. WYRICK
2.311 AC
PARCEL NO. 200-000013
- (H) MATTHEW RICHARD FLETCHER
1.074 AC
PARCEL NO. 200-000072
- (I) CURTIS & CANDACE ENGEL
PARCEL NO. 019-070701
ZONING-PUD, PLANNED UNIT
DEVELOPMENT
- (J) JAMES C. & TROMAR M. MANULE
PARCEL NO. 019-070727
ZONING-PUD, PLANNED UNIT
DEVELOPMENT
- (K) JOSHUA & JENNIFER SMITH
PARCEL NO. 019-070723
ZONING-PUD, PLANNED UNIT
DEVELOPMENT



EXISTING CONDITIONS MAP
HILLIARD RECREATION AND WELLNESS CAMPUS
Hilliard, OH
November 16, 2022







WETLAND MITIGATION REQUIREMENTS				
Wetland Impact (ac)	Category	Ratio	Mitigation (ac)	
B	0.07	2	2.5	0.18
E	0.01	2	2.5	0.02
F	0.02	2	2.5	0.05
G	0.38	2	2.5	0.95
J	1.61	1	1.5	2.42
K	0.03	1	1.5	0.05
Required Mitigation (ac)			2.68	
Provided Mitigation (ac)			3.73	

- LEGEND**
- Ex. Terrain
 - Ex. Edge of Pavement
 - Ex. Drive
 - Ex. Parcel
 - Ex. Right of Way
 - Ex. Hydrography
 - Ex. FEMA 100 Year Floodplain
 - Ex. FEMA Floodway
 - Ex. Storm Sewer
 - Ex. Sanitary Sewer
 - Prop. Channel Bankfull Limits
 - Prop. Bankfull
 - Prop. Wetland
 - Prop. Conservation Easmt. Sign
 - Prop. Rock Substrate
 - Ex. Wetlands (To Be Removed)
 - Ex. Wetlands (Preserved)
 - Ex. Benchmark
 - Ex. Manhole
 - Ex. Storm Inlet
 - Ex. Storm Outfall
 - Ex. Water Valve
 - Ex. Storm Fire Hydrant
 - Ex. Utility Pole

REVISIONS

NO.	DATE	DESCRIPTION

PRELIMINARY

CITY OF HILLIARD, FRANKLIN COUNTY, OHIO
 EXHIBIT
**CLOVER CREEK RUN
 STREAM RESTORATION PHASE 2**
 PROPOSED LAYOUT

EMMET
 ENGINEERS ARCHITECTS SURVEYORS
 10000 W. STATE ST., SUITE 100
 COLUMBUS, OHIO 43240
 (614) 291-1100

DATE: November 2013
 SCALE: 1" = 100'
 JOB NO.: 1013-0149
 SHEET: 01/01

Subarea 1

**HILLIARD RECREATION & WELLNESS CENTER
DEVELOPMENT PLAN TEXT
166.42 +/- ACRES
HILLIARD, OHIO**

I. INTRODUCTION

The proposed Hilliard Recreation and Wellness Center development encompasses approximately 166.42 +/- acres located west of Hilliard Municipal Park on the south side of Scioto Darby Road and east of Alton & Darby Creek Road. The City of Hilliard intends to develop a high-quality community center, wellness campus and athletic complex that will provide new and improved recreational opportunities including a new, larger soccer complex with more parking and greater connectivity to Hilliard Municipal Park.

In addition, the proposed development will expedite two community and regional objectives with respect to infrastructure and the environment. The plan proposes the construction of the Cosgray/Alton Darby Connector that is shown as a new Major Arterial in the City's Thoroughfare Plan. The plan also proposes a major restoration of Clover Groff Run. Clover Groff Run will be realigned and restored using a natural stream channel design; existing wetlands in and around the stream will be protected or enhanced depending on their size and current condition. In addition, a reduction program for non-native invasive plant species will be completed as part of the restoration to further enhance the corridor.

A. Existing Land Uses

The existing properties are primarily vacant, formerly cultivated agricultural lands that were annexed into the City of Hilliard on November 22, 2007. In addition, the existing Hilliard Soccer Complex, which has an approximate land area of 30 acres, is included in this development as part of a proposed relocation of soccer fields to the southern portion of the site. As stated above, a new Soccer Complex with more parking and greater connectivity to the existing Hilliard Municipal Park will be developed on the south end of the site.

B. Natural Features and Topography

The property is generally flat and is bounded by Clover Groff Run to the east. Clover Groff Run is located in the Big Darby Accord Area. A stream restoration is planned for the Clover Groff Run as part of the overall scope of this project. The PUD Concept Plan for the overall development plan will be subject to review and recommendation by the Big Darby Accord Panel.

C. Existing Zoning

The Big Darby Accord Panel recommended approval of the proposed plan and subsequent land uses at their hearing on November 18, 2008. The site was rezoned to PUD, Planned Unit Development, in 2010; however, while the PUD classification is still current, the PUD Concept Plan including the Development Text, has expired. A new PUD Concept Plan needs to be approved.

D. Traffic and Transportation

Subarea 1

The City's Thoroughfare Plan shows a proposed connector between the southern terminus of Cosgray Road and Alton & Darby Creek Road. The plan shows this connector as a major arterial which will be built as part of this development. The proposed connector will be constructed as a two-lane divided roadway with a center boulevard median that will be landscaped and will include turn lanes at intersections and driveways and multi-use paths on both sides of the road which are intended to improve regional connectivity for pedestrians.

As part of the development's stormwater management system, the applicant has incorporated an innovative design for a vegetated swale to be installed on both sides of the roadway. The purpose of the swales is to clean the development's stormwater runoff before recharging the aquifer. The vegetated swales will be landscaped with natural grasses and plants that, while an amenity to the site, will serve the functional role of filtering the development's storm water runoff. The proposed roadway includes three roundabouts at critical junctures as it meanders through the site. The new connector will alleviate significant traffic congestion at on Scioto Darby Road betwixt Cosgray Road and Alton Darby Road.

E. Existing Utilities**Storm Sewers**

There are no existing storm sewers located on the majority of the properties involved in the development. The existing soccer park has a catch basin in the parking lot, but likely the majority of the storm water run-off sheet flows into the Clover Groff Run. Storm sewer service appears to be available for this site.

Sanitary Sewers

There are no existing sanitary sewers located on the properties. There is a sanitary sewer in the property to the south and sanitary sewer is adjacent to the property to the north across Scioto Darby Road. Sanitary sewer service is available for this site.

Water Lines

There are no existing water lines located on the properties; but water lines are adjacent to the properties to the north across Scioto Darby Road. Water line service is available for this site.

Subarea 1

II. PUD DEVELOPMENT PLAN TEXT GENERAL STANDARDS**A. General Intent**

1. It is the intent of the developer to create a wellness campus that will provide the residents of Hilliard with recreational amenities including a recreation center, a larger soccer complex, and medical offices.
2. If these standards conflict in any way with the City of Hilliard Codified Ordinances, then the Planned Unit Development District shall prevail. Standards in the City of Hilliard Zoning Code applicable to matters not covered in this document shall apply to each of the subareas in the Planned Unit Development District.
3. Final development plans for the Community Recreation and Wellness Center, office buildings, or passive recreation facilities within Subarea 1 will be reviewed for approval by the City of Hilliard administrative staff without the need to be reviewed by the Planning and Zoning Commission, provided that the plans conform with the provisions of this PUD development text. Final development plans for all other uses within Subareas 1 and 2 and all uses within Subarea 3 will be reviewed for approval by the Planning and Zoning Commission.
4. Street plan alignments shown on the plan give a general indication of how they will be platted and constructed. They are not, however intended to be precise, and while the functional system will be produced, its precise location may vary from that shown so long as the functional objectives are attained.
5. Cross access easements shall be required when appropriate between all subareas and individual uses to assure proper vehicular access.

B. Signage and Graphics

1. Signage must meet the provisions of the Hilliard Zoning Code unless otherwise approved by the Planning and Zoning Commission as part of a comprehensive signage plan.

C. Lighting

1. External lighting within all subareas shall be cut-off type fixtures, except for athletic field lighting which may be area flood light or sports light fixtures. The maximum height of the proposed light fixtures/poles is specified hereafter in the text for each subarea.
2. All types of parking, pedestrian and other lighting shall be on poles or wall mounted cut-off fixture and shall be from the same type and style as defined in Development Standards.
3. All light poles and standards shall match the sign standards and shall be finished in black, dark gray, or dark bronze.
4. Parking lot lighting and athletic field lighting shall be LED. Building and landscaping lighting may be incandescent, compact fluorescent, metal halide, or LED.

Subarea 1

5. Landscape and building uplighting from a concealed source shall be permitted, provided that it illuminates only the landscaping or building facade to which it is directed.
6. All lights shall be arranged such that there shall be no light trespass onto adjacent properties or rights-of-way.
7. All building illuminations shall be from concealed sources, and the light emitted from such sources shall be confined within the outside dimensions of the building.

D. Landscaping

1. All areas shall be landscaped in accordance with the Hilliard Landscape Code Chapter 1125 and any additional requirements imposed by this development plan and text.
2. The landscape treatment for the Cosgray/Alton Darby Connector shall be per the City's Construction Plans.

E. Fences/Walls

1. A detail for fencing, where proposed, shall be approved as part of a PUD Final Development Plan. Fencing shall otherwise conform to the Zoning Code.

B. Utilities

1. All new utility lines including water service, electricity, telephone and gas, and their connections or feeder lines should be placed underground. Provided, however the existing overhead transmission lines shall remain above ground.
2. All mechanical equipment and related structures on roof or ground shall be effectively screened to the full height of the unit on all sides by a fence, vegetation, wall, parapet or harmonious architectural material and character. All mechanical equipment or utility meters mounted to a building wall shall be located on the elevation away from the public right-of-way, where feasible, and shall be finished in a color similar to the primary finish material on the building.

C. Architecture

- a. The architecture, quality of design, and exterior materials for any structures shall be consistent with those shown on the building elevations and/or renderings attached hereto as exhibits to this PUD Concept Plan.
- b. Wall Articulation/Fenestration
 1. In addition to using building elements to articulate the building mass, individual walls must be articulated with fenestration, pattern, or structural expression equally on all sides of each structure.
 2. The amount of fenestration shall be balanced with the amount of solid facade.

Subarea 1

3. The quality of architectural design shall be consistent on all sides of the building; and the finish materials selected for each side of the building shall be compatible with the rest of the building.

H. Clover Groff Run - Stream Restoration – 23.92+/- acres

The Clover Groff Run waterway will be protected via a stream corridor protection zone that has a minimum width of 200 feet as shown on the Conceptual Stormwater Management Plan. Additionally, the existing ditch will be naturalized to enhance its natural filtering capacity. The naturalization project will include best management practices, including where appropriate, native plantings, turbulence enhancers and redirection. The storm water control system for the entire site will restrict runoff into the Clover Groff Run.

I. Subarea Standards

The property is divided into subareas to reflect different use areas, development standards, and requirements, which are thought to be appropriate for each subarea. It may be necessary from time to time to adjust these requirements to reflect changing circumstances, and nothing contained herein shall prevent the filing or processing a PUD modification application for any subarea or portion thereof.

J. Traffic

1. The Cosgray Road extension is identified as a proposed major arterial in the City's Thoroughfare Plan. It is shown on the PUD Concept Plan as a two-lane divided roadway with a center boulevard median that will be landscaped and will include multi-use paths and vegetated swales on both sides.

Subarea 1

III. SUBAREA 1 (RECREATION AND WELLNESS CENTER / OFFICES) STANDARDS

- A. Location, size, and characteristics
1. Subarea 1 consists of the northern 53.09+/- acres of the site as is graphically depicted on the PUD Concept Plan.
- B. Permitted & Conditional Uses
1. The following uses shall be permitted:
 - a. Community Recreation & Wellness Centers (including community center, senior center, and indoor recreation uses)
 - b. Administrative, Business, Professional, and Medical (with or without pharmacy services) Offices/Clinics
 - c. Passive recreation including trails
 2. The following shall be conditional uses:
 - a. Athletic fields
 - b. Playgrounds
- C. Height Limitations
1. The maximum height of any building in Subarea 1 shall be 45 feet as measured per the Hilliard Zoning Code.
- D. Setbacks
1. Perimeter Building & Pavement Setbacks
 - a. The minimum building setback from any public right-of-way shall be 30 feet.
 - b. The minimum pavement setback from any public right-of-way shall be 30 feet.
 - c. The minimum building setback from any other overall Subarea 1 boundary line shall be 20 feet.
 - d. The minimum pavement setback from any other overall Subarea 1 boundary line shall be 25 feet.
- F. Lighting
1. All parking lot lighting shall not exceed 28 feet in height from finished grade; except for multiple story office buildings, in which case parking lot lighting shall not exceed 35 feet in height from finished grade for Subarea 1.
- G. Parking and Loading
1. Parking requirements for all community recreation and wellness centers shall be a minimum of one space per 300 square feet of gross floor area. Parking requirements for office uses shall be one space per 300 square feet of usable floor area.

Subarea 1

2. Off-street loading requirements are not applicable within Subarea 1.
- H. Access/Curb cuts
1. Access and curb cuts for Subarea 1 shall be in general conformance with the PUD Concept Plan subject to the approval of the City Engineer.
- I. Landscaping
1. For office building sites, there shall be a 3-foot-tall earth mound with a maximum 4:1 slope along the Cosgray Road frontage wherever structures do not exist at the building setback line.
- J. Waste and Refuse
1. All waste and refuse shall be containerized and screened from view by a solid wall, compatible with the building materials, on the three enclosed sides and a solid pressure treated wood or metal fence/gate on the access side.
 2. The trash receptacle is not permitted within any front yard.
- K. Service Areas
1. Service courts and loading docks shall be screened from all public streets by landscaping, mounding or walls.

Subarea 1

IV. Subarea 2 (Soccer Park)

- A. Location, size, and characteristics
 - 1. Subarea 2 consists of the southern 67.77+/- acres of the site as is graphically depicted on the PUD Concept Plan.
 - 2. This subarea will be developed as a soccer complex that will be nearly double the size of the City's existing soccer park.
- B. Permitted Uses
 - 1. The following uses shall be permitted:
 - a. Public parks
 - b. Open space and recreational areas including accessory facilities
 - c. Accessory buildings and uses in association with a permitted use
 - 2. The following shall be conditional uses:
 - a. Athletic fields
 - b. Playgrounds
- C. Height Limitations
 - 1. The maximum height of any accessory structures associated with the soccer park shall be 35 feet as measured per the Hilliard Zoning Code.
- D. Setbacks
 - 1. There minimum building and pavement setback from any public right-of-way line is 30 feet.
 - 2. The minimum building and pavement setback from any other ovrcall Subarea 2 boundary line is 25 feet.
- E. Lighting
 - 1. All parking lot lighting shall not exceed 35 feet in height from finished grade.
 - 2. Lighting for soccer fields shall not exceed 90 feet in height from finished grade.
- F. Parking and Loading
 - 1. Parking shall be in general conformance with the parking areas shown on the PUD Concept Plan.
- G. Access/Curb cuts
 - 1. Access to the soccer park will be in general conformance with the access

Subarea 1

points delineated on the PUD Concept Plan.

I. Waste and Refuse

1. All waste and refuse shall be containerized and screened from view by a solid wall, compatible with the building materials, on the three enclosed sides and a solid pressure treated wood or solid metal fence/gate on the access side.
2. The trash receptacle is not permitted within any front yard.

Subarea 1

V. Subarea 3 (Fire Station)

A. Location, size, and characteristics

1. Subarea 3 consists of 3.32+/- acres of the site as is graphically depicted on the PUD Concept Plan.

B. Permitted Uses

1. The following uses shall be permitted:
 - a. Fire station (If meaningful construction has not commenced and progressed meaningfully toward completion within 5 years of the approval of the PUD Concept Plan, then Subarea 3 shall be void and the land will be included in Subarea 1 and be subject to all of the provisions listed for Subarea 1. For the purposes of this section, meaningful progress toward completion shall mean, at a minimum, either of the following: rough grading or installation of infrastructure improvements such as underground utilities.)
 - b. Accessory buildings and uses in association with a permitted use

C. Height Limitations

1. The maximum height of any building in Subarea 3 shall be 35 feet as measured per the Hilliard Zoning Code.

D. Setbacks

1. There minimum building and pavement setback from any public right-of-way line is 25 feet.
2. The minimum building and pavement setback from any other overall Subarea 3 boundary line is 25 feet.

E. Lighting

1. All parking lot lighting shall not exceed 35 feet in height from finished grade.

F. Parking and Loading

1. Parking requirements for fire stations shall be a minimum of one space per bedroom plus one space per 300 square feet of usable floor area for office/administrative area.

G. Access/Curb cuts

1. Access to the fire station will be in general conformance with the access points delineated on the PUD Concept Plan.

H. Landseaping

Subarea 1

1. There shall be a 3-foot-tall earth mound with a maximum 4:1 slope along the Cosgray Road frontage and the Alton Darby Road frontage wherever structures do not exist at the building setback line.

I. Waste and Refuse

1. All waste and refuse shall be containerized and screened from view by a solid wall, compatible with the building materials, on the three enclosed sides and a solid pressure treated wood or solid metal fence/gate on the access side.
2. The trash receptacle is not permitted within any front yard.

Big Darby Accord Advisory Panel

Development Review Checklist

To be completed by Agency Staff
Revised 10/1/08

Section A: General Information

Project Information	
Site Address 7380 Scioto Darby Rd	Parcel ID(s) 050-010512, 050-010761, 050-010762, 050-010763 & 050-010764
Existing Zoning District(s) PUD, Planned Unit Development	Total Acreage: Gross 166.42
Proposed Zoning District(s) PUD, Planned Unit Development	Total Acreage: Net 149.36

Tracking Information
Accord Panel Case # AP-22-03
Jurisdiction Case # PZ-22-67

Jurisdiction	
<input type="checkbox"/> Brown Township	<input type="checkbox"/> Columbus
<input type="checkbox"/> Norwich Township	<input type="checkbox"/> Grove City
<input type="checkbox"/> Pleasant Township	<input type="checkbox"/> Harrisburg
<input type="checkbox"/> Prairie Township	<input checked="" type="checkbox"/> Hilliard
<input type="checkbox"/> Washington Township	

Meeting Dates	
Review Body	Date
Staff Review:	11/9/2022
Accord Panel:	12/14/2022
Jurisdiction Commission	1/12/2023
Jurisdiction legislative body	TBD

Agency Staff Information – Primary Contact	
Name John Talentino	
Jurisdiction / Agency Name City of Hilliard	
Address 3800 Municipal Way, Hilliard OH 43026	
Phone # 614-334-2444	Fax #
Email jtalentino@hilliardohio.gov	



Zoning Authority
<input type="checkbox"/> Columbus
<input type="checkbox"/> Franklin County
<input type="checkbox"/> Grove City
<input type="checkbox"/> Harrisburg
<input checked="" type="checkbox"/> Hilliard
<input type="checkbox"/> Prairie Township

Subdivision Authority
<input type="checkbox"/> Columbus
<input type="checkbox"/> Franklin County
<input type="checkbox"/> Grove City
<input type="checkbox"/> Harrisburg
<input checked="" type="checkbox"/> Hilliard

Section B: Background

Project Description

The site consists of five parcels totaling approximately 166.42 acres located on the south side of Scioto Darby Road at the southern terminus of Cosgray Road including Clover Groff Ditch, to the west of Hilliard Municipal Park, to the north of Heritage Lakes subdivision, and on the east side of Alton Darby Road. It includes the 30.6-acre soccer park and four parcels which have been farmed for years. The application also includes in the gross acreage a portion of the Clover Groff Ditch which is proposed for stream restoration. The site is currently zoned PUD; however, the PUD Concept Plan has expired, and the proposal will result in a PUD Concept Plan for a new recreation and wellness center, commercial, office, and park uses including athletic fields. The proposal includes the construction of the Cosgray Road extension through the overall site generally from the northeast corner to the southwest corner. The proposed extension is consistent with that shown on the Hilliard Thoroughfare Plan, MORPC's regional transportation plan, and the Darby Accord General Land Use Plan.

The proposal will divide the site into 3 Subareas. Subarea 1 consists of a new recreation and wellness center and office uses. Subarea 2 consists of athletic fields and passive recreation space. Subarea 3 consists of a site for a new Norwich Township fire station. The plans show three roundabouts along the new Cosgray Road extension through the site including one at the intersection of Cosgray Road and Scioto Darby Road. Approximately 20 percent of the site will consist of areas for active recreation. The plans indicate that 50 percent of the site (83.21 acres) will be open space and 22 percent of the site will be natural open space.

Background Information

A timeline of significant actions is included below.

6/13/01	30.6-acre portion of the site currently used as a soccer park was annexed to the City of Hilliard (Ordinance No. 01-18).
1/9/02	30.6-acre portion of the site currently used as a soccer park was rezoned to S-1, Special (Ordinance No. 01-70).
3/2/01	Plans for the 30.6-acre soccer park were approved.
11/22/07	Jerman properties totaling 125.1 acres were annexed to the City of Hilliard (Ordinance No. 07-52).
3/25/08	Jerman properties totaling 125.1 acres was rezoned to A-1, Agricultural (Ordinance No. 08-03).
4/28/08	The City of Hilliard adopted the final draft of the Big Darby Accord Watershed Master Plan (BDAWMP) dated June 2006 (Resolution No. 08-R-10).
11/18/08	Big Darby Accord Panel recommended approval of Alton Commons PUD consisting of retail, office, and park uses on 155 acres.
10/8/09	Hilliard Planning and Zoning Commission forwarded a positive recommendation to Council concerning the Alton Commons PUD.
4/26/10	Alton Commons PUD approved by the City of Hilliard (Ordinance No. 10-10).
5/14/15	Hilliard Planning and Zoning Commission approved a 6-month extension of the Alton Commons PUD plan.
11/26/15	The Alton Commons PUD expired due to lack of construction.
2/4/21	City of Hilliard purchased the four properties from the Jerman estate.
11/2/22	Application #PZ-22-67 to create the Hilliard Recreation & Wellness Center PUD Concept Plan on approximately 165.4 acres was submitted to the City of Hilliard.

Section C: Assessment and Evaluation**Conservation Assessment**

The proposed plans indicate that the site will consist of 50 percent (83.21 acres) open space and 22 percent natural open space. The existing parking lot and the soccer fields in western half of the existing soccer park located in the northwest portion of the site will remain. The fields in the eastern half of the existing soccer park will be eliminated, and approximately 31.2 acres in the southern end of the overall site will feature soccer fields. Portions of the wooded areas along Clover Groff Ditch may be impacted by the stream restoration project. The BDAWMP identifies this site as having significant areas of Tier 1 and Tier 3 environmental conservation zones. However, FEMA Flood Insurance Rate Map (Map #39049C0143K; Map Revised 6/17/2008) information indicates that a significant portion of the 100-year floodplain (and therefore Tier 1 land) would be eliminated on this site. The proposed stream restoration would further reduce the area of the 100-year floodplain. The proposed plans represent a significant reduction in impervious surface area from the previously approved plan for this site. The Cosgray Road extension has been reduced from a 4-lane road to a 2-lane road.

Streams and Wetlands Assessment

The proposed plan identifies 13 wetlands totaling 6.34 acres on the site. Eleven wetlands are located adjacent to Clover Groff Ditch, and two are located near Alton Darby Road. Their sizes and locations have been verified by the United States Army Corps of Engineers (USACE). Six of the existing wetlands would be impacted by the proposed stream restoration project, and two others would be impacted by the proposed athletic field construction. Clover Groff Ditch will be re-aligned and restored using a natural stream channel design which will build meanders into a channelized and entrenched portion of the ditch. A 300-foot-wide Stream Corridor Protection Zone (SCPZ) is proposed along Clover Groff Ditch which will significantly reduce the area of the 100-year floodplain and serve as the SCPZ mitigation plan. The southwest corner of the site includes 100-year floodplain for Hamilton Ditch. Stream restoration for Hamilton Ditch has been completed.

From Big Darby Accord - Section 3.6 Stream Restoration:

Based on the degree of degradation that has been documented for both Clover Groff and Hamilton Runs, stream morphology must be enhanced through some level of restoration to sustain a more desirable aquatic life use designation and to provide a meaningful contribution to the overall water quality within the watershed. The Accord general land use plan indicates a priority stream restoration zone for the entirety of Clover Groff and Hamilton Runs. Meaningful restoration of these watercourses will likely require extensive physical alteration of the existing stream channels to provide for the appropriate morphology and habitat features.

From Big Darby Accord – Section 3.7 Floodplain Management:

Stream restoration is an anticipated activity within a designated 100-year floodplain and floodway. There may be circumstances where fill is placed within the 100-year floodplain in conjunction with stream restoration.

Stormwater Best Management Practices Assessment

Most of the site is tributary to Clover Groff Ditch except for the southwestern portion which is tributary to Hamilton Ditch. The proposal includes wet basins, stormwater wetlands, vegetated swales, filter strips, and hydrodynamic separation which are from the toolkit in Section 4.8.3 (BMP Toolkit) of the Accord Plan. BMP's were selected to be consistent with Low Impact Development principles in Section 3.5.2 of the Accord Plan. The Cosgray Road extension will be designed with swales within the right-of-way. The development will exceed the predevelopment groundwater recharge rate through the use of localized infiltration practices which will mitigate the annual recharge volume deficit.

Alternative Wastewater Systems Assessment

The site will be served by central sewer from the City of Hilliard that is treated by the City of Columbus.

Revenue Assessment

The City of Hilliard paid \$1.75 million for the Clover Groff Ditch and Hamilton Ditch stream restoration projects.

Section D: Overall Assessment and Staff Analysis

Overall Assessment

Figure 3.7 Proposed General Land Use Map identifies the site as Existing Parks and Easements, and Tier 1 and Tier 3 conservation zones. It should be noted that revised FEMA Flood Insurance Rate Map information demonstrates that a significant portion of the 100-year floodplain has been eliminated. Stream restoration activities will further reduce the amount of 100-year floodplain. The northern portion of the site is proposed to be developed with a recreation and wellness center, office uses, and athletic fields. This alternative land use will be mitigated on site by the stream restoration planned for Clover Groff Ditch and the proposed storm water management facilities including vegetated swales on each side of the Cosgray Road extension. The project will conserve at least 50 percent of the overall site as open space. The proposal will incorporate Low Impact Development principles to disconnect impervious areas, lengthen flow paths, and promote infiltration. The proposal includes the construction of the Cosgray Road extension through the site consistent with the Hilliard Thoroughfare Plan and the Big Darby Accord General Land Use Plan. The proposal will provide bike/pedestrian path links to adjacent properties and rights-of-way.

The Hilliard Master Plan recommends preserving environmentally sensitive areas and corridors; encouraging and supporting contiguous development that decreases the cost of transportation, utilities and supporting services; and ensuring that all development is pedestrian friendly. The proposal is consistent with these recommendations.

Staff Analysis

Requirement	Yes	No	NA	Analysis
Existing conditions site map is complete	√			
Conceptual site plan is complete	√			
Site data table is complete and accurately calculated	√			
Assessments	Pass	Fail	Explanation - Items incomplete, steps required to correct, etc.	
Conservation assessment	√		Provides not less than 50 percent open space and 22 percent natural open space consistent with the previously approved plan for this site.	
Streams and wetlands assessment	√		Clover Groff Ditch will be re-aligned and restored using a natural stream channel design and save as much of the woodland areas as is practicable. Proposal establishes 300-foot-wide SCPZ. Wetlands sizes and locations to be verified by USACE.	

Stormwater management assessment	√		Post-construction groundwater recharge rate shall equal or exceed the pre-development rate. BMPs include retention ponds with wetland shelves, and vegetative swales.
Alternative wastewater assessment	NA	NA	NA
Revenue assessment	√		The City of Hilliard has paid \$1.75 million toward the Clover Groff Ditch and Hamilton Ditch stream restoration projects.
Staff analysis overall assessment	√		Proposal is consistent with the BDAWMP because it provides stream restoration for the Clover Groff Ditch, and 50 percent open space consistent with the previously approved plan for this site.

Staff Recommendation

Staff recommends:

- Approval
- with conditions (see below)
- Disapproval

Reasons / Conditions:

1. That the plans are revised to show the boundaries of the 100-year floodplain consistent with the stream restoration work that has been completed.
2. That not less than 50 percent of the site is open space consistent with the previously approved plan.
3. That not less than 22 percent of the site is natural open space.
4. That the plans are revised to show the minimum building and pavement setback lines.

Checklist prepared by:

John Talentino
Agency Staff Member

Planning Director
Title

11/15/2022
Date

CASE 4: PZ-22-69 – TARLTON MEADOWS OPEN SPACE – SECTION 3, RESERVE E

PARCEL NUMBER: 050-011708

APPLICANT: Tarlton Meadows Homeowners Association Inc., 5500 Blazer Parkway Suite 175, Dublin, OH 43017; c/o Jim Hilz, EDGE Landscape Architects, 475 Metro Place South, Suite 200, Dublin, OH 43017

REQUEST: Review and approval of a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Tarlton Meadows PUD Concept Plan and Text for open space landscaping and maintenance.

BACKGROUND:

The site consists of 9.685 acres located on the south side of Hayden Run Road approximately 1,200 feet west of Cosgray Road. On April 23, 2012, Council adopted Ordinance 12-21 approving a PUD Concept Plan and Development Text for the construction of 92 single-family lots and 10.3 acres of commercial uses on 57.6 acres. The final plat for Section 3 of the development was approved by the Commission on May 9, 2019, and was accepted by City Council through Resolution 10-R-56 on June 10, 2019.

The applicant is now requesting a revised Final Development Plan to modify required landscaping and maintenance for Reserve “E”.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1117.08 and the Buck Property PUD Development Plan and Text. The Code specifically provides the following requirements for making modifications to an approved PUD Final Development Plan, development text or zoning map in Section 1117.06 of the Code:

- The proposed development is consistent with the purpose of the PUD in Section 1117.01;
- The proposed development meets the qualifying conditions as outlined in Section 1117.02;
- The PUD is consistent with the recommendations of the Hilliard Comprehensive Plan;
- The development is compatible with the existing and intended uses surrounding the site;
- The design and layout is harmonious with the natural character of the site and surrounding area and employs best management practices to ensure their conservation;
- The proposed development does not place undue burdens on public facilities and services;
- The PUD includes uses or conditional uses that are not injurious to public health, safety and welfare;
- The development conforms to the requirements of the Code unless specifically modified and approved;
- The final development plan is substantially consistent with the approved Concept Plan for the PUD; and
- Approval will result in a recognized and substantial benefit to the users of the project and the community in a way not otherwise feasible under conventional zoning.

Following a recommendation by the Commission, a resolution for the proposed PUD text modification will be forwarded to City Council for review and approval. The proposed change in use will become effective 60 days following Council’s approval, and the PUD final development plan will take effect at that time.

STAFF RECOMMENDATION:

Staff finds that the proposed revised Final Development Plan, as revised in the conditions listed below, is generally consistent with the nature and intent of Hilliard City Code Section 1117.06 and the Buck Property PUD Development Plan and Text. Based on this finding, staff recommends approval of the revised Final Development Plan for Tarlton Meadows Section 3 Reserve “E” with the following three conditions:

- 1) That all of zones “A” and “B” be cleared of all scrub and noxious weeds;
- 2) That all of zones “A” and “B” are graded and seeded with manicured lawn and maintained annually at a Code-compliant height of 6" or less during mowing season (March 1 – November 30); and
- 3) That existing trees shall be permitted to remain.

CONSIDERATIONS:

- *Site Context.* The site consists of the western portion of the residential area of the Buck Property PUD and is surrounded by other PUD-zoned properties. Commercial portions of the PUD are located to the north and west and include a landscape/greenhouse business. The southwest edge of Reserve “E” is bordered by the Heritage Rail Trail, and single-family homes are located to the east as part of Tarlton Meadows Section 3. A 50-foot-wide access easement extends from Meadowview Lane through Reserve “E” to the commercial portion of the PUD consistent with the provisions of the PUD Concept Plan.
- *Original Approved Landscape Plan.* The original PUD zoning and development plan called for perimeter plantings of various approved tree and grass species including 24 Green Colorado Spruce, 17 Douglas Fir and 38 Kwanzan Cherry Trees throughout the property. Plans for the reserve indicated a six-foot mound along the Heritage Rail Trail and wetlands that would be preserved and maintained. During the review of the final plat for Section 3, it was determined that no seasonal wetland existed.
- *Code Enforcement.* An enforcement case originated in July 2021 when a resident complained that Reserve “E” had not been landscaped or maintained in accordance with the approved PUD plan and City Code. The developer was notified of the Code violation and staff has been working for over a year to encourage compliance. Enforcement issues continued throughout 2022 as no maintenance or mowing took place. The applicant submitted this application as a response to the ongoing enforcement action. *Reserves within the Tarlton Meadows development have not been turned over from the developer, Pulte Homes, to the residents. Staff believes that the issue must be resolved as part of commitments made by the developer at the time of the rezoning.*
- *City Forester Review.* Upon site visit with the City Forester, staff determined that there is an abundance of poison hemlock throughout the entire parcel. The City Forester recommended that the area be not permitted to grow as it will result in invasive plant species and noxious weeds continuing to grow.
- *Proposed Plan Modification.* The developer is proposing to split Reserve “E” into two zones (zones A and B respectively) with the following maintenance plan:

Landscape Zone ‘A’:

- Location: Between lots 47 and 48, from Meadowview Lane westward, to a mow line extending north-south, of at least twenty-five (25) feet from the rear of lots 41 through 51, and varying up to 75’ from the rear of lots 47 through 51.
- Maintenance Standard: This zone shall receive regular mowing and care to keep the existing ground cover at a height not to exceed six (6) inches.

Landscape Zone ‘B’:

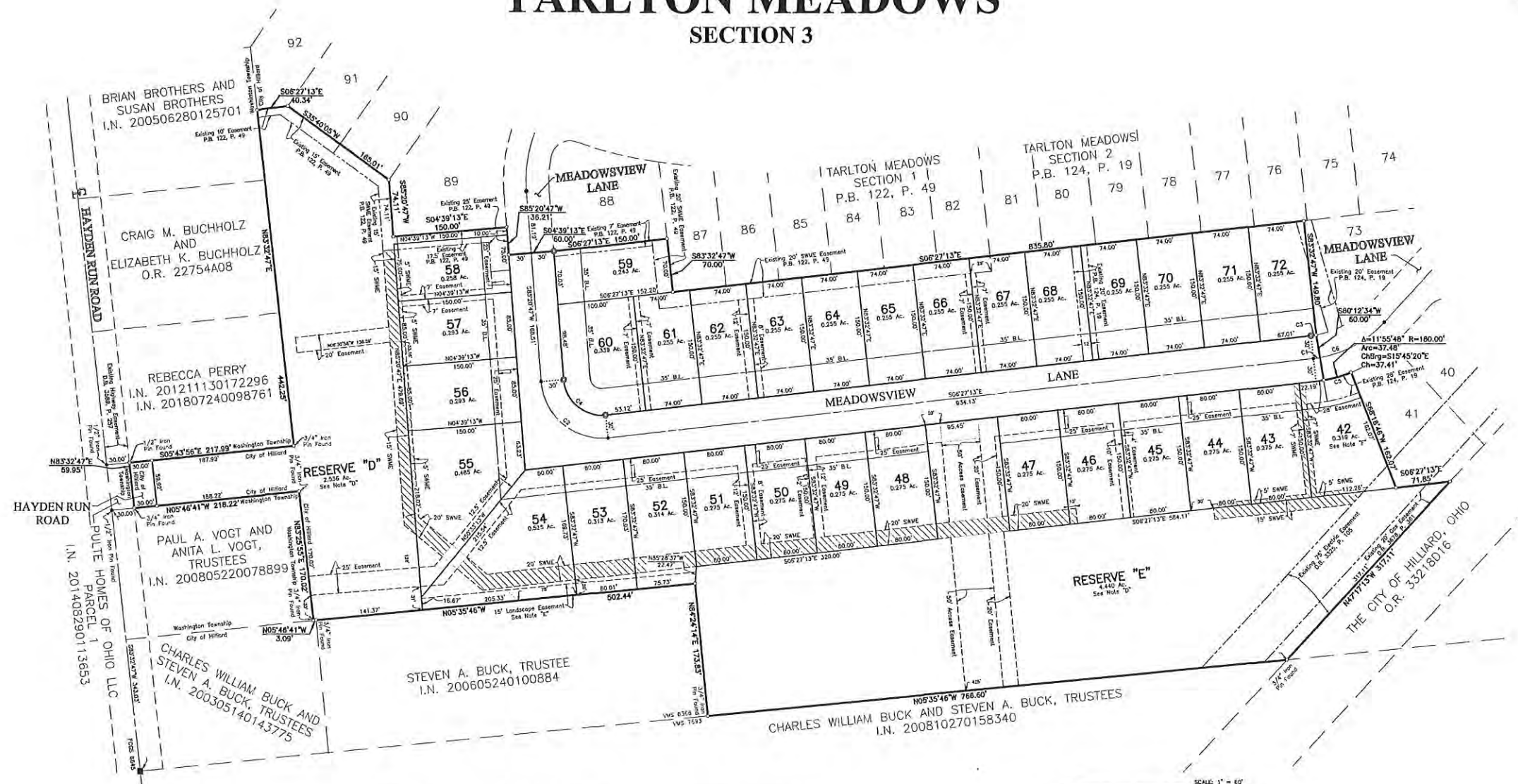
- Location: all remaining areas outside of Landscape Zone ‘A’.
- Maintenance Standard: This zone shall be maintained as a naturalized area. Existing vegetation and ground cover shall be permitted to remain in a successional growth state.

- Signage: signs shall be located within this zone, along the mow line. This signage shall be painted metal, green background with white text. Signs shall be mounted at a thirty-six (to 36) inch height maximum and shall be spaced at two hundred (200) feet along the mow line. The text shall read as follows: “Successional Growth Area – Do Not Mow”.
- **Staff finds that the proposal will not be compatible with the adjacent residential properties and is not consistent with the Buck Property PUD development text which states that “The residential portion of the development will be similar in character to Hoffman Farms and The Estates at Hoffman Farms to the south.”**

[END OF REPORT | PZ-22-69]

TARLTON MEADOWS SECTION 3

2
2



NOTE "A" - ACREAGE BREAKDOWN:
 Total acreage: 17.705 Ac.
 Acreage in rights-of-way: 6.812 Ac.
 Acreage in Reserves: 8.917 Ac.
 Acreage in remaining lots: 8.917 Ac.

NOTE "B": At the time of platting, all of the land hereby being platted as Tarlton Meadows Section 3 is in Zone X (Area determined to be outside of the 0.2% annual chance flood plain) as designated and delineated on the FEMA Flood Insurance Map for Franklin County, Ohio, and Incorporated Areas, map numbers 39049C0137K and 39049C0141K with effective date of June 17, 2008.

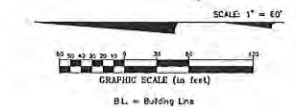
NOTE "C" - ACREAGE BREAKDOWN: Tarlton Meadows Section 3 is out of the following Franklin County Parcel Number:
 052-000118 17.705 Ac.

NOTE "D" - RESERVES "D" AND "E": A homeowner's association shall be created which will be responsible for the maintenance of designated reserves that are not conveyed or dedicated to the City of Hilliard or a community authority. A declaration of covenants, easements and restrictions for the property establishing the association will be filed with the Franklin County Recorder prior to occupancy of any building on the property. The articles of incorporation and by-laws for the homeowner's association (the "association") shall contain a provision stating that if the association fails to fulfill its maintenance obligations with respect to the common areas, and it becomes necessary for the City of Hilliard to enter upon the common areas to perform necessary maintenance, upon submission of an invoice for the amount of the City's cost and expenses, the City of Hilliard, as a beneficiary under this provision, shall be entitled to step into the shoes of the association and impose the assessments directly against each lot as if the City were the association itself. Prior to filing either the articles of incorporation or the by-laws for the homeowner's association, the party responsible for the filing shall deliver a draft of each document to the law director for the City for confirmation that the documents contain the language set forth above.

Reserves "D" and "E", as designated and delineated hereon, shall be owned and maintained by the homeowner's association.

NOTE "E" - LANDSCAPE EASEMENT: Within, over, and under the area of land designated herein as "Landscape Easement", a nonexclusive easement is hereby reserved for the purpose of installing, constructing, operating, using, and maintaining landscaping, landscaping features, and subdivision entrance features therein. Such landscaping, landscaping features, and subdivision entrance features shall be installed/constructed by the developer of Tarlton Meadows subdivisions and operated, used, and maintained by said developer until such time as an association comprised of the owners of the fee simple titles to the lots in Tarlton Meadows subdivisions is formed and funded. Thereafter, said association shall operate, use, and maintain said landscaping, landscaping features, and subdivision entrance features and said association shall have and it is hereby granted a nonexclusive right to use said easement areas for said purpose. No developer-installed landscaping, landscaping features, and subdivision identification features shall be removed from said easement areas without the approval of said developer or said developer's designee.

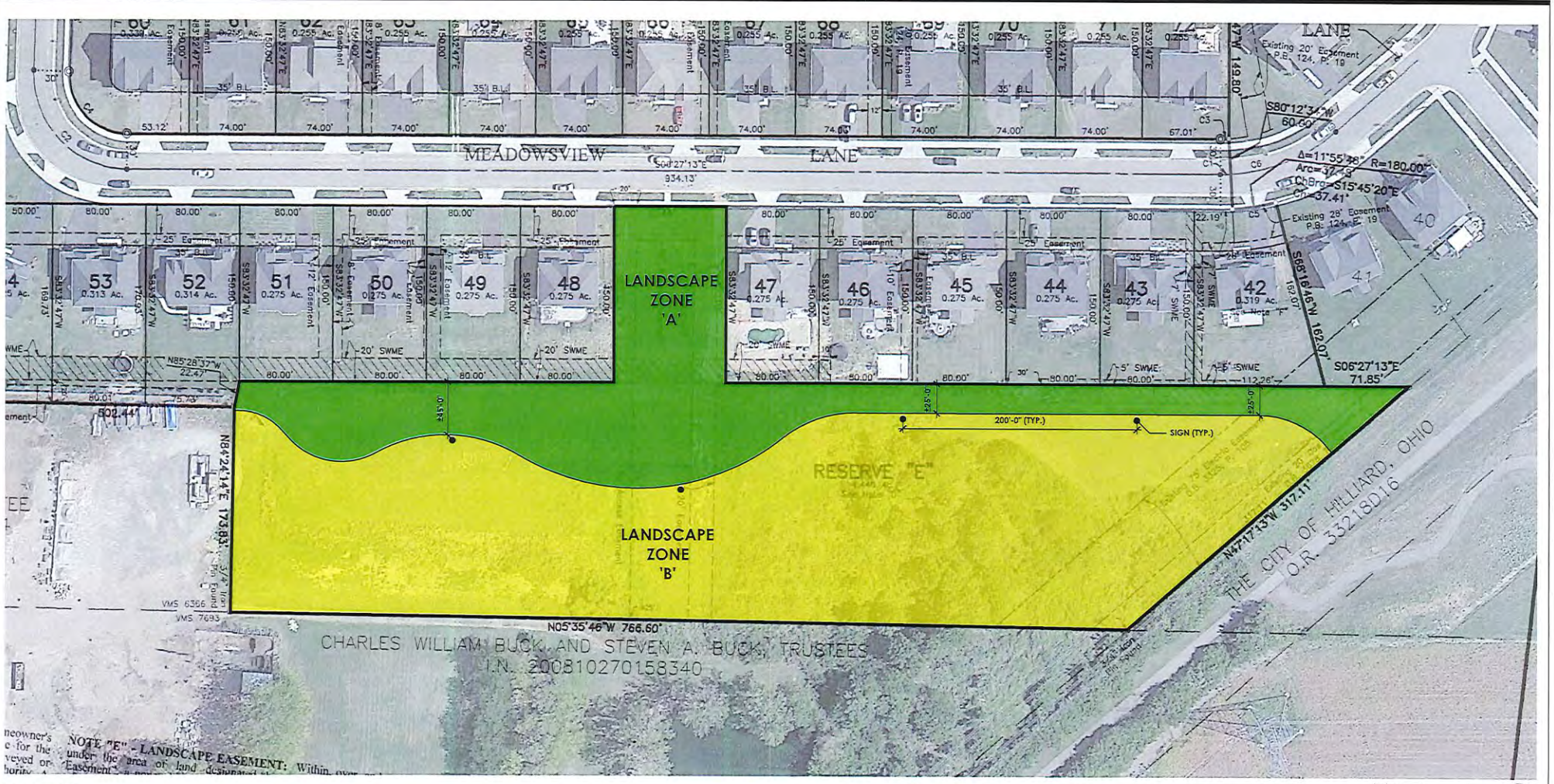
NOTE "F" - LOT 42: Lot 42, as designated and delineated hereon, may be subject to restrictions related to the existing 75' electric easement located within said lot. Information regarding possible restrictions can be found in the recorded document referenced hereon.



BL = Building Line

Storm Water Management Easement (SWE). See paragraph regarding "Easements" and "Storm Water Management Easements" in sheet 1 for restrictions within this easement.

CURVE TABLE					
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	320°13'	150.00'	8.74'	S 08°07'19" E	8.73'
C2	91°48'00"	80.00'	128.10'	S 39°26'47" W	114.90'
C3	320°13'	120.00'	6.99'	N 08°07'19" W	6.99'
C4	91°48'00"	50.00'	80.11'	N 39°26'47" E	71.81'
C5	151°01'01"	180.00'	47.96'	S 14°05'13" E	47.82'
C6	37°29'47"	150.00'	98.17'	S 28°32'19" E	96.42'



CHARLES WILLIAM BUCK AND STEVEN A. BUCK, TRUSTEES
 I.N. 200810270158340

NOTE "E" - LANDSCAPE EASEMENT: Within the area of land designated as Reserve "E" under the terms of the deed of conveyance to the City of Hilliard, Ohio, the owner shall maintain the area as a lawn, receiving regular mowing and care to keep the existing groundcover at a height not to exceed six (6) inches and keeping the area free of loose debris.

LEGEND:

<p>LANDSCAPE ZONE 'A'</p> <p>Ownership: HOA Maintenance Responsibility: HOA Maintenance Standard: This zone shall be maintained as lawn, receiving regular mowing and care to keep the existing groundcover at a height not to exceed six (6) inches and keeping the area free of loose debris.</p>	<p>LANDSCAPE ZONE 'B'</p> <p>Ownership: HOA Maintenance Responsibility: HOA Maintenance Standard: This zone shall be maintained as a naturalized area. Existing vegetation and ground cover shall be permitted to remain in a successional growth state.</p>	<p>Sign</p> <p>Panel: Metal, 10' H x 12' L Painted green background, White text Successional Growth Area - Do Not Mow - All capital letters, 1" H U-Channel, Galvanized (ASTM 123) 36" (Top of sign)</p> <p>Panel Message:</p> <p>Post: 36"</p> <p>Mounting Height:</p>
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LANDSCAPE PLAN - RESERVE 'E'
 TARLTON MEADOWS
 Hilliard, OH
 December 20, 2022



December 28, 2022

**Proposed Landscape Plan Amendment and PUD Modification
Tarlton Meadows West, (Former Buck Property PUD)
Platted as Tarlton Meadows Section 3, Reserve E
(Instrument Number 201907230090350, Book 126, Page 72)**

The plan and maintenance treatment for Tarlton Meadows Section 3, Reserve E, approximately 4.440+/- acres of open space located in the southwestern corner the Tarlton Meadows West development and formerly known as the "Buck Property PUD" (Section 3 as platted, containing lots 42 through 72) section(s), and boarding the Heritage Rail Trail to the South, the Buck Properties to the North and West and Tarlton Meadows platted lots 41 through 51 on the East, is hereby amended as follows:

- A. The approximate 4.440+/- open space acreage so described shall be labeled "Reserve E" as platted.
- B. All maintenance and maintenance costs as provided herein for this open space Reserve E shall be the responsibility of the Tarlton Meadows Homeowner's Association, its successor or assigns.
- C. Landscape Zone 'A':
 1. Location: Between lots 47 and 48, from Meadowsview Lane westward, to a mow line extending north-south, of at least twenty-five (25) feet from the rear of lots 41 through 51, and varying up to 75' from the rear of lots 47 through 51.
 2. Maintenance Standard: This zone shall receive regular mowing and care to keep the existing ground cover at a height not to exceed six (6) inches.
- D. Landscape Zone 'B':
 1. Location: all remaining areas outside of Landscape Zone 'A'.
 2. Maintenance Standard: This zone shall be maintained as a naturalized area. Existing vegetation and ground cover shall be permitted to remain in a successional growth state.
 3. Signage: signs shall be located within this zone, along the mow line. This signage shall be painted metal, green background with white text. Signs shall be mounted at a thirty-six (to 36) inch height maximum and shall be spaced at two hundred (200) feet along the mow line. The text shall read as follows: "Successional Growth Area – Do Not Mow".

CASE 5: PZ-22-70 – MERCHANTS NATIONAL BANK – 3649/3695 FISHINGER BOULEVARD

PARCEL NUMBER: 050-007274

APPLICANT: DC MRH Medical LLC / Alkire Offices LLC, 4653 Trueman Avenue, Suite 100, Hilliard, OH 43026; c/o Christopher Tebbe, Tebbe Civil Engineering, LLC., 4700 Lanehurst Court, Suite 135, Dublin, OH 43016.

REQUEST: Review and approval of a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Mill Run PUD Concept Plan and Text for a drive-up ATM in an existing retail parking lot.

BACKGROUND:

The site includes a 5.6-acre parcel located between Fishinger Boulevard and Park Mill Run Drive on the east side of I-270. The site includes a commercial retail center and parking lot located between Floor & Decor and Lowe’s Home Improvement (located in the City of Columbus). The parcel is located at the main boulevard entrance from Fishinger Boulevard for the shopping center and outparcels along the arterial. The portion of the site proposed for the ATM is situated at the northeast corner of the parking lot adjacent to the service drive that runs north-south and provides access for all of the outparcels located along Fishinger Boulevard.

This is a proposed modification of the previously approved final development plan to allow for the conversion of excess parking spaces to accommodate a drive-up ATM and required drive aisle with stacking.

COMMISSION ROLE:

The Commission is to review the proposed PUD Final Development Plan modification for conformance to the provisions of the Mill Run PUD Concept Plan. The Commission is also to review this final development plan modification for conformance to the PUD provisions of the Zoning Code as outlined in the PUD provisions of Chapter 1117. Specifically, the Code provides for the granting of final development plan approval under the criteria as outlined by Section 1117.06:

- Whether the proposed development is consistent with the purposes and conditions of the PUD Zoning District;
- Whether the proposal is consistent with the Hilliard Comprehensive Plan and is compatible with existing and potential uses around the property;
- Whether the layout and design is harmonious with the natural character of the surrounding area and site and employs best management practices;
- Whether the proposed project will place undue burden on public facilities and services;
- Whether the PUD will contain uses or conditions that may be injurious to the public health, safety and welfare;
- Whether the proposed development conforms to Code requirements unless specifically modified and approved in accordance with Chapter 1117;
- Whether the final development plan is generally consistent with the approved Concept Plan; and
- Whether the approval will result in a recognizable and substantial benefit to users of the project and the community, which would not otherwise be feasible under conventional zoning districts.

Following approval by the Commission, the applicant can move forward with final engineering and submit for any necessary permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed revised Final Development Plan is generally consistent with the nature and intent of Hilliard City Code Section 1117.06 and the Mill Run PUD Development Plan and Text. Parking resources for the retail center are highly underutilized, and staff finds that the proposed accessory use would have little impact on the surrounding area. Based on this finding, Staff recommends approval of the revised Final Development Plan for a drive-up ATM with the following six conditions:

- 1) That existing parking lot landscaping adjacent to the proposed ATM be preserved;
- 2) That the proposed bollards be painted black to match the canopy;
- 3) That a maximum of two sign panels on the canopy be permitted to identify the business and that "ATM" be permitted on the remaining two sides, subject to staff approval;
- 4) That the site survey updated to the satisfaction of the City Engineer;
- 5) That the applicant acquires commercial plan approval and receive a building permit and electrical permit prior to installation; and
- 6) That sign permits be obtained prior to installation.

CONSIDERATIONS:

- *General Design.* The proposed detached ATM kiosk will be located at the northeast corner of the site within the existing retail parking lot. The ATM unit will be a gray colored box and will include a 4-post canopy to be painted black. The metal canopy will be 120" in length and 72" wide to help protect the ATM unit. Four bollards will be located around the ATM unit for safety/security. Staff recommends that the bollards be painted black to match the canopy.
- *Site Plan/Layout.* The proposed ATM will result in the removal of nine spaces from the existing parking lot. Parking on this parcel within the retail center includes 131 spaces on the south side of the entrance drive with additional parking to the north and behind the retail building. Parking is under-utilized and the removal of spaces for the ATM will not impact resources. The ATM and canopy will be placed on a concrete pad and provide for one space in front of the ATM for transactions and an additional stacking space.
- *Canopy Signage.* A sign panel is proposed for each side of the ATM canopy. The zoning code permits a maximum of 1-square foot of signage for an ATM. The code, however, is established for ATMs that are part of site with a full-service bank. The Code does not address stand-alone ATMs on other sites such as retail centers. Proposed sign panels would be opaque and would be internally illuminated with ¼-inch push-through lettering that complies with Code. Staff recommends that two sign panels be permitted to identify the business name/logo and that the remaining two sides identify "ATM" or not be included:

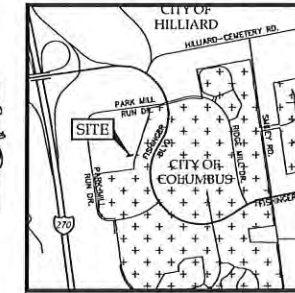
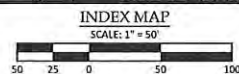
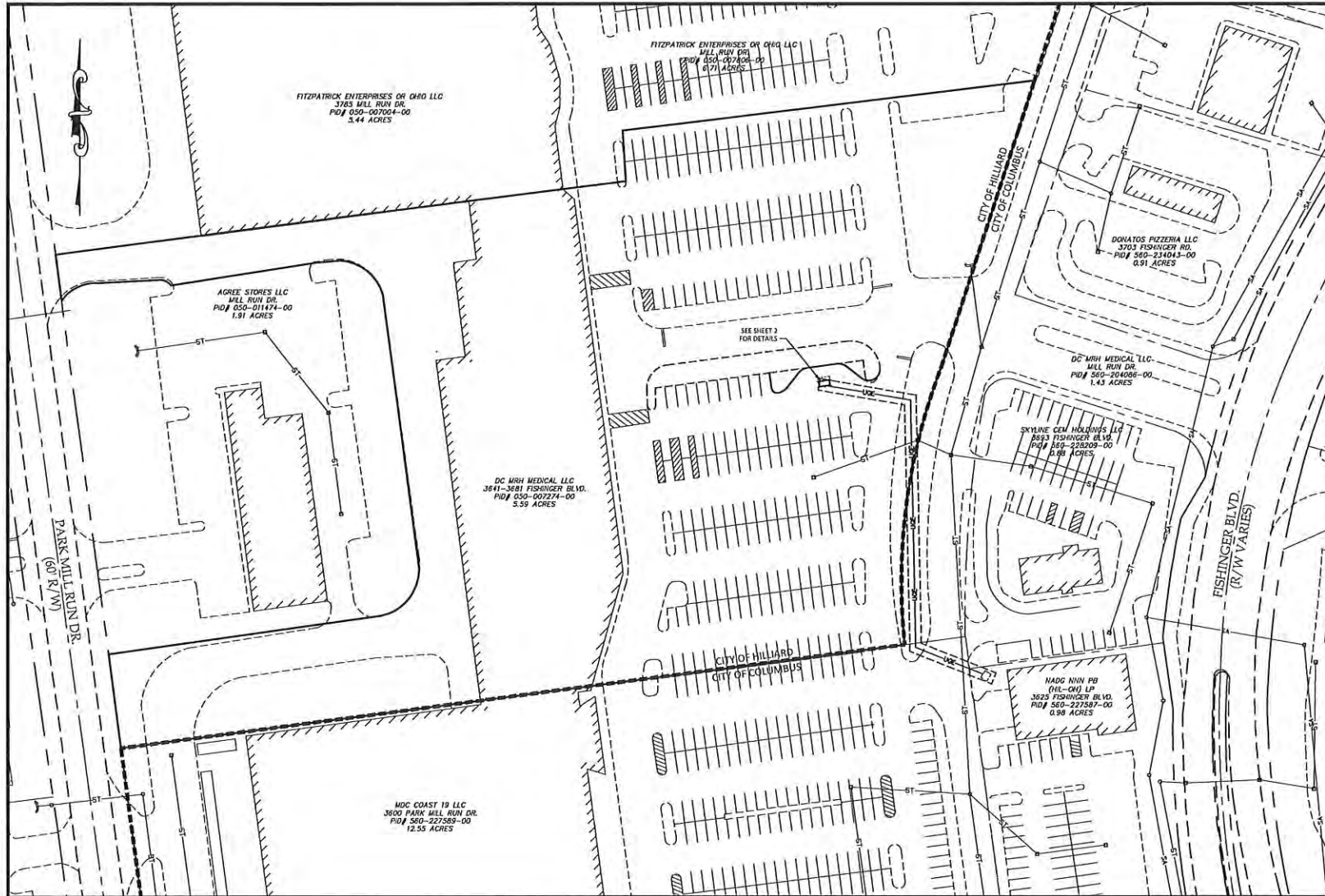
CANOPY SIDE	SIGN DIMENSIONS	SIZE
Front/Rear sign panels	96" x 16"	12.89 square feet
Side sign panels	60" x 16"	7.56 square feet

- *Landscaping.* The proposed ATM lane will include the removal of some curbing and addition of landscape area that will be curbed and seeded. Existing parking lot landscaping should be maintained as part of the construction based on the approved PUD plan.
- *Lighting.* The ATM canopy includes canned downlighting to illuminate the ATM console and will be provided electric from the adjacent parcel in Columbus. Building and electrical permits will be required. No formal civil plan set submission will be required, but the site survey must be updated to include spot elevations to confirm grading and a profile of the proposed electric where it crosses stormwater infrastructure.

[END OF REPORT | PZ-22-70]

ATM SITE PLAN CONSTRUCTION ONE

3649 FISHINGER BOULEVARD
CITY OF HILLIARD, OHIO
NOVEMBER, 2022



VICINITY MAP
SCALE: 1" = 1200'

SITE CONTACT

CONSTRUCTION ONE
WILLIAM WOBBERGER, PRESIDENT
101 E. TOWH STREET, SUITE 601
COLUMBUS, OHIO 43215
PHONE: (614) 961-1165
EMAIL: wwobberger@constructionone.com

ENGINEER

TEBBE CIVIL ENGINEERING
CHRISTOPHER TEBBE, P.E.
8700 LAKEHURST CT., SUITE 135
DUBLIN, OHIO 43015
PHONE: (614) 655-5835
EMAIL: ctebbe@tebbecivil.com

SITE OWNER

DC MRH MEDICAL LLC
3541-3681 FISHINGER BLVD.
HILLIARD, OHIO - 43009

PROJECT SCOPE OF WORK

THE CURRENT SITE OF 3649 FISHINGER BOULEVARD, LOCATED WITHIN THE SHOPPING CENTER WEST OF FISHINGER BOULEVARD AND EAST OF PARK MILL RUN DRIVE, CONSISTS OF AN EXISTING ASPHALT PARKING LOT WITH GREEN SPACE. THE PROJECT PROPOSES REMOVING NINE (9) EXISTING PARKING SPACES WITHIN THE PARKING LOT TO ACCOMMODATE THE SPACE REQUIRE FOR THE INSTALLATION OF AN ATM KIOSK. ALONG WITH A DRIVE THRU LANE FOR ACCESS.

ZONING INFORMATION

ADDRESS: 3641-3681 FISHINGER BOULEVARD
HILLIARD, OHIO 43009
PARCEL NO.: 050-007274-00
PROPERTY CLASSIFICATION: C COMMERCIAL
ZONING CLASSIFICATION: CFC
CASE #203-059
HEIGHT DISTRICT: H 110
BUILDING HEIGHT: 8'
FLOOD PLAIN INFORMATION: FLOOD DESIGNATION - ZONE X
MAP NUMBER - 39045C0181C
EFFECTIVE DATE - JUNE 17, 2008
BASE FLOOD ELEV. - N/A
TOTAL SITE AREA: 5.59 ACRES
PARKING REQUIRED:
COMMERCIAL BUILDING
VEHICLE: 51,800 SF
51,800 SF ÷ 300 SF = 173
TOTAL VEHICLE SPACES REQUIRED: 173
EXISTING PARKING: 245
PROPOSED PARKING: 236 (9 SPACES REMOVED)

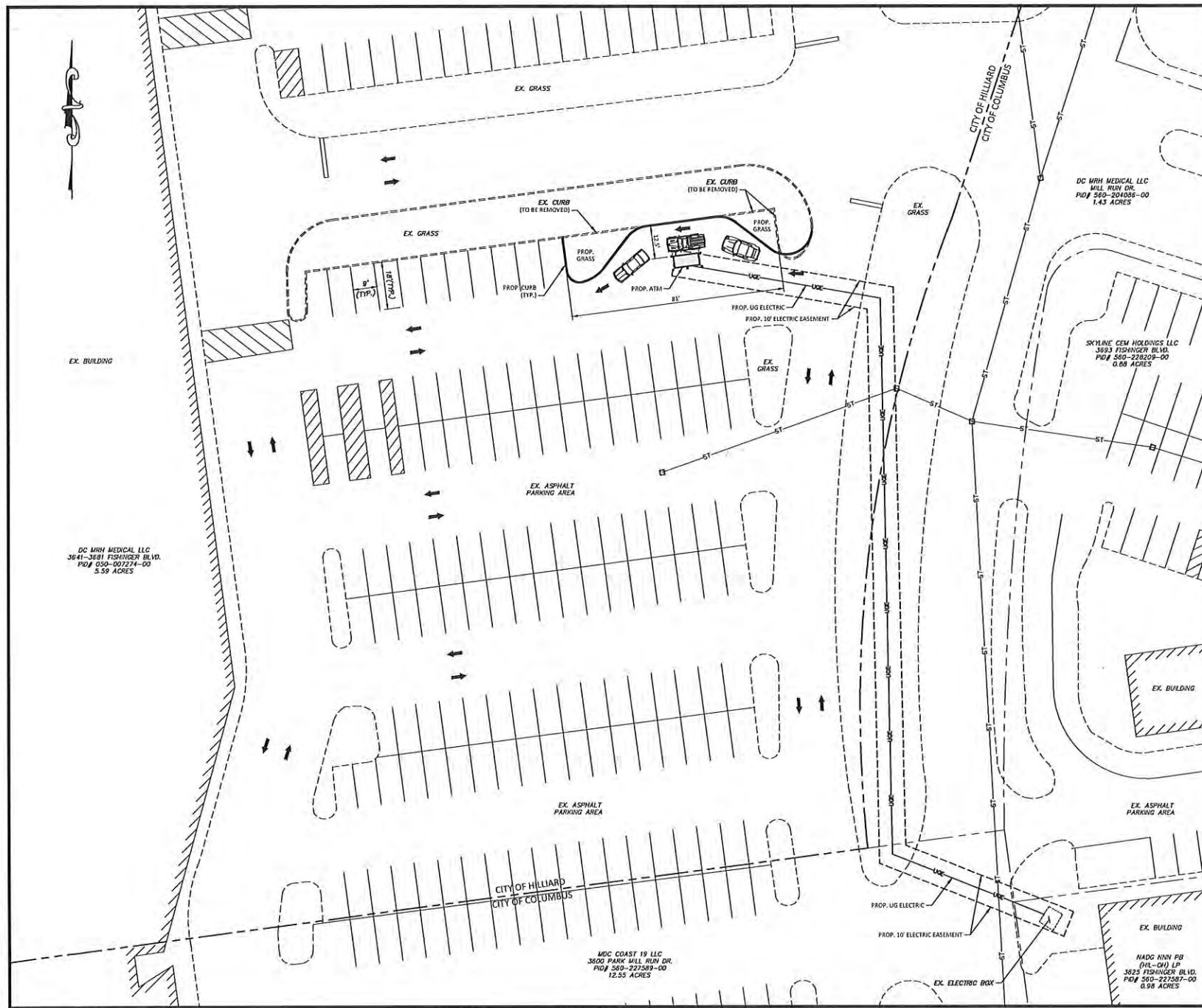
TEBBE CIVIL ENGINEERING, LLC
4700 Lakeland Court, Suite 135
Dublin, Ohio 43016
Phone: (614) 645-5885 • Christ@tebbecivil.com

ATM SITE PLAN
CONSTRUCTION ONE
3649 FISHINGER BOULEVARD
CITY OF HILLIARD, OHIO

11/18/2022

JOB NO.	1091
DRAWN BY	MJM
DESIGN BY	MJM
CHECKED BY	CMT

SHEET
1
OF 2



SITE PLAN
SCALE: 1" = 20'

LEGEND	
LINETYPES	
EXISTING OVERHEAD ELECTRIC (PRIVATE)	---
EXISTING OVERHEAD LIGHTING	---
EXISTING PERCE	---
EXISTING GAS	---
EXISTING RIGHT-OF-WAY	---
EXISTING SANITARY SEWER	---
EXISTING WATER	---
EXISTING STORM SEWER	---
SYMBOLS	
EXISTING CATCH BASIN	□
EXISTING CLUB INLET	⊞
EXISTING SANITARY MANHOLE	⊙
EXISTING FIRE HYDRANT	⊕
EXISTING GAS VALVE	GV⊙
EXISTING WATER VALVE	WV⊙
EXISTING STORM MANHOLE	⊙
EXISTING TRAFFIC FLOW	→

UTILITY NOTES

SANITARY SEWER NOTE: NO SANITARY SEWER CONNECTION IS DESIGNED OR REQUIRED FOR THIS PROJECT.

WATER NOTE: NO WATERLINE CONNECTION IS DESIGNED OR REQUIRED FOR THIS PROJECT.

ELECTRIC NOTE: INSTALLATION OF ELECTRIC FACILITIES ARE TO BE COMPLETED BY A LICENSED CONTRACTOR AND ADHERE TO ALL APPLICABLE STANDARDS SET FORTH BY THE CITY OF HILLIARD.

OHIO811.org
Before You Dig

UNDERGROUND UTILITIES
CALL TWO WORKING DAYS BEFORE YOU DIG

800-362-2764 or 8-1-1
www.oups.org

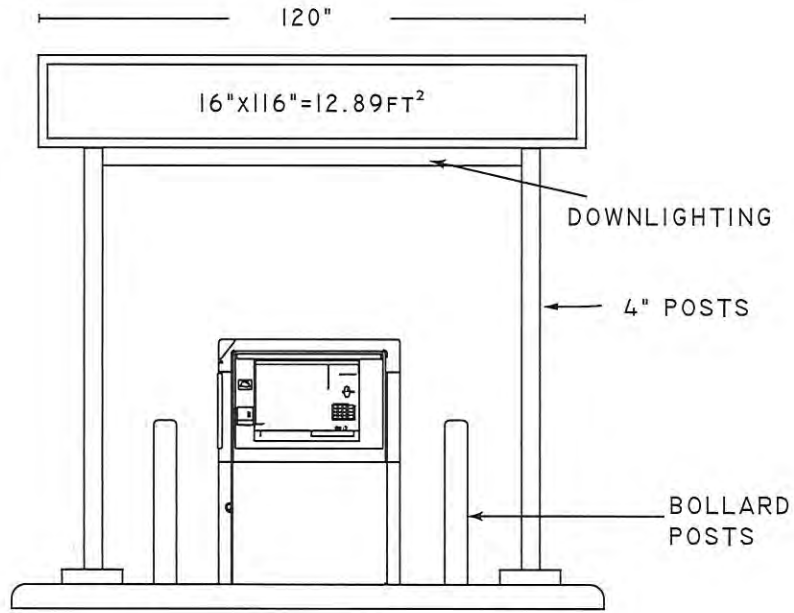
NON-MEMBERS MUST BE CALLED DIRECTLY

NO.	DATE	REVISION DESCRIPTION

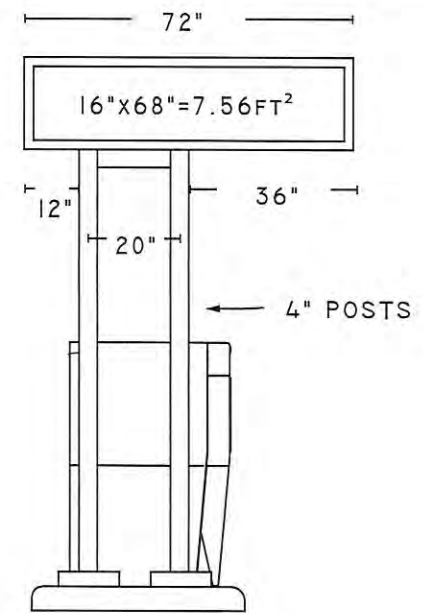
TEBBE CIVIL ENGINEERING, LLC
4770 Lakeshore Court, Suite 135
Dublin, Ohio 43016
Phone (614) 845-5885 • Chris@TebbeCivil.com

ATM SITE PLAN
CONSTRUCTION ONE
3649 FISHINGER BOULEVARD
CITY OF HILLIARD, OHIO

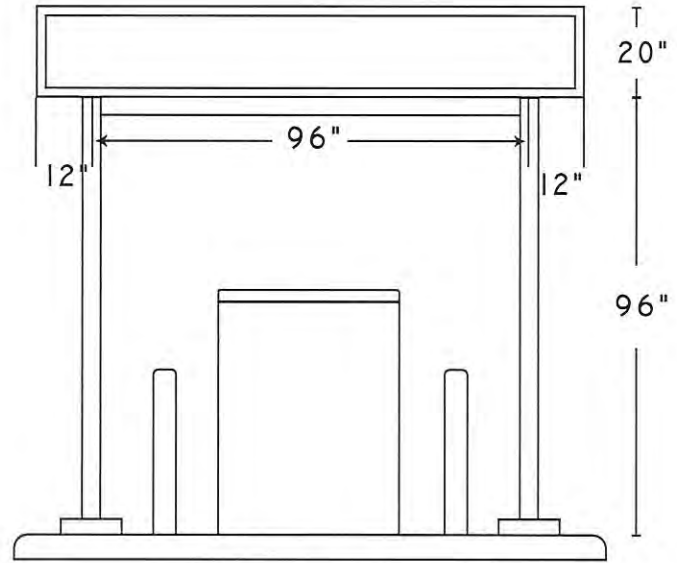
JOB NO.	1091
DRAWN BY	M/M
DESIGN BY	M/M
CHECKED BY	CMT



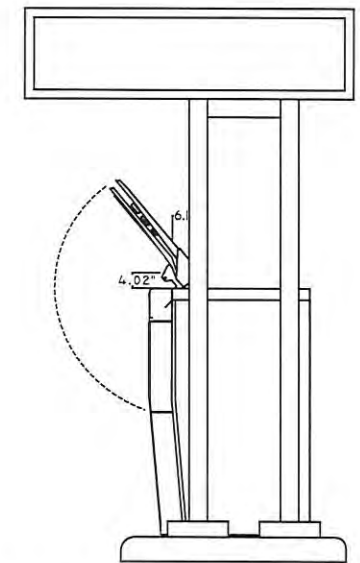
FRONT ELEVATION



APPROACH ELEVATION

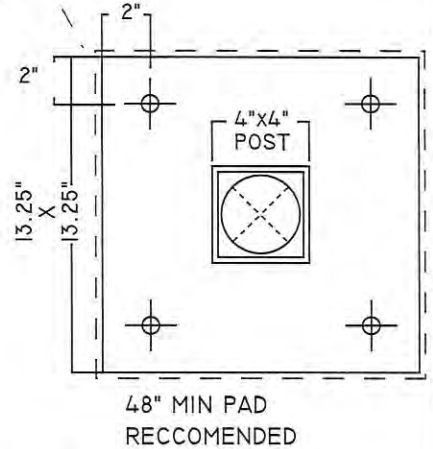
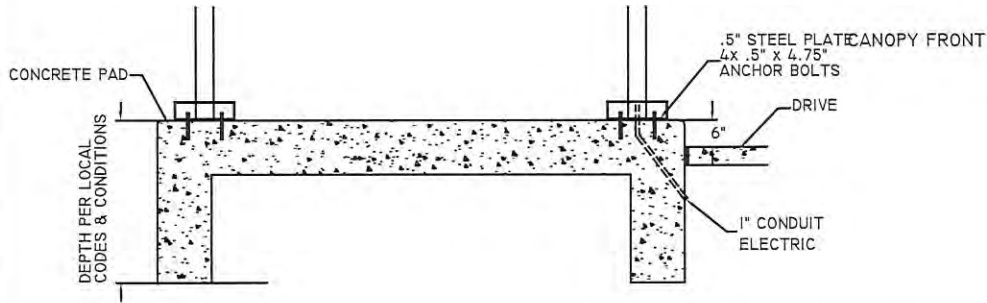
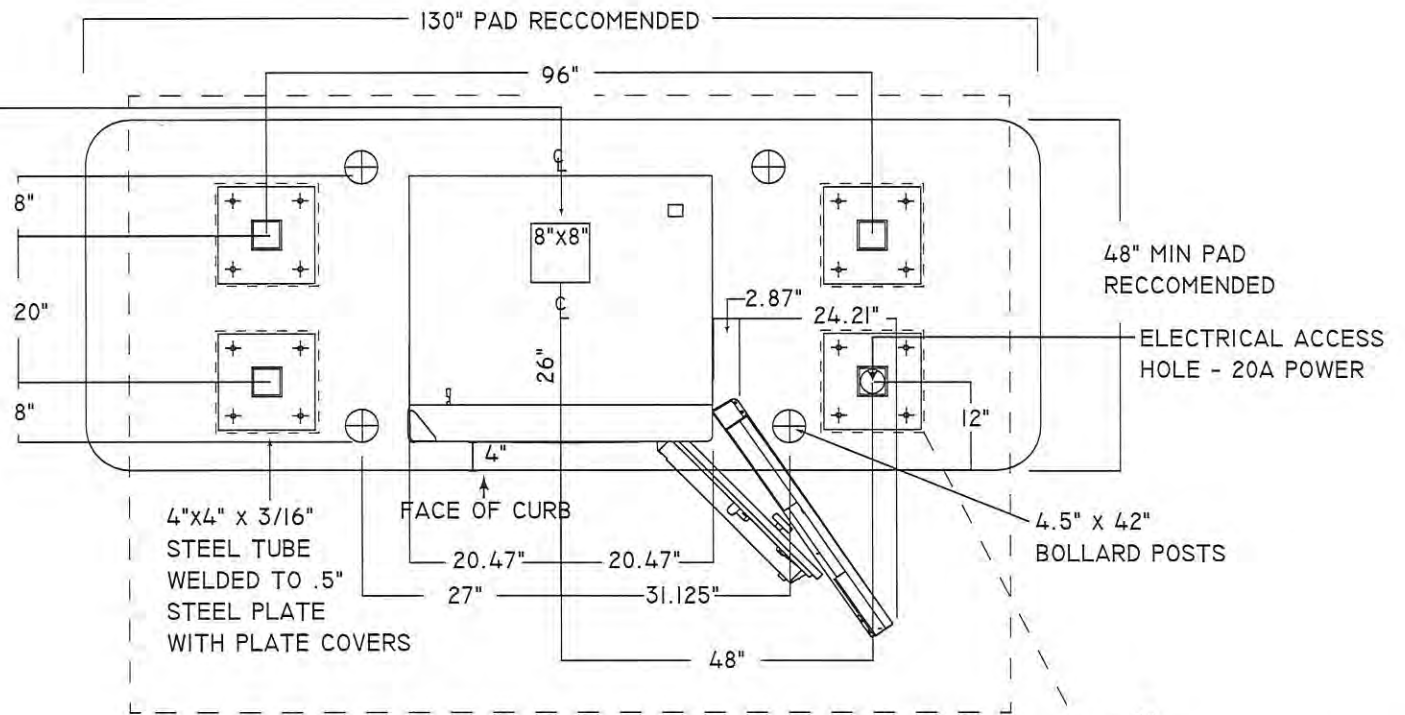


REAR ELEVATION



DEPARTURE ELEVATION

8" X 8" X 6" DEEP
PIT FOR ELECTRICAL
120- 30A CIRCUIT - 20A CIRCUIT
SEPERATE CONDUIT FOR DATA LINE



FOUNDATION NOTES:
THE DESIGN AND CONSTRUCTION OF FOOTINGS AND FOUNDATIONS ARE THE SITE CONTRACTORS RESPONSIBILITY AND SHALL CONFORM WITH THE LOCAL CITY CODE REQUIRMENTS. FOUNDATIONS MUST MEET MINIMUM LAYOUT DIMENSIONS PROVIDED. DIMENSIONS SUCH AS FOOTING AND FOUNDATION WALL SIZE MAY BE CHANGED FOR LOCAL REQUIRMENTS. BUILDING DESIGN LOADS WILL IMPOSE A LOAD OF 1200# PER LINEAL FOOT ON TOP OF THE FOUNDATION WALL. ISLAND (AT KIOSK LOCATION) MUST BE LEVEL LEFT TO RIGHT AND FRONT TO BACK.





CASE 6: PZ-22-71 – MOO MOO EXPRESS CAR WASH – 3880 BROWN PARK DRIVE

PARCEL NUMBER: 050-007563

APPLICANT: Moo Moo Cemetery Hilliard LLC., 13375 National Road SW, Suite D, Reynoldsburg, OH 43068; c/o Jeff Gilger, Express Wash Concepts, 13375 National Road SW, Suite D, Etna, OH 43068; c/o Kelly Roth, Morrison Sign Company Inc., 2757 Scioto Parkway, Columbus, OH 43221.

REQUEST: Review and approval of variances under the provisions of Hilliard Code Section 1129.08 for a comprehensive sign package for a 4,900-square-foot car wash.

BACKGROUND:

The site includes a 0.8-acre parcel located at the northeast corner of Cemetery Road and Brown Park Drive within the Brown Commerce Park. The original car wash was constructed in the late 1980’s according to development requirements at that time. In 1994, a lot split was approved and the car wash sold to the operators. The site includes a full access point onto Cemetery Road provided through a shared access easement with the adjacent auto repair site (now ATL Total Car Care) as part of that lot split.

In 1998, the 4,600-square-foot car wash was granted approval for a 1,200-square foot detailing bay addition to the west side of the building. The car wash received a Level “A” site plan approval by staff in 2018 to install 8 vacuum canisters along the west side of the building, and the Planning and Zoning Commission (October 2019) approved a sign variance to permit an internally illuminated menu board.

On June 16, 2022, the Board of Zoning Appeals approved variances to reduce the required parking setback along Brown Park Drive from 20 feet to 16 feet, to reduce the maneuvering lane width for one-way stacking lanes from 14 feet to 11.25 feet, and to reduce the required landscaping for perimeter parking lot from 180 to 112 shrubs.

The applicant is now requesting a comprehensive sign package consisting of the following signage:

Sign A	31-square foot wall sign
Sign B	31-square foot wall sign
Sign C	32-square foot ground sign (with internal push-through illumination)
Sign D	Internally illuminated LED “Open” sign (no size provided)
Sign E	Internally illuminated “Drying” sign with advertisement frame (no size provided)
Sign F	“Members Only” canopy sign with height clearance signage (no dimensions or illumination details provided)
Sign G	“Cash Credit Club” canopy sign with height clearance signage (no dimensions or illumination details provided)
Sign H	9.93-square foot internally illuminated digital menu board
Sign I	“Responsibilities” (no illumination or dimensional details)
Sign J	“Stop” sign (no dimensions provided)
Sign K	4-square-foot “Do Not Enter” sign
Sign L	4-square foot “Exit” sign

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner's predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Following approval by the Commission, the applicant is responsible for obtaining a sign permit prior to installation for each sign that conforms to the requirements and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the sign package, as proposed, represents a significant departure from the provisions of the Sign Code concerning the number of signs and is not consistent with the spirit or intent of the Sign Code. Staff finds that the sign package, as amended in the conditions listed below, is generally consistent with the provisions of the Sign Code. Based on these findings, staff recommends approval of the sign package with the following seven conditions:

- 1) That the following signs are eliminated as they are excessive and unnecessary: Signs "D", "F", "G" (except for the maximum height notice on the clearance bar), "J", "K", and "L";
- 2) That Sign "E" be revised to remove advertising and be no larger than 12 square feet in size, no greater than 7 feet in height and be placed no more than 7 feet from the car wash exit door;
- 3) That Sign "I" shall be located within the interior of the building;
- 4) That the digital menu reader board (sign "H") be no more than 9.5 square feet in area, no greater than 6 feet in height and include no more than 4 colors;
- 5) That the ground sign (sign "C") landscaping meet Code requirements for screening;
- 6) That no additional signage is permitted on the site without prior approval from the Planning and Zoning Commission; and
- 7) That sign permits are obtained for any sign prior to installation.

CONSIDERATIONS:

- *Site Context.* The site is zoned B-2, Community Business District and is bordered by B-2 properties to the North, East, and across Brown Park Drive to the West. Properties to the South across Cemetery Road are zoned PUD, Planned Unit Development District.
- *Zoning Approval.* Moo Moo Express Car Wash obtained their approved Zoning Certificate to operate as a use within the B-2 zoning district on October 6, 2022 and is currently under construction.
- *Sign Code Intent.* City Code Section 1129.01(a) states "The regulations of this chapter are intended to provide reasonable identification for businesses and other uses within the community; but are not intended to serve as a means of advertising."
- *Variable Message Boards.* City Code Section 1129.04 prohibits electronic variable message signs. Sign "D" in the proposed plans is considered an electronic variable message sign and is therefore prohibited.
- *Advertising.* The Sign Code expressly discourages advertising, and Sign "E" includes an open frame to specifically provide for product advertisement. Based on visits to other locations around Central Ohio, additional advertising is placed throughout their locations.

- *Internal Illumination.* City Code only permits internal illumination for signage if the sign is comprised of ¼-inch push-thru graphics with opaque lettering. Sign “H” (the digital menu board) is implied to have internal illumination, but it is not clear of the lighting components or style.
- *Directional Signage.* City Code Section 1129.05 limits onsite directional signage to a maximum size of 2 square feet, a maximum overall height of 3 feet, and restricts the ability to display logos or advertisements. Signs “J,” “K,” and “L” would be considered directional signage. Signs “K” and “L” are proposed as 4 square feet, and the size of sign “J” is not shown on the proposed plans. All signs are shown to have an overall height of 6 feet above grade. Signs “K” and “L” have logos and advertisements included.
- *Maximum Colors.* City Code Section 1129.02(b)(2) limits the maximum number of colors for all signs in the City to 4 total colors. Signs “D,” “E,” “I,” and “K” in the proposed sign package each have more than 4 colors.

[END OF REPORT | PZ-22-71]



31 SQ FT

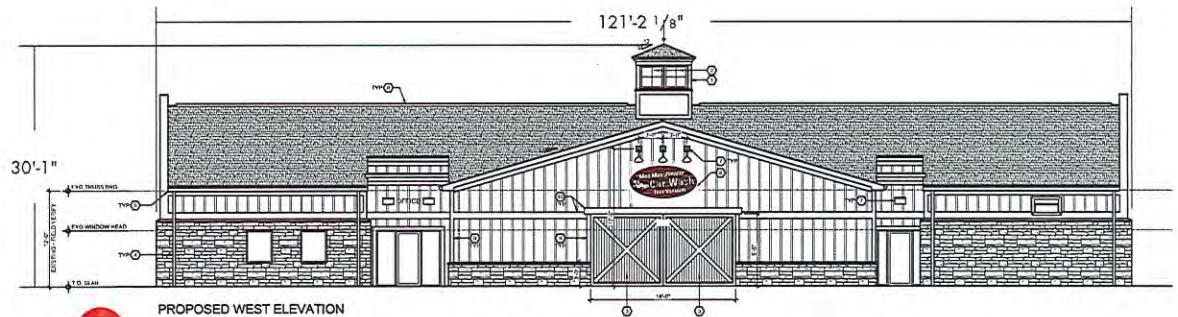
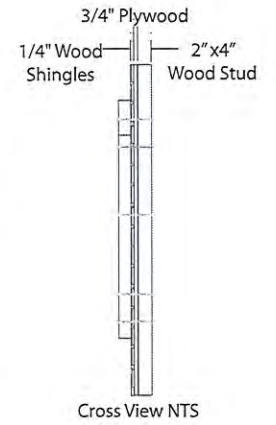
(2) QTY Externally Illuminated Single Face Wall Sign: 3/4"=1'-0"

SIGN: Custom fabricated 1.5" HDU Panel painted Red Black and White
 MOUNTING: Sign to be flush mounted to fascia.
 LIGHTING: Externally illuminated by (3) gooseneck lights above sign.
 Lighting by others.

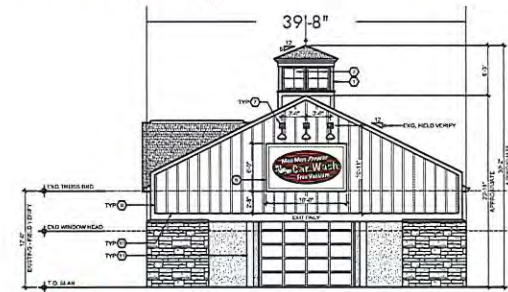
SW 6328 FIREWEED



QTY (10) per sign
 4" x 1/4" Self Tapping Screws



B



A



MORRISON SIGN
 2757 Scioto Parkway, Columbus, OH 43221
 614.276.1181 • morrison signs.com

Client: Moo Moo | Hilliard Cemetery Rd Drawing Date: 11-17-22
 Project: Exterior signage Drawing #: 22-825 SP: JN D: AW

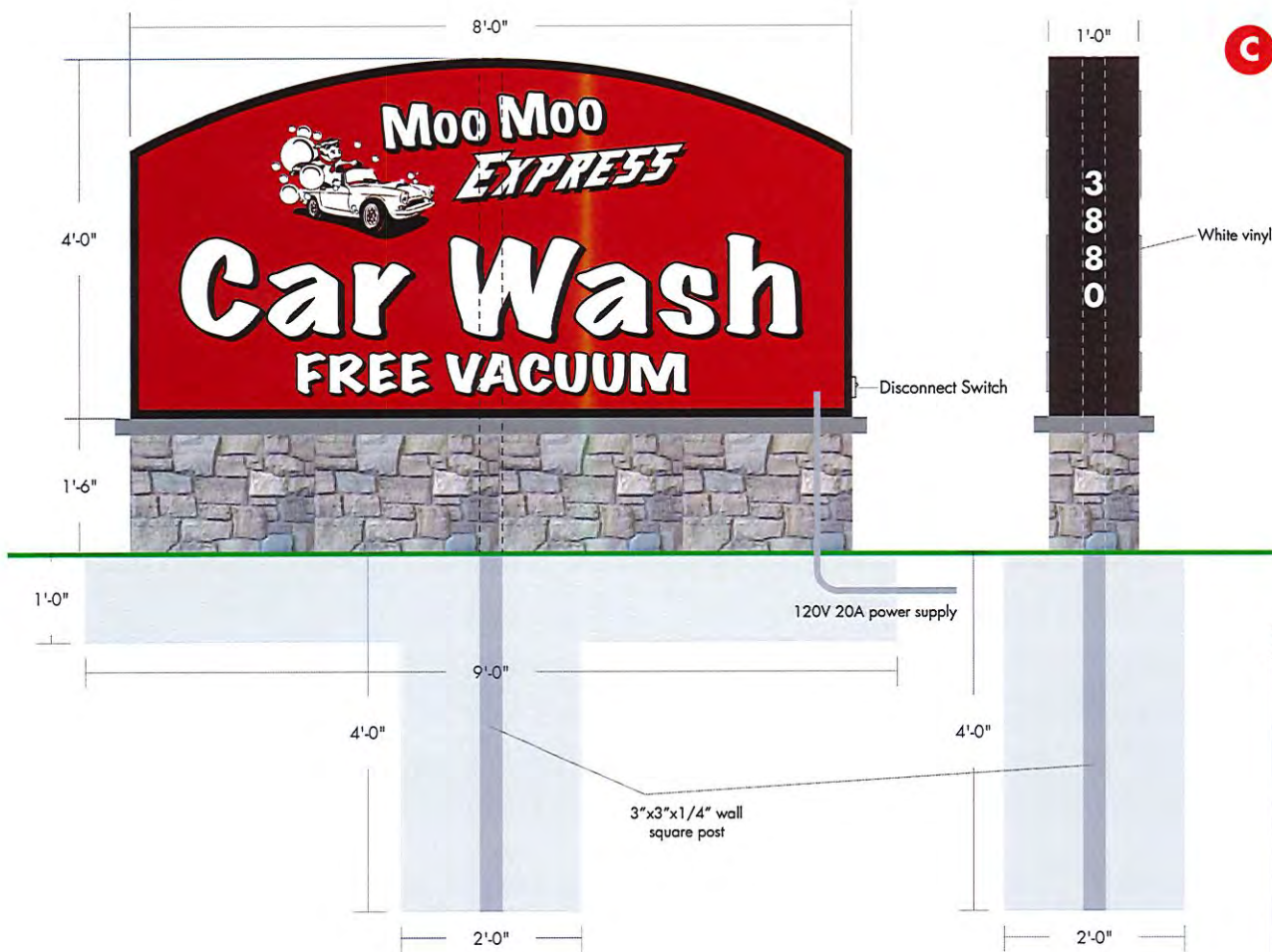


This sign is intended to be installed in accordance of article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

AS-DRAWN APPROVAL:

Client Signature: _____ Date: _____

Morrison will not begin production until client signature is received on proof. Your signature indicates responsibility for the accuracy of this proof and any adjustments after signature is received will incur additional costs and/or delays.



4'x8' Double-face Monument

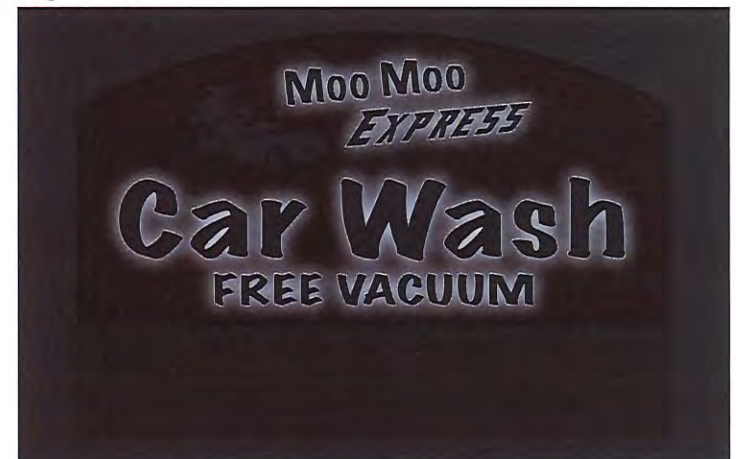
Aluminum cabinet painted SW 6328 Fireweed, black and white with 1/4" acrylic push-thru graphics with opaque white faces.
18"x1'x8' masonry base to match building.

Light to measure 3.9 lumens when measured 1 foot from face of lettering.

SW 6328 FIREWEED
32 SQ FT

scale: 3/4" = 1'-0"

Night View:



Client: Moo Moo | Hilliard Cemetery Rd Drawing Date: 11-17-22
Project: Exterior signage Drawing #: 22-825 SP: JN D: AW

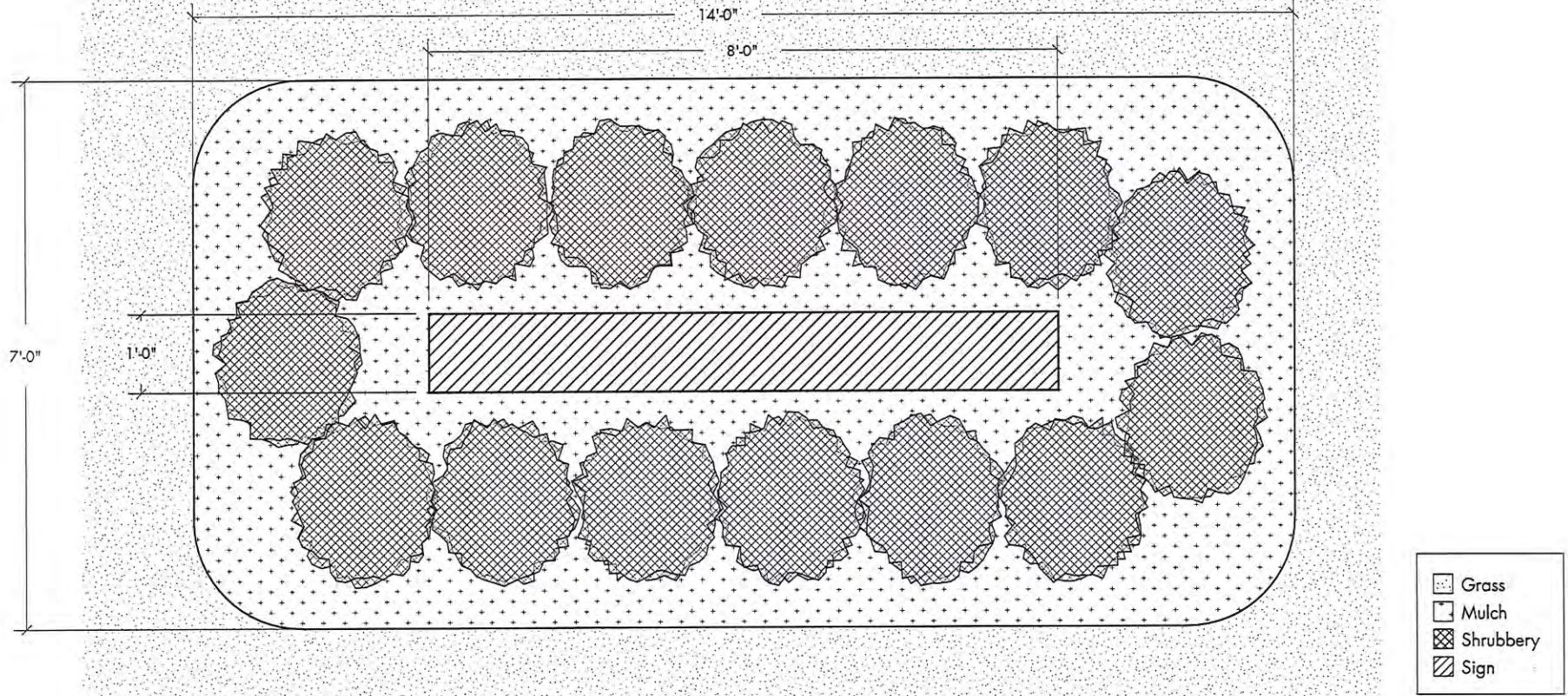


AS-DRAWN APPROVAL:

Client Signature: _____ Date: _____
Morrison will not begin production until client signature is received on proof. Your signature indicates responsibility for the accuracy of this proof and any adjustments after signature is received will incur additional costs and/or delays.



4'x8' Double-face Monument Landscape Plan



MORRISONSIGN
2757 Scioto Parkway, Columbus, OH 43221
614.276.1181 • morrison signs.com

Client: Moo Moo | Hilliard Cemetery Rd
Project: Exterior signage

Drawing Date: 11-17-22
Drawing #: 22-825 SP: JN D: AW



This sign is intended to be installed in accordance of article 600 of the National Electric Code and or other applicable local codes. This includes proper grounding and bonding of the sign.

AS-DRAWN APPROVAL:

Client Signature: _____ Date: _____

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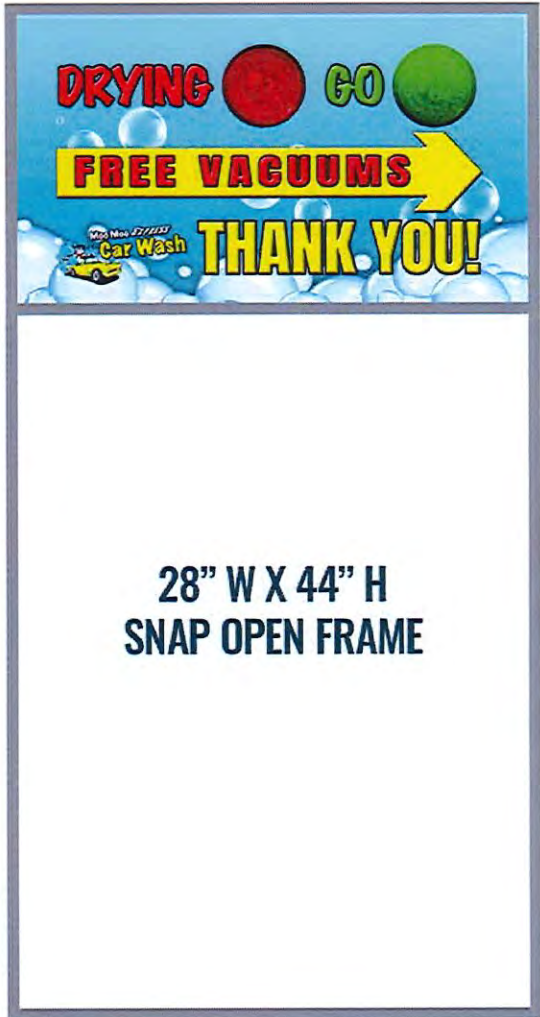
D



DOUBLE SIDED BLUE CABINET WITH OPEN LED SIGN
**** SEE CAD DRAWING****

**** REF FILE:**
CUT - SO# 41201
PRINT- SO# 72522

E



28" W X 44" H
SNAP OPEN FRAME

	DATE: 09/06/22	PART#: MISC-EXTERIOR	<table border="1"> <tr> <td>NUMBER OF CHANGES</td> </tr> <tr> <td style="text-align: center; font-size: 24pt;">00</td> </tr> </table>	NUMBER OF CHANGES	00
	NUMBER OF CHANGES				
	00				
	SALES ORDER: 93749	DIMENSIONS: 56" x 20" W / 50" W ARROW			
	CUSTOMER PO: MOO 131	BODY COLOR: BLUE			
COMPANY: BERRY & MILLER	QTY: 1				
DESIGNER: MEGAN M	REFERENCED FILE: SEE ABOVE				
	MOUNT:				

ALL DESIGNS ARE PRIVATE PROPERTY OF TSS
REPRODUCTION WITHOUT WRITTEN CONSENT IS PROHIBITED. PLEASE REVIEW ALL COPY FOR PUNCTUATION, SPELLING AND DESIGN. THERE MAY BE A SLIGHT COLOR VARIATION VARIATION BETWEEN THIS DESIGN AND THE FINAL PRODUCT. A \$50 DESIGN FEE WILL BE ASSESSED AFTER EVERY 3RD DESIGN CHANGE.

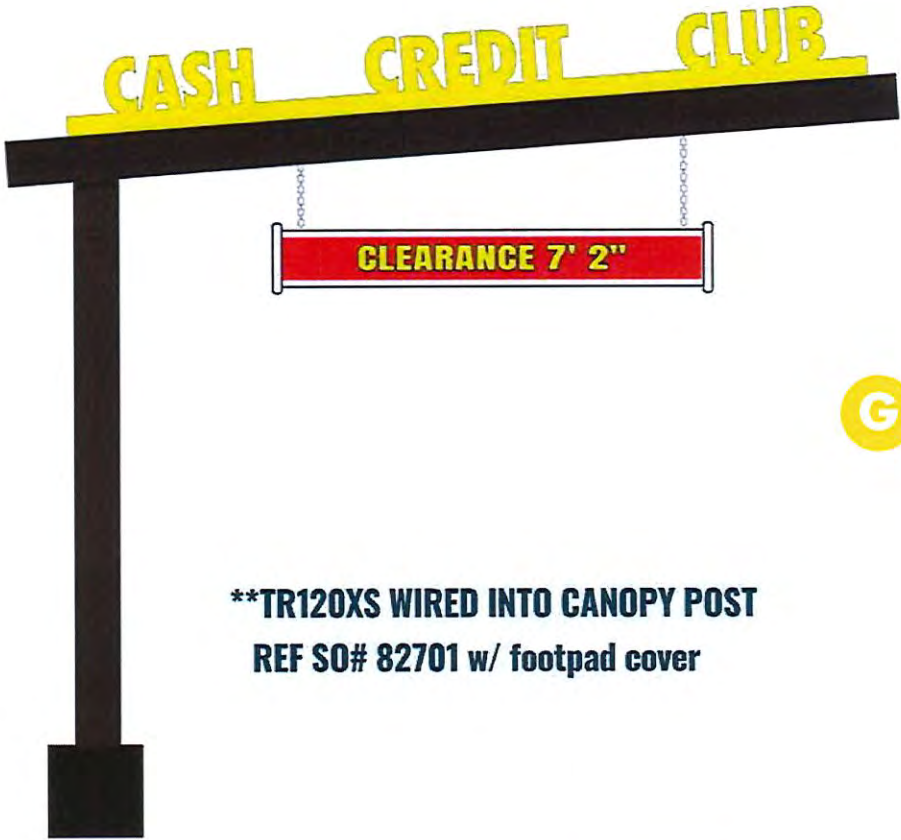
	DATE: 09/07/22	PART#: MISC-EXTERIOR (FREE VACS)	<table border="1"> <tr> <td>NUMBER OF CHANGES</td> </tr> <tr> <td style="text-align: center; font-size: 24pt;">01</td> </tr> </table>	NUMBER OF CHANGES	01
	NUMBER OF CHANGES				
	01				
	SALES ORDER: 93749	DIMENSIONS: 28" W X 18" H			
	CUSTOMER PO: MOO 131	BODY COLOR:			
COMPANY: BERRY & MILLER	QTY: 1				
DESIGNER: MEGAN M	REFERENCED FILE: BUILD ONLY - 72522				
	MOUNT: PED W/ 12" CLEARANCE				

ALL DESIGNS ARE PRIVATE PROPERTY OF TSS
REPRODUCTION WITHOUT WRITTEN CONSENT IS PROHIBITED. PLEASE REVIEW ALL COPY FOR PUNCTUATION, SPELLING AND DESIGN. THERE MAY BE A SLIGHT COLOR VARIATION VARIATION BETWEEN THIS DESIGN AND THE FINAL PRODUCT. A \$50 DESIGN FEE WILL BE ASSESSED AFTER EVERY 3RD DESIGN CHANGE.



F

****TR120XS WIRED INTO CANOPY POST
REF SO# 82701 w/ footpad cover**



G

****TR120XS WIRED INTO CANOPY POST
REF SO# 82701 w/ footpad cover**

PREFINISHED ALUMINUM COLOR CHART
NOTE: Colors shown are representative of TSS's prefinished aluminum colors, but not necessarily exact matches.

RED	GREEN	BLUE	YELLOW	CLEAR ANODIZED	BLACK	WHITE

PREFINISHED ALUMINUM COLOR CHART
NOTE: Colors shown are representative of TSS's prefinished aluminum colors, but not necessarily exact matches.

RED	GREEN	BLUE	YELLOW	CLEAR ANODIZED	BLACK	WHITE

DATE: 09/07/22
 SALES ORDER: 93749
 CUSTOMER PO: M00 131
 COMPANY: BERRY AND MILLER CONSTRUCTION LLC
 DESIGNER: MEGAN M

PART#: SCS01 AND CB1
 QTY: 1 OF EACH

NUMBER OF CHANGES
00

DATE: 09/07/2022
 SALES ORDER: 93749
 CUSTOMER PO: M00 131
 COMPANY: BERRY AND MILLER CONSTRUCTION LLC
 DESIGNER: MEGAN M

PART#: SPSCS AND CB1
 QTY: 1 OF EACH

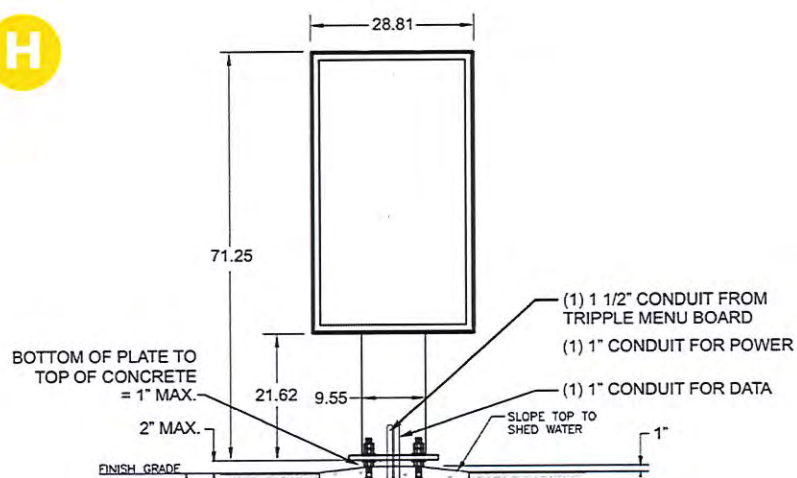
NUMBER OF CHANGES
00



Digital Menu Board

(located on kiosk Island)

H



I



PLEASE!



- Remain in Vehicle
- Close All Doors & Windows
- Lower or Remove Antenna
- Fold Mirrors
- No Bike/Luggage/Utility/Wheelchair Racks

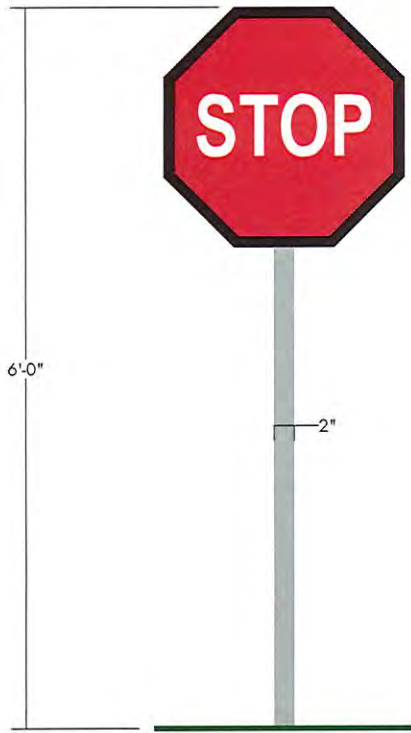
Not Responsible For

- Antennas or Antenna Covers
- Sun Visors
- Luggage/Bike Racks
- Loose Chrome or Moldings
- Prior Damage
- Aftermarket Parts & Accessories
- Debris in Pick-Up Truck Bed

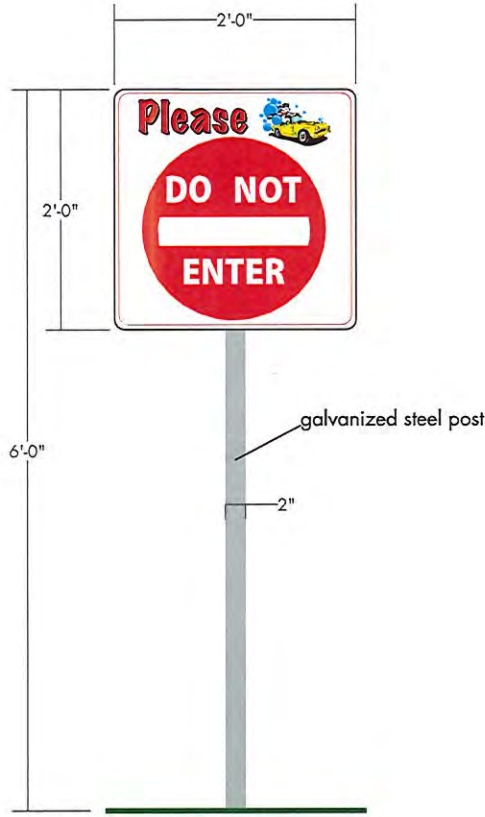
Please see our staff for any assistance needed.



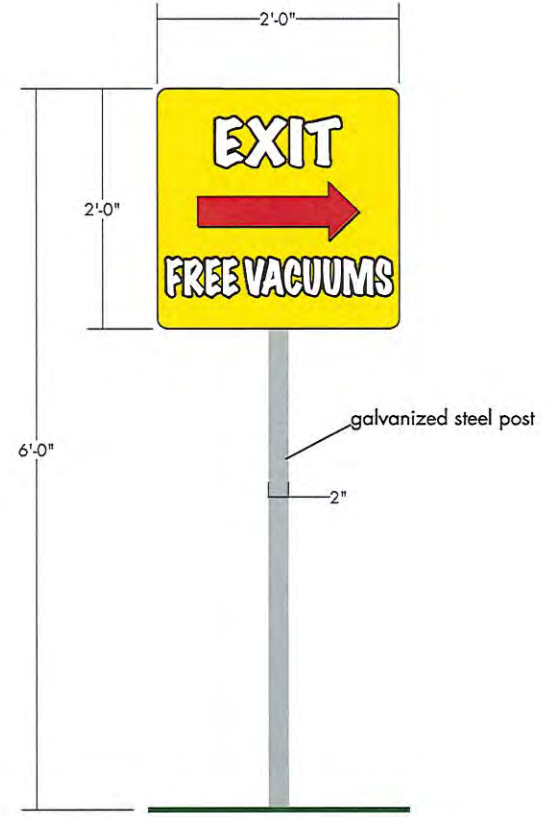
Thank You!



J



K



L



Client: Moo Moo I Hilliard Cemetery Rd Drawing Date: 11-17-22
 Project: Exterior signage Drawing #: 22-825 SP: JN D: AW



AS-DRAWN APPROVAL:

Client Signature: _____ Date: _____
 Morrison will not begin production until client signature is received on proof. Your signature indicates responsibility for the accuracy of this proof and any adjustments after signature is received will incur additional costs and/or delays.

CASE 7: PZ-22-72 – GRANITE INLINER LLC – 4350 WEAVER COURT NORTH

PARCEL NUMBER: 050-002994 (Northwest Industrial Complex Section 3, Lots 19 and 20)

APPLICANT: Granite Inliner LLC, PO Box 50085 Watsonville, CA 95077; c/o Stephen Aaron Carr, Granite Inliner LLC., 4350 Weaver Court North, Hilliard, OH 43026.

REQUEST: Review and approval of a lot split under the provisions of Hilliard Code Section 1188.05 to create a ±7.134-acre parcel from a 14.67 parcel.

BACKGROUND:

The site is 14.671 acres located on the east side of Weaver Court North approximately 700 feet north of Northwest Parkway. The CSX railroad property is on the east side of the site. The site has multiple utility easements along the east and north property lines. The northern portion of the site features a significant number of existing trees and three existing wetlands. The applicant is requesting approval of a lot split.

The parcel was originally one tract that totaled ±18.47 acres. On November 8, 2018, the Commission approved a lot split and a Level B Site Plan for this site that split a 3.802-acre section from the southern end of the parcel, which left ±14.67 acres on the northern portion. The applicant is now requesting a lot split to create a ±7.134 acre parcel from the remaining ±14.67 acre parcel. The original Northwest Industrial Complex Section 3 plat had this property split as 2 lots (lots 19 and 20), which were to be ±7.134 acres and ±11.338 acres respectively, but this proposed split would create 3 total lots, which would equal ±7.134 acres (the northernmost portion), ±7.536 acres (the central portion), and ±3.802 acres (the southernmost portion) respectively.

COMMISSION ROLE:

The Commission is to review the proposed lot split for conformance to the provisions of Code Section 1188.05. Specifically, the Code provides for the granting of a lot split under the review criteria as outlined in Code Section 1188.05:

- Whether the design and layout of all subdivisions shall conform with the requirements of the Hilliard Design Manual.
- Whether the proposed lot split meets the minimum requirements adopted for the protection of the public health, safety and welfare. To protect the public among other purposes, such provisions are intended to provide for a permanently wholesome community environment, adequate public services and safe streets and highways.

STAFF RECOMMENDATION:

Staff finds that the proposed lot split is consistent with the provisions of Code Section 1188.05 and generally meets the spirit and intent of the Code. Based on this finding, staff recommends approval of the proposed lot split with the following three conditions:

- 1) That descriptions for any necessary stormwater management easements be provided as part of the legal exhibits for the proposed lot split to the satisfaction of the City Engineer;
- 2) That the legal description and exhibits for the lot split/deed transfer meet the requirements of the City Engineer for format and content; and
- 3) That the lot split/deed transfer is recorded and that evidence thereof is provided to City staff.

CONSIDERATIONS:

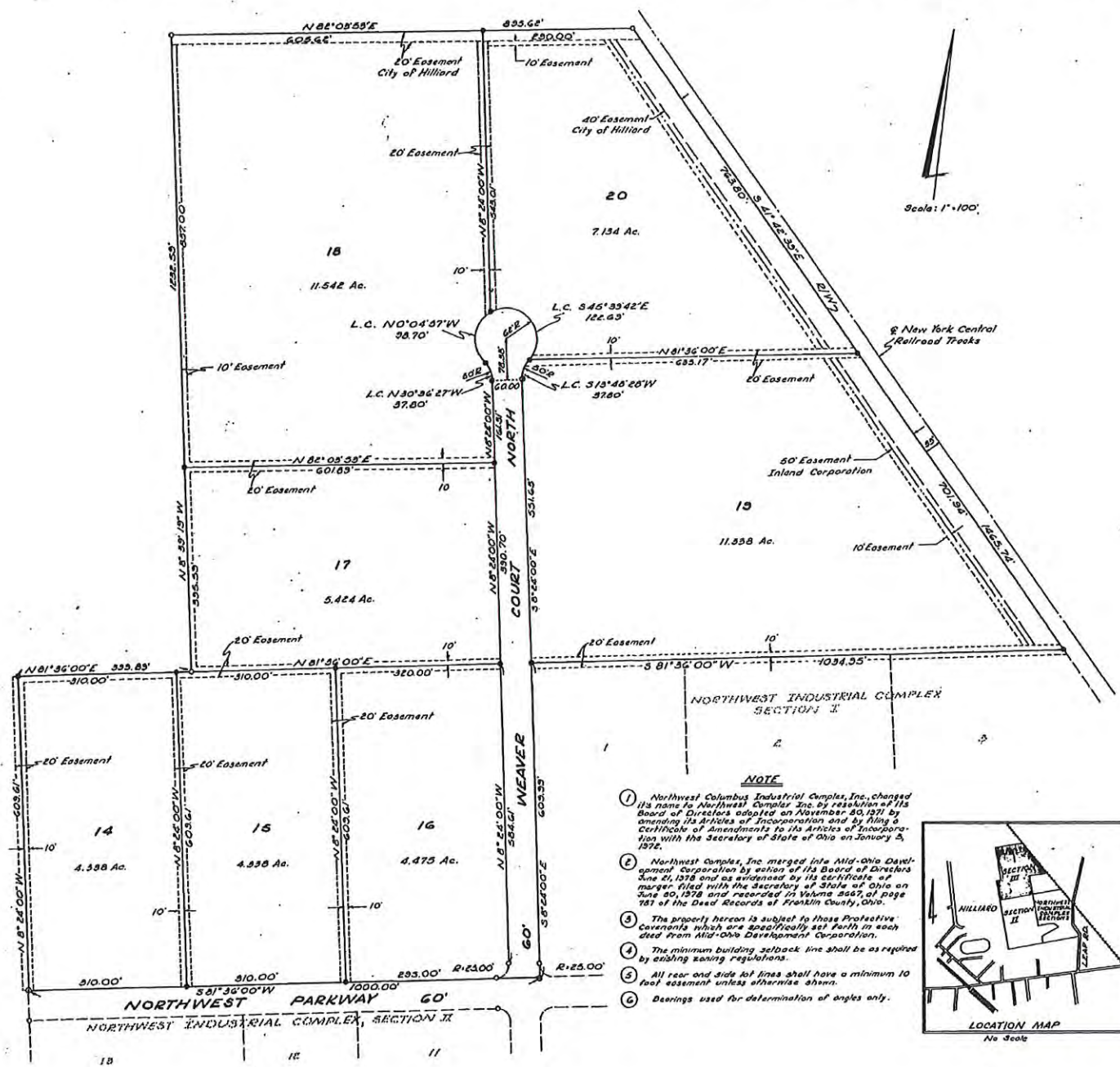
- *Site Overview.* The site is zoned M-1, Restricted Industrial District. The site is bounded on the East, South, and West by other M-1 properties, and is bounded to the North by a single-family residential PUD.
- *District Overview.* The M-1 District is established for light industries such as light manufacturing or processing of previously refined materials and other industrial uses that have little or no adverse impact upon neighboring districts. This district also allows certain commercial uses of an industrial character or that are necessary to provide services to employees within the district.
- *Dimensional Development Standards.* The M-1 district requires a minimum lot area of one acre and a minimum lot width of 100 feet. This zoning district has a maximum building height of 45 feet and a maximum lot coverage allowance of 30%. The following development standards also apply, and the proposed lot split conforms to all of the dimensional requirements of the M-1 Zoning District:

Minimum front parking setback	25 feet
Minimum front building setback	50 feet
Minimum side yard setback	20 feet
Minimum rear yard setback	40 feet
Maximum outdoor storage area	10% lot coverage

- *Stormwater.* A comprehensive stormwater plan to be approved by the City Engineer is requested as a condition of approval.

[END OF REPORT | PZ-22-72]

NORTHWEST INDUSTRIAL COMPLEX, SECTION 3



Situated in the State of Ohio, County of Franklin, City of Hilliard, being in Virginia Military Survey number 3002, containing 20.80 acres of land, more or less, being out of that 123.470 acre tract of land (Parcel 1) described in a deed to Northwest Columbus Industrial Complex, Inc., of record in Dead Book 2508, Page 118, recorded in the Recorder's Office, Franklin County, Ohio.

The undersigned, Mid-Ohio Development Corporation, by HERBERT J. MURPHY Jr., President duly authorized by action of its Board of Directors, owner of the land plotted herein authorized in the premises, does hereby certify that this plat correctly represents the NORTHWEST INDUSTRIAL COMPLEX, SECTION 3, a subdivision of lots Nos. 14 thru No. 20 inclusive, and does hereby except this plot of same and dedicates to public use as such, all or parts of, the PARKWAY AND COURT shown hereon and not heretofore dedicated.

Easements are reserved where indicated on the plat for the construction, operation and maintenance of all public and private utilities, above and beneath the surface of the ground and where necessary are for the construction, operation and maintenance of service connections to all adjacent lots and lands and for storm water drainage.

The easements shown hereon outside of the plotted area are within those tracts of land owned by said Mid-Ohio Development Corporation and are reserved for the uses and purposes stated in the preceding Easement paragraph.

In witness whereof, HERBERT J. MURPHY Jr., President of Mid-Ohio Development Corporation hereunto set his hand this 7 day of Sept., 1978.

WITNESSES
 Mid-Ohio Development Corporation
 By: Herbert J. Murphy Jr.
 HERBERT J. MURPHY Jr., President
 2514 Main St., Newark, Ohio 43085

STATE OF OHIO
 COUNTY OF LICKING

Before me, a Notary Public in and for said County, personally appeared HERBERT J. MURPHY Jr., President, who acknowledged the signing of the foregoing instrument to be his free and voluntary act and deed and the free act and deed of Mid-Ohio Development Corporation for the uses and purposes therein expressed.

In witness whereof, I have hereunto set my hand and affixed my official seal this 7 day of Sept., 1978.

My Commission Expires 3/7/81
 Notary Public Conna Ann Wajda
 Licking County, Ohio

We do hereby certify, that we have surveyed the above premises, prepared the attached plat and that said plat is correct. All dimensions are shown in feet and decimal parts thereof. Dimensions shown along curves are chord measurements. Iron pins are indicated by the following symbols: — Iron Pin Found, — Iron Pin Set. Permanent markers to be placed upon completion of construction necessary to the improvement of this land, are indicated by the following symbol: —



JONES-HENDERSON AND ASSOCIATES INC.
 CONSULTING ENGINEERS
 80 Westgate Dr., Newark, Ohio
 By: Alvin R. Jones
 Registered Surveyor No. 8006

Approved this 7 day of September, 1978
 Planning Commission Secretary Hilliard, Ohio

Approved and accepted this 11 day of September, 1978, by Ordinance No. 28-88, wherein the PARKWAY AND COURT dedicated on the attached plat are accepted as such by the Council of the City of Hilliard, Ohio.

In witness whereof, I have hereunto set my hand and affixed my seal this 11 day of September, 1978.

Richard J. Schaefer
 City Clerk, Hilliard, Ohio

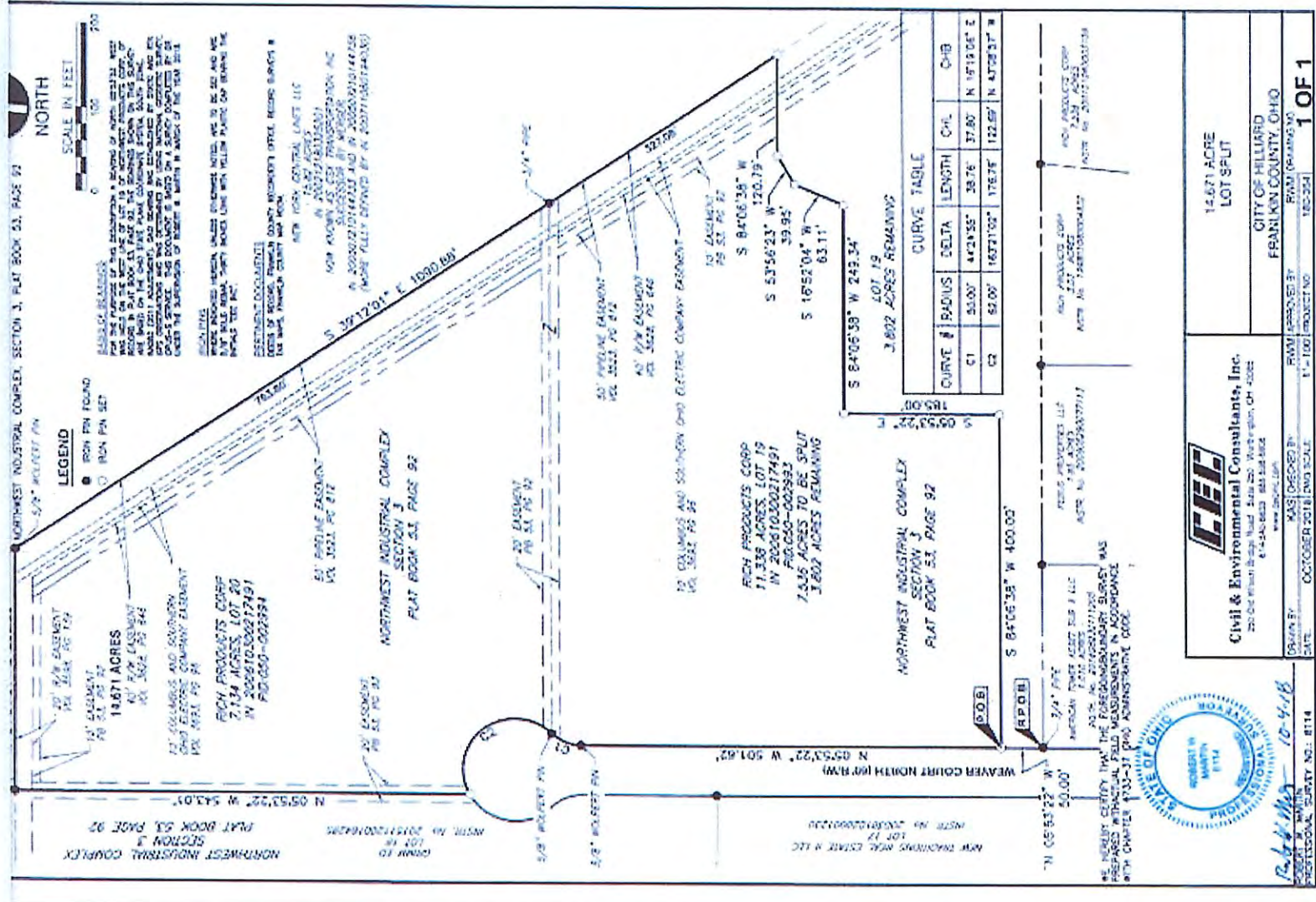
Transferred this 29th day of September, 1978
 Auditor, Franklin County, Ohio

Filed for record this 17th day of September, 1978
 Office Fee \$ 17.32 File No. 30487

Recorded this 19th day of Sept., 1978 Plot Book 53 Page(s) 92

Richard Rungtala
 Deputy Recorder

**ORIGINAL PLAT
 (LOTS 19 + 20)**



2018 LOT SPLIT FOR
 (SOUTHERN 3.802 ACRES)



WE hereby certify that the foregoing survey was prepared with actual field measurements in accordance with Chapter 1703-37 Ohio Administrative Code.

R. J. M. M. 10-4-18
 R. J. M. M. 10-4-18
 R. J. M. M. 10-4-18

STORM STRUCTURE COORDINATES
(BASED ON NAVD 1988)

STRUCTURE NUMBER	DESIGN NORTHING	DESIGN EASTING	AS BUILT NORTHING	AS BUILT EASTING
CBI	744285.2936	178000.1013		
CBE	744264.6696	178780.1661		
CBI	744130.7700	178780.7906		
CBI	744090.2103	178091.8623		
CBI	743946.8560	178041.3019		
CBI	743825.8323	178029.2028		
CBI	743805.4959	178782.3101		
CBI	744044.4103	178781.8217		
CBI	744690.7301	178000.7690		
HW1	744404.4292	178015.5997		
HW2	744100.8750	178096.8613		
HW3	744800.5900	178791.5996		
LS	744710.5658	178000.6548		

STORM SEWER ALIGNMENT BEARING AND DISTANCE TABLE

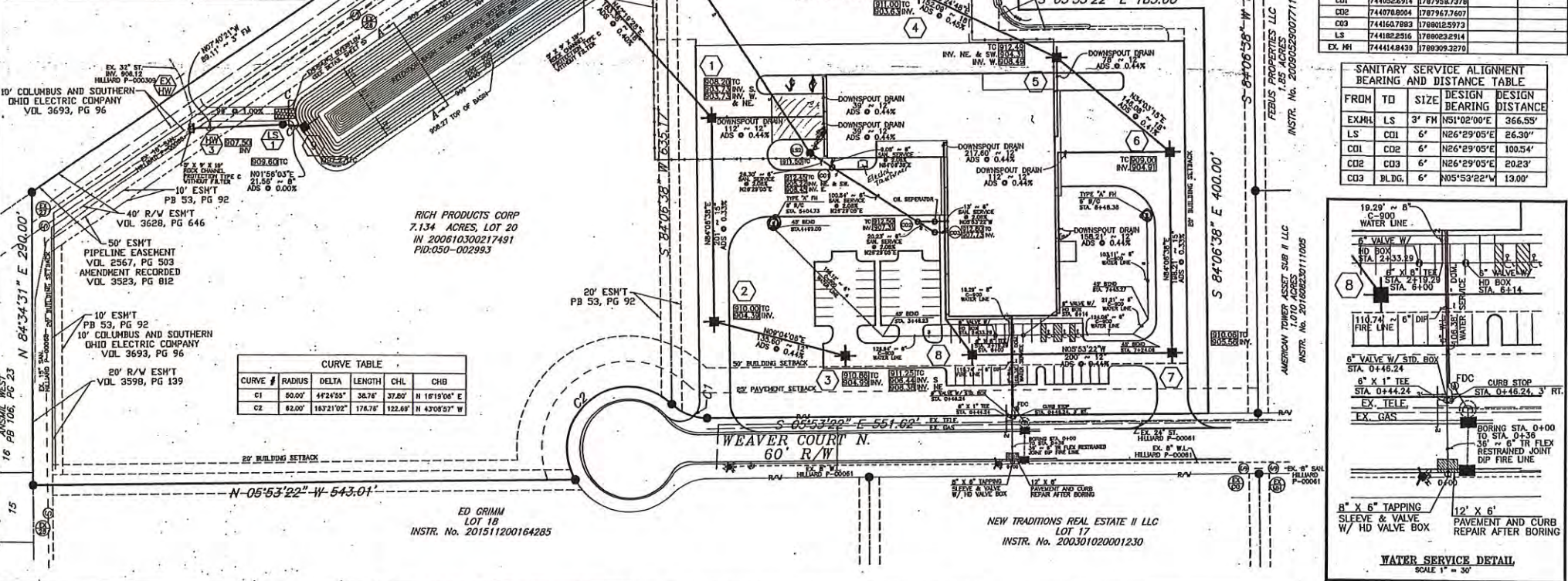
FROM	TO	SIZE	DESIGN BEARING	DESIGN DISTANCE
HW1	CBI	18"	N42°19'28"E	183.38'
CBI	CBE	18"	N64°06'38"E	201'
CBE	CBI	18"	N69°04'05"E	139.60'
HW2	CBI	18"	N84°33'12"E	195.58'
CBI	CBI	18"	N19°24'48"E	152.29'
CBI	CBI	18"	N34°02'15"E	146.68'
CBI	CBI	18"	N84°06'38"E	190.21'
CBI	CBI	12"	N05°53'22"W	209'
LS	CBI	8"	N01°56'03"E	215.6'
HW3	LS	FH	N07°40'21"W	89.11'

NOTE: SEE SHEET 8 FOR THE STORM SEWER LIFT STATION DETAIL.

NEW YORK CENTRAL LINES LLC
15.84 ACRES
IN 200212180325201
Now known as CSX Transportation Inc
successor by merger
in 200507210144738
in 200610300217491
(more fully defined by N 200711080194030)

WATER LINE COORDINATES
(BASED ON NAVD 1988)

WATER STRUCTURE	STATION	DESIGN NORTHING	DESIGN EASTING	AS BUILT NORTHING	AS BUILT EASTING
BUILDING	8+00	743971.9998	178783.4284		
6" X 6" TEE	8+12.97	743969.1805	178786.42747		
6" VALVE	8+32.29	743983.6166	178786.8086		
45° BEND	8+46.23	744093.3077	178781.2600		
45° BEND	4+99.00	744813.9273	178794.7218		
FIRE HYDRANT	5+04.73	744244.4760	178795.2903		
6" VALVE	6+14	743955.1944	178786.5710		
45° BEND	7+24.06	743845.1185	178787.2044		
45° BEND	7+43.87	743832.3308	178789.4643		
FIRE HYDRANT	8+48.38	743848.9104	178796.8281		
0+00	743954.3825	178773.6726			
6" X 6" TEE	8+12.97	743956.1454	178789.3717		
6" X 1" TEE	0+44.24	743958.9244	178781.6744		
6" VALVE	0+46.24	743959.1318	178783.6612		
FDC	0+48.24	743953.6628	178779.1205		



LEGEND

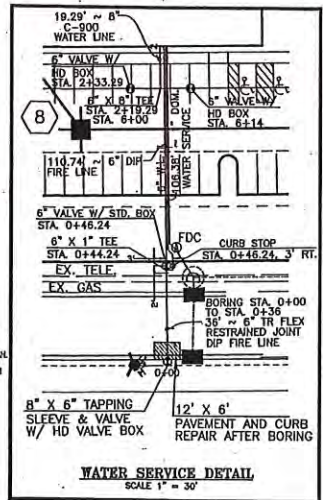
- PROPOSED STORM STRUCTURE
- LIFT STATION
- SANITARY CLEANOUT
- ⊕ EXISTING STORM MANHOLE
- ⊕ EXISTING STORM C & G INLET
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EX. FIRE HYDRANT
- ⊕ EX. VALVE
- ⊕ PROPOSED VALVE
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ ROCK CHANNEL PROTECTION

SANITARY SERVICE COORDINATES
(BASED ON NAVD 1988)

STRUCTURE NUMBER	DESIGN NORTHING	DESIGN EASTING	AS BUILT NORTHING	AS BUILT EASTING
CD1	744052.6914	178795.8776		
CD2	744078.8094	178797.7407		
CD3	744160.7883	178801.2973		
LS	744182.2516	178802.2914		
EX. HI	744148.4320	178909.3270		

SANITARY SERVICE ALIGNMENT BEARING AND DISTANCE TABLE

FROM	TO	SIZE	DESIGN BEARING	DESIGN DISTANCE
EX. HI	LS	3" FM	N51°02'00"E	366.55'
LS	CD1	6"	N26°29'05"E	26.30'
CD1	CD2	6"	N26°29'05"E	100.54'
CD2	CD3	6"	N26°29'05"E	20.23'
CD3	BLDG.	6"	N05°53'22"W	13.00'



18-408 PROJECT NO.

6 of 16

CITY OF HILLIARD, OHIO GRANITE INLINER... STORM, GRADING, & SITE IMPROVEMENTS COMPOSITE UTILITY PLAN

REVISIONS

DATE

DESCRIPTION

DATE

SCALE 1" = 50'

12/7/18 Printed Date

18-408UTIL ACAD FILE HPJET4 PLOT FILE

These drawings are instruments of professional service prepared by Bischoff Miller & Associates, LLC for the designated project. Bischoff Miller & Associates, LLC assumes no liability for any unauthorized use of these drawings, specifications, and documents.

2018 DEVELOPMENT PLAN (LOT 19 MINUS 3.802 ACRES)

**CASE 8: PZ-22-73 – HOMESTEAD DEVELOPMENT – HICKORY CHASE WAY – ANSMIL PUD
SUBAREA E1**

PARCEL NUMBER: 050-0011430

APPLICANT: Greenwich Investors Hickory Chase LLC., 6279 Dupont Station Court E., Jacksonville, FL 32217; c/o Glen Dugger, Smith & Hale LLC, 37 W. Broad Street, Columbus, OH 43215.

REQUEST: Review & approval of a PUD Development Text modification under the provisions of Hilliard Code Chapter 1117 to increase the maximum number of non-age restricted residential dwellings from 500 to 760 to permit a development of 264 multi-family dwelling units on 15.04 acres.

BACKGROUND:

The site is 15.036 acres located on the west side of Britton Parkway approximately 1,800 feet south of Davidson Road. It consists of a portion of the Ansmil PUD within Subarea E1. On December 13, 1999, City Council approved Ordinance 99-57 to create the Ansmil PUD to establish a 320-acre development south of Davidson Road. By passing Resolution 07-R-08, Council modified the PUD to create Subarea E1 for the purposes of establishing a Continuing Care Retirement Community. A final plat for the central portion of Britton Parkway, Anson Drive and the Leap Road roundabout was approved by the Planning Commission and City Council on November 8, 2007.

On February 9, 2015, City Council approved a resolution (14-R-86) to modify the Ansmil PUD to establish Subarea E1 boundaries, permitted uses, and development standards for the development of the Erickson Retirement Communities development. After not completing the project, an additional PUD text modification was made (Resolution 14-R-86) to eliminate text requirements for a Continuing Care Retirement Community as a primary use. That modification to uses included that senior residential, non-age restricted residential dwellings are restricted to 500 dwelling units and allowed libraries, parks, recreational uses, offices, financial institutions, eating and drinking places, neighborhood businesses, personal services and home occupations. The Greyson at Hickory Chase was developed along Leap Road and includes 23.6 acres.

Resolution 22-R-36 modified Subarea E1 standards in 2022 to establish building and pavement setbacks and architectural standards for the Verena at Hickory Chase just north of the proposed site. The Verena at Hickory Chase includes a one-story cottage development that is currently under construction along Hickory Chase Way.

The applicant is now requesting approval of a modification of the Ansmil PUD Development Text for Subarea E1 to increase the number of non-age restricted dwelling units from **500 to 760** to permit the development of a 264-unit development. Subarea E-1 is currently zoned for 850 continuum of care units and 500 non-age restricted units.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1117.08 and the Ansmil PUD Concept Plan. The Code specifically provides the following requirements for making modifications to an approved PUD Final Development Plan, development text or zoning map in Section 1117.06 of the Code:

- The proposed development is consistent with the purpose of the PUD in Section 1117.01;
- The proposed development meets the qualifying conditions as outlined in Section 1117.02;
- The PUD is consistent with the recommendations of the Hilliard Comprehensive Plan;
- The development is compatible with the existing and intended uses surrounding the site;

- The design and layout is harmonious with the natural character of the site and surrounding area and employs best management practices to ensure their conservation;
- The proposed development does not place undue burdens on public facilities and services;
- The PUD includes uses or conditional uses that are not injurious to public health, safety and welfare;
- The development conforms to the requirements of the Code unless specifically modified and approved;
- The final development plan is substantially consistent with the approved Concept Plan for the PUD; and
- Approval will result in a recognized and substantial benefit to the users of the project and the community in a way not otherwise feasible under conventional zoning.

Following a recommendation by the Commission, a resolution for the proposed PUD text modification will be forwarded to City Council for review and approval. The proposed change in use will become effective 60 days following Council's approval. The applicant will be required to return to the Planning and Zoning Commission for Final Development Plan approval.

STAFF RECOMMENDATION:

Staff finds that the proposal can be a harmonious part of the Ansmil PUD. Staff finds that the proposal, as revised per the staff comments below, will be generally consistent with the provisions of Hilliard Code Section 1117.08 and the intent of the Ansmil PUD Zoning Development Plan and Text. Staff finds that the proposed PUD modification is consistent with the approved PUD Concept Plan which currently permits higher density residential uses. Staff finds that the proposed change in type of units will have beneficial impacts on fire and safety services, income generation and increased workforce housing options near the I-270 employment corridor. Staff finds that such modification is not in conflict with the general health, safety and welfare of the public or the development standards of the PUD district. Based on these findings, staff recommends approval of the proposed PUD modification to Subarea E1 with four conditions:

- 1) That the text be revised to indicate that non-age restricted residential dwellings are not to exceed 760 units (+260), that continuum of care units are not to exceed 590 units (-260), and that no three-bedroom units or larger will be permitted for this particular development;
- 2) That proposed conceptual architecture be included within the text to demonstrate the level of quality for proposed buildings and materials;
- 3) That all text modifications be finalized prior to scheduling for City Council; and
- 4) That all Final Development Plan details, including stormwater management and landscaping, be brought back to the Commission for final review and approval.

CONSIDERATIONS:

- The site is located along Britton Parkway with access via Hickory Chase Way. The property includes multiple ponds that are part of stormwater management for the larger Ansmil development. The southern property line includes substantial vegetation that provides a barrier to undeveloped land (Subarea C5) to the south that fronts Anson Drive. Across Britton Parkway to the east is additional undeveloped land within the Ansmil PUD in Subareas C3 and C4.
- To the north is city parkland, the Hilliard Branch of the Columbus Metropolitan Library and the Verena at Hickory Chase (Subarea E1), which provides continuum of care units. The Greyson at Hickory Chase is located to the west of the site (Subarea E1) and includes a total of 492 residential units that are non-age restricted, leaving eight available non-restricted units available within Subarea E1.

COMPREHENSIVE PLAN:

- The Comprehensive Plan recommends the site for Senior Housing uses. These areas may contain a variety of housing types and incorporate professional services intended to serve area residents. This area should include well defined passive green space with pedestrian access. Where possible, such facilities should be designed to encourage safe and convenient access to nearby retail uses and amenities.

- Building heights of 1 to 5 stories and net densities of 10-20 dwelling units per acre are recommended.

CURRENT PERMITTED USES:

- Permitted uses within the Subarea E1 text include Continuing Care Retirement Community, attached residential dwellings, attached residential dwellings with assisted care and/or long-term skilled nursing care, a long list of accessory uses to the Continuing Care Retirement Community and park. The text limits non-age restricted units to 500.

PROPOSED TEXT MODIFICATION:

- Section A.1.b. of the Subarea E1 text indicates... “non-age restricted residential dwellings not to exceed 500 units provided, however, not more than 15% of such units may be 3-bedroom units, and 4- and 5-bedroom units are prohibited.” **The proposed text amendment would increase the number of non-age restricted units to 760.** A recommendation on this text change is requested and all final development plan details for the development would be brought back to the Commission for final approval.

CONCEPTUAL PLAN:

- *Site Layout.* Proposed development of the site includes a generally circular layout with two access points from the existing entry feature pond at Hickory Chase Way and Britton Parkway. Interior green spaces are provided for residents as part of the layout, and the natural area along the southern edge of the site will be maintained. The proposed plan includes a total of 11 residential buildings in two sizes, as well as a clubhouse with pool and sports courts. The concept plan includes 264 total residences that will include 96 one-bedroom units and 168 two-bedroom units (average of 1.64 beds/unit). The text permits three-bedroom units, but **staff recommends that the text is modified to indicate no 3-bedroom units for this particular development.**
- *Parking.* The conceptual plan includes a total of 435 spaces which meets code and falls within the 10% margin for additional spaces. Plans include two garages for residents that would incorporate 32 of the proposed spaces. Plans have been reviewed by the Norwich Township Fire Department, and final details will need to demonstrate all required turning radius for safety equipment.
- *Landscaping.* A detailed site plan and landscape plan will be necessary as part of the Commission’s review of the final development plan.
- *Architecture & Materials.* Proposed residential buildings are three story and include a combination of brick with shingle siding and dimensional asphalt shingle roof. The clubhouse will be one-story with similar materials. Architectural elevations and material samples will be required as part of the final development plan review.



Site Context



Approved

04/25/2022

RES 22-R-36 Exhibit A

Sub Area E1

AMENDMENT NOVEMBER 19, 2014

Sub Area E1 is located west side of the Britton Parkway extension, east of Leap Road, north of Sub Area C5 and south of Sub Area B1 and B2. The site is ±85.9 acres in size. See Exhibit A. The use of the entire Sub Area was originally intended as a Continuing Care Retirement Community (CCRC). However, only a portion of the Sub Area has been developed for this use, and the purpose of this Amendment is to adjust the plan and text to allow for and accommodate additional and coordinated uses within the Sub Area. A senior residential building is currently constructed within a portion of the property as shown on Exhibit A and the expectation is that this building will be used for senior residential housing. The Sub Area will also contain the development of the existing but unfinished “Community Building” which will be re-developed for use as a public library. The other areas within the Sub Area shall be used and developed in accordance with this text.

A. Permitted Uses

1. The following uses shall be permitted in any structure within the Sub Area:
 - a. Senior residential (including but not limited to CCRC, independent senior residential, assisted senior residential, memory care, skilled nursing, and dementia care may be developed so long as such use does not exceed 850 residential units:
 - b. non-age restricted residential dwellings not to exceed 500 units provided, however, not more than 15% of such units may be 3-bedroom units, and 4- and 5-bedroom units are prohibited.
 - c. Public Library
 - d. Public or private park, indoor and outdoor swimming pools, other public or private recreational activities and uses.
 - e. Office: Administrative, business, medical or professional offices, medical or dental laboratories, health and allied services, healthcare facilities including inpatient and outpatient care, medical offices, and ancillary services, physical therapy, health club and fitness facility, civic, social, and fraternal associations, photographic studios, including commercial photography, education services.
 - f. Bank and financial services and institutions, commercial or savings banks, credit institutions.
 - g. Eating and drinking places, including, without limitation, pubs and taverns, cafeteria services (provided, however, any drive up or drive through service shall obtain a conditional use permit for such activity).
 - h. Neighborhood and Personal services, convenience stores, Retail bakeries, Florists, pressing, alterations, and garment repair, custom tailors, shoe repair barbershops, beauty shops, spas, and pharmacies, other retail uses.

- i. Home occupations as permitted by the City of Hilliard Zoning Code
2. Unless the definition of a use is provided in this PUD, the use definitions contained in the City's codified ordinances shall apply, if the code contains a definition for that use.

B. Development Standards-Four Sided Architecture

1. Unless specified otherwise in this written text the development standards of Chapter 1157 of the Codified Ordinances of the City of Hilliard shall apply to Sub Area E-1. Basic development standards are compiled regarding proposed density, site issues, traffic, circulation, landscape and architectural standards. These component standards ensure consistency and quality throughout the development of Sub Area E-1.
2. All buildings shall have four-sided architecture with equivalent materials, fenestration and architectural details on all four sides of the building, provided, however, any residential building may reduce façade materials, fenestration, and detailing on any side which is "internal" and cannot be viewed from any public right of way or from any adjoining property, all architecture shall be subject to Planning and Zoning Commission review at the time of Final Development Plan.

E1.01 Density, Height, Lot and/or Setback Commitments

1. Building coverage shall not exceed forty (40) percent as defined by Hilliard City Code Section 1107.01(46) as measured for the entire Sub Area. Total impervious surface coverage shall not exceed seventy (70) percent of the total site acreage within the entire Sub Area.
2. The maximum height limit for residential buildings shall be four stories with walkouts. No more than fifty (50) percent of each residential building's footprint can have walkouts. Maximum height for residential buildings shall be 45 feet as measured per City Code. Architectural elements, like chimneys, parapets and cupolas may exceed this height limitation. Roof top mechanical equipment shall be screened from off-site visibility in accordance with City Code. Height is determined from average grade plane to average roof plane. Walkouts are allowed in this sub area but not included in average grade plane calculation.
3. Setbacks from the right-of-way of the Leap Road shall be a minimum of 50 feet for buildings and 0 feet for pavement. However, up to sixty (60) percent of the perimeter drive located along Leap Road is permitted to encroach the pavement setback by a maximum of fifty (50) percent. The building and pavement setback from Britton Parkway shall be 50 feet minimum. **For Parcel #050-011722, the minimum building and pavement setbacks from Hickory Chase Way shall be 20 feet.**
4. The minimum building and pavement setbacks from the north and south property lines **of the overall Sub Area** shall be 20 feet.

5. Building, parking and pavement setbacks from internal property lines within the Sub Area shall be zero; provided however, building and pavement setbacks from any public park established in the Sub Area shall be 10 feet for building, and zero for parking and pavement.
6. All setbacks shall be landscaped in accordance with the requirements of this text.
7. For Parcel #050-011722: the minimum setback for decks and patios from the Hickory Chase Way right-of-way line shall be 20 feet, and from any other property line, the minimum setback for decks shall be 10 feet and the minimum setback for patios shall be 3 feet.

E1.02 Access, Loading, Parking and/or Traffic Related Commitments

1. Parking requirements shall be determined in accordance with the City Code Section 1133.01 and as may be reduced by Planning and Zoning Commission in accordance with the approved Final Development Plan for that use based on actual parking demand.
2. Developer will work with staff to provide adequate parking in each phase of the development which shall be reviewed and approved at the time of Final Development Plan approval for that use, All parking lots shall be curbed except as required by ADA requirements.
3. All 90 degree parking spaces shall be a minimum of 9 feet wide by 18 feet in length. Drive aisles shall be a minimum of 22 feet wide.
4. Internal private drives shall be utilized within the development, provided however, an east-west public street shall be constructed and dedicated to the City located as shown on the Exhibit A . All private drives shall meet the City of Hilliard Zoning Code and the City Engineer's requirement for strength and durability. Private drives shall be a minimum of 22 feet wide, provided however, fire apparatus access drives shall be 24 feet wide **unless otherwise approved by Norwich Township Fire Department.**
5. All access points shall be subject to the review and approval of the Hilliard City Engineer. Vehicular access to Britton Parkway Leap Road, and Davidson Road shall be as set for on the Site Plan.
6. There shall be an eight foot wide bike path along the west side of Britton Parkway and a five foot wide sidewalk shall be provided along both sides of the East-West public street unless otherwise approved by the Planning and Zoning Commission upon demonstration by the applicant that sidewalks on both sides would practically difficult or unnecessary. The sidewalk and bike path shall be installed with roadway improvements and will be dedicated to the City of Hilliard; provided, however, the bike path may be re-routed as approved by the City Staff to accommodate adjacent development.

7. A 5 foot wide sidewalk along Leap Road shall be provided by the Developer/Applicant at the time of development of the area of the adjacent to Leap Road. Connections between the private walkways and the public pedestrian facilities along Britton Parkway and Leap Road shall be made as each area adjacent to such street is developed. Pedestrian paths and Pedestrian connectivity to the Library and Public Park from adjacent use areas are encouraged and will be determined at the time of Final Development Plan for such area.

E1.03 Architectural Standards

The site plan layout and architecture for each use within the Sub Area will be reviewed at the Final Development Plan stage, provided, however, the architecture, quality of design and materials for any residential structures shall be consistent with the existing Continuing Care Retirement Buildings (the Library and existing senior Residential building constructed on the property), and the elevations attached hereto as as Exhibits to this PUD-Modification (DRKenney elevations).

1. Color Palette: Earth tones, muted and natural tones are required. Trim colors may include white. Accent colors in brighter hues are permitted for building accent features only such as awnings, doors, limited trim, etc. A mixed palette on a single building should be carefully selected so all colors harmonize with each other.
2. Materials:
 - a. Warm-tone brick, decorative oversized masonry block, stone veneer or Ohio Limestone stucco stone (equal or better than Stone Products Corporation, type: Ohio Limestone) must be used on a minimum of 35% on each elevation of all structures (also see 2(f)(3) below). "Each elevation of all structures" is defined as the entire exterior surface area and excludes windows and doors in calculating the minimum percentage of material required. Bridges and covered walkway links are excluded from this requirement. At no time shall warm-tone brick, decorative oversized masonry block, stone veneer or Ohio Limestone stucco stone be less than 20% of the total façade including doors and windows. **For one-story residential buildings on Parcel #050-011722, the quality of architectural design and exterior materials shall be consistent with that shown on Sheet A2.1 of the Ansmil PUD Concept Plan drawings.**
 - b. EIFS or Stucco may be used as an accent material provided it does not exceed ten percent (10%) of the exterior façade material for each elevation. On residential buildings, EIFS may be used as articulation on bays and balconies and around windows, and shall not be used above the soffit line. On non-residential units, EIFS may be used so long as it has the appearance of being brick or of split-faced elements.
 - c. Concrete or masonry foundations should only have +/-16 inch exposure above finished grade before the primary exterior finish materials begin.

- d. Exterior cladding shall be within the color palette in paragraph 1 above, and be traditional materials, most commonly found on similar building types. The remaining balance of each building, less a, b, and c above shall be comprised of the following:
- 1). Hardi-plank or equivalent.
 - 2). Wood lap siding, composite lap siding and cedar shake siding painted or stained.
 - 3). Translucent composite/glass panels.
 - 4). Other exterior cladding materials as approved by the city at the time of Final Development Plan
- e. Roofs:
- 1). Pitched roofs with gables or hips at ends shall have a minimum slope of 4:12.
 - 2). Flat roofs are permitted but shall have mansards to provide the appearance of a pitched roof when viewed from all sides or as approved by the city at the time of Preliminary Development Plan.
 - 3). Materials on sloped roofs shall be one of the following: cedar shakes, tile, standing seam metal, slate, synthetic slate, translucent composite/glass panels or dimensional asphaltic or fiberglass shingles. Shingles to be a minimum, medium weight dimensional or dimensional-look shingles.
- f. Scale:
- 1). Structures shall be designed to harmonize with landscape.
 - 2). The scale of each building can be aided through the use of articulated building elements, such as porticos, dormers, recesses, awnings and other such elements, which help break up the building mass.
- g. Wall Articulation/Fenestration:
- 1). In addition to using building elements to articulate the building mass, individual walls must be articulated with fenestration, pattern, or structural expression equally on all sides of each structure.
 - 2). The amount of fenestration should be proportional with the amount of solid façade.
 - 3). Four-sided architecture is required, which means all buildings shall have four sided architecture with equivalent materials, fenestration and architectural details on all four sides of the building, provided, however, any residential building may reduce façade materials, fenestration, and detailing on any side which is “internal” and cannot be viewed from any public right of way or from any adjoining property as approved by the Planning and Zoning Commission at the time of Final Development Plan.

E1.04 Buffering, Landscaping, Open Spaces and/or Screening Commitments

1. Landscaping

- a. All landscaping shall be in accordance with the requirements of Hilliard City Code Section 1331.
- b. Landscape plans for Leap Road and Britton Parkway frontage shall be reviewed and approved by the City Arborist at the Final Development Plan Stage.
- c. Tree preservation shall include a tree survey that accounts for all 6-inch caliper trees and greater. A tree of 6 inches in caliper or greater at diameter breast height (DBH) is considered a protected tree for this development which means it is a tree which must be replaced inch per caliper inch in accordance with the requirements of Hilliard City Code Chapter 1331. Tree preservation plan shall be submitted at time of final development plan submittal. The total number of caliper inches of replacement trees for a site shall equal or exceed the combined diameter of the protected trees removed. The replacement tree requirement can be included in the total site tree landscaping requirement. The tree preservation plan must meet the requirements of Hilliard City Code Chapter 1331, unless stated within this text. Trees that are 6 inches and greater in diameter at DBH shall be preserved but may be replaced within Sub Area E-1 wherever possible.
- d. Standard tree preservation practices will be used to preserve and protect trees during all phases of construction.
- e. Within the 55-foot stream buffer preservation corridor along the south property line, the existing landscaping previously installed south of the black fence shall be maintained.
- f. Any portion of a lot upon which a building or parking area is not constructed shall be landscaped with lawn as a minimum. Those areas designated as landscaped buffers, tree lawns, tree preservation zones, entry features or other landscaped features shall be maintained meeting the minimum standards in Hilliard Codified Ordinances Chapters 917, 921 and 1331. The use of in-ground sprinkler systems, where appropriate, is strongly encouraged.
- g. Non-irrigated natural meadow and reforested areas shall be permitted.
- h. Protection of Landscaped Islands: Parked vehicles may hang over the interior landscaped area not more than two and one-half feet, as long as concrete curbs are provided to insure no greater overhang or penetration of the landscaped area. All parking spaces and landscaped islands shall meet the requirements of the Hilliard Codified Ordinances, Chapters 1133 and 1331, unless otherwise specified within this text.
- i. Screening of Mechanicals: No materials, supplies, equipment or products shall be stored on any portion of the parcel outside the permitted structure. Mechanical

equipment or other utility hardware on ground, or buildings shall be screened from view with plant materials.

- j. Curbs to protect screening material: Whenever screening material is placed around any trash disposal unit or waste collection unit which is emptied or removed mechanically on a regularly occurring basis, a curb to contain the placement of the container shall be provided within the screening materials on those sides where there is such material. The curbing shall be at least one foot from the material and shall be designed to prevent possible damage to the screening when the container is moved or emptied.
- k. Tree Planting Requirements: There shall be tree plantings equal to one-half inch in tree trunk size for every 500 square feet in ground coverage by a residential structure. These trees shall be a minimum of 2½-inch caliper at the time of installation and are in addition to the street tree planting requirements.
- l. Minimum trees: The following minimums are required, based upon total ground coverage for the vehicular use areas:
 - 1). Up to 20,000 square feet: A minimum of one tree per 5,000 square feet of ground coverage, and a total tree planting equal to 1 inch in the tree trunk size for every 2,000 square feet of ground coverage.
 - 2). Between 20,000 and 50,000 square feet: A minimum of one tree for every 5,000 square feet of ground coverage, and a total tree planting equal to ten inches plus one-half in tree trunk size for every 2,000 square feet over 20,000 square feet in ground coverage.
 - 3). Over 50,000 square feet: A minimum of one tree for every 5,000 square feet of ground coverage, and a total tree planting equal to twenty-five inches plus one-half inch in tree trunk size for every 4,000 square feet over 50,000 square feet of ground coverage.
 - 4). Trees shall have a clear trunk of at least five feet above the ground, and the remaining area shall be landscaped with shrubs, ground cover, not to exceed two feet in height.
 - 5). No new tree planting shall be required if existing trees and the aggregate trunk sizes of such trees meet or exceed the requirements as set forth in this chapter. The minimum tree size for such tree plantings shall be no less than two and one-half inch in trunk diameter.
- m. The applicant or owner shall plant such trees as may be required within one year or the next planting season after issuance of a building permit. Failure to comply with the landscaping requirements shall be in violation of this section and be subject to citation.

- n. A 6 foot tall black metal ornamental picket fence has been installed along the Leap Road and Britton Parkway frontages and along the north and south boundary of the site .
2. A “Tree Preservation Area” located as shown on Exhibit B shall be dedicated to the city as a public park. The park shall be used for passive recreational uses. Dedication of this Tree Preservation Area as a public park shall serve to meet the parkland dedication requirements of City Code section 1179.07. The boundary of the Tree Preservation Area and adjacent private property shall be clearly demarked with dark green or black lighted or luminescent bollards not greater than 36” in height the final design of which shall be determined at the time of Final Development Plan and appropriately spaced so as to denote such boundary.

E1.05 Dumpster, Lighting, Outdoor Display Areas and/or other Environmental Commitments

1. All interior private street lighting shall not exceed 20 feet in height.
2. External lighting for parking lots and drives shall be cut-off type fixtures. Decorative coach lighting may be used adjacent to residential units. Decorative coach lights may be building- or post-mounted and shall be compatible with the surrounding architecture.
3. All types of parking, pedestrian and other lighting shall be on poles or mounted on individual units, and shall be from the same type and style.
4. All light poles and standards shall be metal and shall be bronze in color.
5. Landscape and building uplighting from a concealed source shall be permitted, as approved by City staff.
6. All lights shall be arranged to reflect light away from any exterior street or adjacent property.
7. No colored lights shall be used to light the exterior of the buildings.
8. Waste and Refuse:
 - a. All dumpsters for waste and refuse shall be containerized and screened from view on three sides by a solid masonry wall, wood fence, vegetation or materials compatible with building materials and at least 6 inches taller than the height of the dumpster. The fourth side shall contain a durable gate with the frame to be made of metal, resin or similar material, and the outer material may be wood, metal, resin or similar material. The gate shall also be at least 6 inches taller than the height of the dumpster.

9. Storage and Equipment and Service Areas:

- a. No area of the site will be used for outdoor storage, except within an enclosed maintenance yard as specified on an approved site plan. No materials, supplies, equipment, products or corporate owned or corporate used vehicles, shall be stored, or permitted to remain, on any portion of the parcel outside of any permitted structure or approved storage area.
- b. Mechanical equipment or other utility hardware shall be screened from public view with plant materials or materials harmonious with the building.
- c. No noises, smoke, odors, vibration or other nuisances shall be permitted.

E1.06 Graphics and Signage Commitments

1. The overall design of signage and graphics shall be of a unified appearance and shall be compatible with the overall Sub Area architectural character with respect to materials and colors, and no signs shall be internally illuminated.
2. In regards to materials and color, all signage elements shall be compatible with the architectural character of the campus buildings.
3. All signage and graphics shall conform to the Hilliard Graphics and Sign Code Chapter 1191, unless noted within this text or otherwise approved as a part of a comprehensive signage package.

E1.07 Miscellaneous Commitments

1. Utilities: All new utility lines including water service, electricity, telephone and gas, and their connections or feeder lines shall be placed underground. Where feasible, all above ground utility boxes shall be placed at the rear lot lines or sufficiently screened, subject to staff approval.
2. Amendments: In the event the developer of any property within the Sub Area desires to make a minor amendment to these development standards, which minor amendment is determined by staff to be a minor amendment in their administrative capacity, such amendment must be reviewed and approved by the City of Hilliard Planning and Zoning Commission. Any amendment not determined to be a minor amendment by staff or the Planning and Zoning Commission for Sub Area E1 shall be submitted in accordance with Hilliard City Code Section 1157.04(i), PUD Amendments.

HICKORY CHASE
City of Highland Franklin County, Ohio

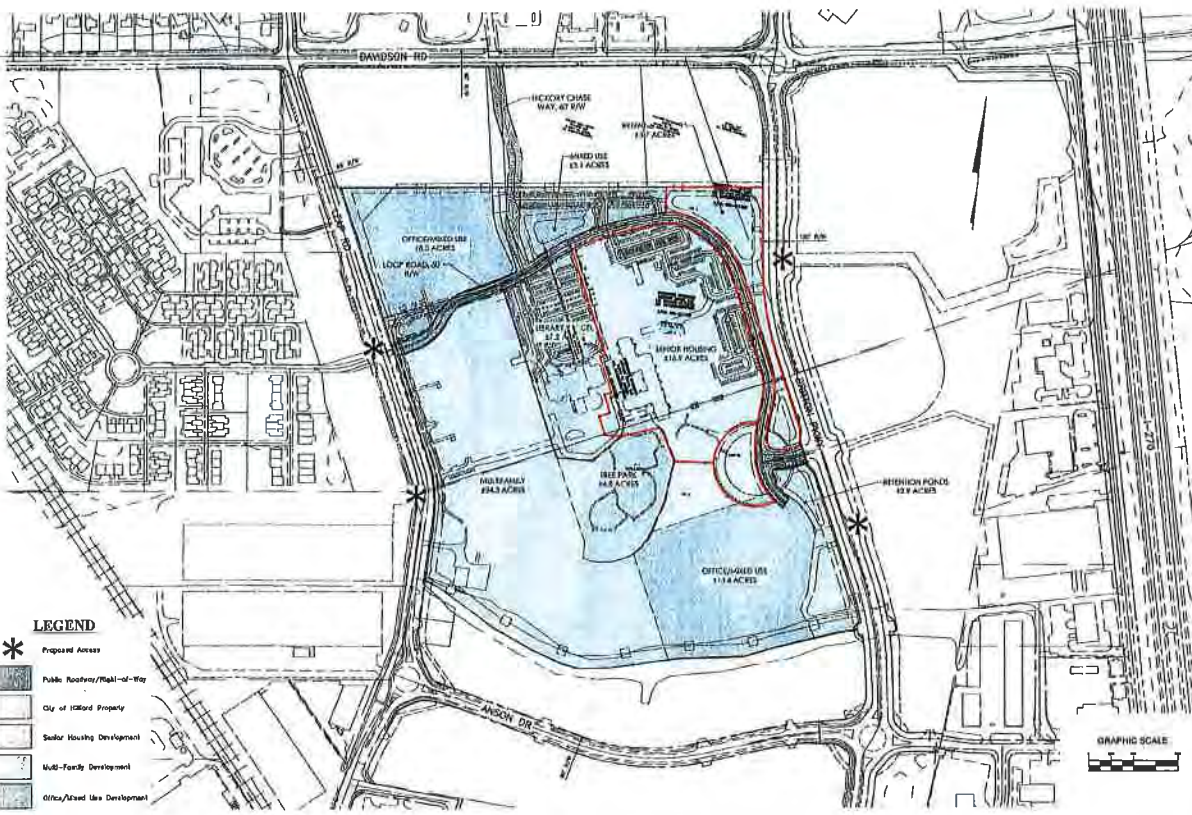
PRELIMINARY DEVELOPMENT PLAN

14-R-86
Exhibit A

Prepared by:
Urban & Environmental Planning, Inc.
207 Bell Pike, Suite 1
Buckeye, OH 43084



DATE	DESCRIPTION



LEGEND

- * Proposed Access
- Public Roadway/Right-of-Way
- City of Highland Property
- Senior Housing Development
- Multi-Family Development
- Office/General Use Development



① Front
1/8" = 1'-0"

Total Surface Area: 1,585.02 sq ft
Surface Area - Excluding Overhangs: 1,271.12 sq ft
Area of Sides: 272.25 sq ft
Area of Roof: 30.65 sq ft
Total to Surface Area Excluding Overhangs: 15.87%



② Right Side
1/8" = 1'-0"

Total Surface Area: 788.75 sq ft
Surface Area - Excluding Overhangs: 714.38 sq ft
Area of Sides: 64.37 sq ft
Area of Roof: 9.00 sq ft
Total to Surface Area Excluding Overhangs: 8.17%



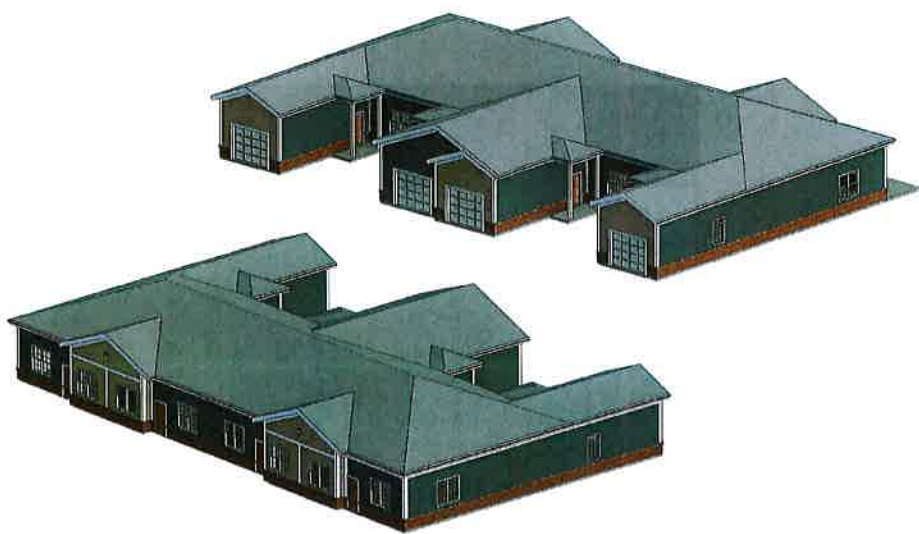
③ Front
1/8" = 1'-0"

Total Surface Area: 1,488.13 sq ft
Surface Area - Excluding Overhangs: 1,198.89 sq ft
Area of Sides: 282.88 sq ft
Area of Roof: 30.65 sq ft
Total to Surface Area Excluding Overhangs: 19.17%

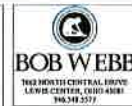


④ Left Side
1/8" = 1'-0"

Total Surface Area: 788.75 sq ft
Surface Area - Excluding Overhangs: 714.38 sq ft
Area of Sides: 64.37 sq ft
Area of Roof: 9.00 sq ft
Total to Surface Area Excluding Overhangs: 8.17%



REVISED 10/21/17 PW



Hickory Chase
Anisml PUD
Building A
Hilliard, OH

REV	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

Drawing Name:
ELEVATIONS

Drawing Number:
A2.1
Sheet 1 of 21



SITE // TOTALS v2.0

ACREAGE	//	15.02	ACRES
SITE DENSITY	//	17.6	UNITS / ACRE
BUILDINGS	//	11	
BUILDING A	(8)	3-STORY	08,200 SF
BUILDING B	(3)	3-STORY	10,000 SF
CLUBHOUSE	(1)	1-STORY	03,700 SF (TBD)

UNITS	//	264	TOTAL UNITS	432 beds
-------	----	------------	-------------	----------

096	1BD	722 SF	36%	096 beds
168	2BD	1053 SF	64%	336 beds

PARKING	//	396	CODE REQ	(1.50 / UNIT)
	//	435	PROVIDED	(1.65 / UNIT)

403	SURFACE
032	GARAGE



hickory chase // hilliard, oh
 SITE CAPACITY STUDY v2.0 | DECEMBER 27, 2022



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hickory chase // hilliard, oh
SITE CAPACITY STUDY v1.0 | DECEMBER 12, 2022

HOMESTEAD
COMPANIES

archall
CREATING COMMUNITY

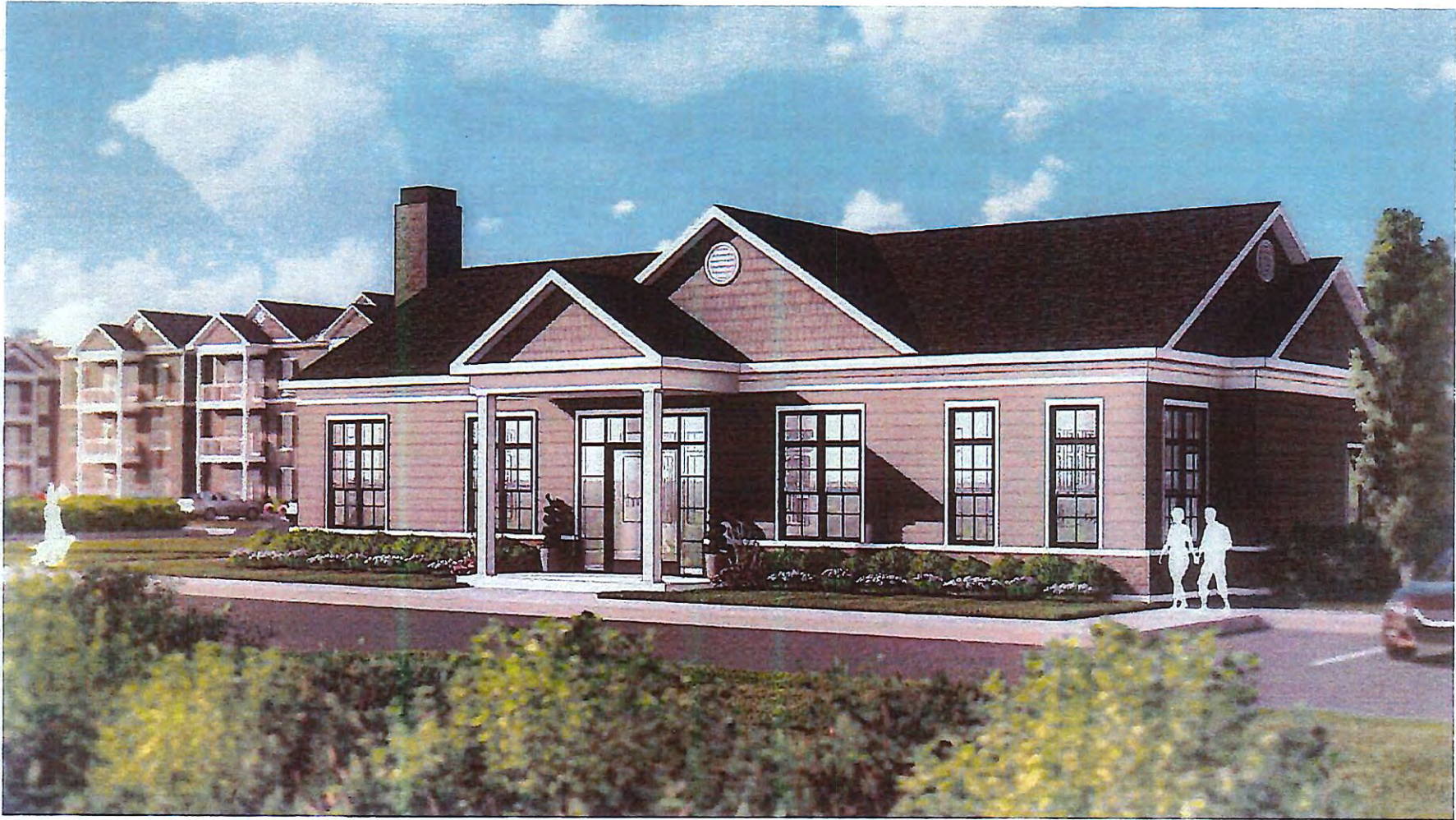


hickory chase // hilliard, oh
SITE CAPACITY STUDY v1.0 | DECEMBER 12, 2022

HOMESTEAD
COMPANIES

archall
COURT REPORTERS





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HOMESTEAD
COMPANIES

archall
CONSTRUCTION