

MEETING AGENDA (AMENDED)



Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube

Thursday, February 9, 2023 | 7:00 pm

1. Call to Order
2. Pledge of Allegiance to the Flag
3. Roll Call
4. Approval of the Meeting Minutes – January 12, 2022
5. Oath to Tell the Truth
6. Changes to the Agenda (requests for postponements, withdrawals, or change in order of cases)
7. Postponed Cases:

CASE 1: PZ-22-73 – HOMESTEAD DEVELOPMENT – 1 HICKORY CHASE WAY – ANSMIL PUD SUBAREA E1

PARCEL NUMBER: 050-0011430

APPLICANT: Greenwich Investors Hickory Chase LLC., 6279 Dupont Station Court E., Jacksonville, FL 32217; c/o Glen Dugger, Smith & Hale LLC, 37 W. Broad Street, Columbus, OH 43215.

REQUEST: Review & approval of a PUD Development Text modification under the provisions of Hilliard Code Chapter 1117 to increase the maximum number of non-age restricted residential dwellings from 500 to 788 to permit a development of 288 multi-family dwelling units on 15.04 acres.

8. New Cases:

CASE 2: PZ-23-1 – 3C TECHNOLOGIES – 3363 LEAP ROAD

PARCEL NUMBER: 050-002367

APPLICANT: 3C Technology Solutions, 3840 Lacon Road, Suite 14, Hilliard, OH 43026; c/o Robert Foster, Earthmetric LLC, 322 Meadow Lane, Circleville, OH 43113.

REQUEST: Review and approval of a lot split under the provisions of Hilliard Code Section 1188.05 to create a ±0.772-acre parcel from a 1.582 parcel.

CASE 3: PZ-23-2 – AQUARIUM ADVENTURE – 3649 FISHINGER BOULEVARD

PARCEL NUMBER: 050-007274

APPLICANT: DC MRH Medical LLC/Alkira LLC, 653 Trueman Boulevard, Suite 100, Hilliard, OH 43026; Steve Orr, Wymard & Associates, 3649 Fishinger Boulevard, Hilliard, OH 43026.

REQUEST: Review and approval of sign under the provisions of Hilliard Code Section 1129.03 to increase the maximum area of window signage.

REQUEST
WITHDRAWN
BY THE
APPLICANT

9. Discussion Items

- 10. Chairman's Communication**
- 11. Committee Communications**
- 12. Adjournment**

[END OF AGENDA | FEBRUARY 9, 2023]

MEETING MINUTES

PLANNING & ZONING COMMISSION
MINUTES | 1-12-23 | PAGE 1

Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube



Thursday, January 12, 2023 | 7:00 pm

CALL TO ORDER

Chairman Muether called the Regular Meeting of Planning and Zoning Commission to order at 7:03 PM.

PLEDGE OF ALLEGIANCE TO THE FLAG

Chairman Muether led the Commission and attendees in the Pledge of Allegiance.

ROLL CALL

Attendee Name:	Title:	Status:
Chairman Jay Muether	Chair	Present
Vice Chair Bevan Schneck	Vice Chair	Present
Eric Gutknecht	Member	Present
Chris Lewie	Member	Excused
Tracey Nixon	Member	Present
Tom Pannett	Member	Present*
Bill Uttley	Member	Present

*As noted by the Chair, Mr. Pannett arrived late and participated in Case #1

Staff Members Present: Planning Director John Talentino, City Engineer Clark Rausch, Planning Manager Carson Combs, Staff Attorney Kelly Clodfelder, Assistant City Manager Dan Ralley, Zoning Inspector Forest Runnels, Zoning Enforcement Officer Kristie Shaffer and Administrative Assistant Sandi Hopkins.

Others Present: Eric Bahgat representing Colorado Mountain Sports (PZ-22-43); Tom Hart, Greg Chillog and Josh McKeever representing Pulte Homes (PZ-22-69); Christopher Tebbe and Jason Hanners representing Merchants National Bank (PZ-22-70); Jarrod Norton representing Moo Moo Car Wash (PZ-22-71); Joe Davis representing Granite Inliner (PZ-22-72); Jim Sotak (5163 Meadowview Lane), Thomas Hayes (5194 Meadowview Lane), Justin Cimino (5182 Meadowview Lane) Ashley Hoyer (representing the Big Darby Accord Panel), Josh and Jenn Smith, and other members of the public in attendance.

APPROVAL OF MEETING MINUTES – December 8, 2022

Chairman Muether asked if there were any changes or corrections to the December 8th, Planning and Zoning Commission minutes. Minutes were approved by voice vote.

Status:	Accepted by Voice Vote (5-0)
Ayes:	Chairman Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Tracey Nixon, William Uttley.

OATH TO TELL THE TRUTH

Staff Attorney Kelly Clodfelder administered the Oath to Tell the Truth.

CHANGES TO THE AGENDA

Planning Manager Carson Combs noted that a request to postpone Case PZ-22-73 (Homestead Development) to the February meeting has been made by the applicant while some additional details are finalized. Mr. Uttley, seconded by Chairman Muether, made a motion to postpone Case PZ-22-73 – Homestead Development – Ansmil PUD Subarea E1 to the February 9, 2023, meeting.

Status:	Motion to postpone was approved (5-0).
Mover:	Mr. William Uttley
Second:	Chairman Jay Muether
Ayes:	Chairman Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Tracey Nixon, William Uttley.

CASE 1: PZ-22-43 – COLORADO MOUNTAIN SPORTS – 4445 CEMETERY ROAD

PARCEL NUMBER: 050-002824

APPLICANT: Cemetery Rd Holdings LLC, c/o Eric Bahgat, 4445 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of a PUD Final Development Plan modification under the provisions of the Cemetery Road Properties Located Between Leap & Lacon Roads PUD Concept Plan and Text for a two-story, 3,240-square-foot building addition on 0.44-acre.

[Mr. Combs gave the staff report]

BACKGROUND:

The site consists of approximately 0.44-acre located at the southwest corner of Cemetery Road and Lacon Road and includes Lot 230 and Lot 231 of the original Easthill Acres subdivision plat. Both lots were combined within the last two years. The site has an existing 3,861-square-foot retail building, which Franklin County Auditor records indicate was constructed in 1980. To the west are commercial properties and to the south are single-family residences all zoned PUD as part of the “Cemetery Road Properties Located Between Leap & Lacon Roads” Concept Plan. To the east, across Lacon Road, are commercial properties zoned M-1, Restricted Industrial District. To the north across Cemetery Road is a church zoned B-3, Office/Institutional District, and additional commercial properties zoned B-2, Community Business District. City Council recently adopted Ordinance 22-31 (effective November 26, 2022) to rezone the northern half of the site from B-1, Neighborhood business District to PUD, Planned Unit Development District. City Council also adopted Resolution 22-R-97 on November 28, 2022, approving PUD text modifications for setbacks and other related standards that were recommended by the Commission in August 2022.

The applicant is now requesting approval of a PUD Final Development Plan modification to permit a 2-story, 3,240-square-foot addition to the existing Colorado Mountain Sports building.

COMMISSION ROLE:

The Commission is to review the proposed PUD Final Development Plan modification for conformance to the provisions of the “Cemetery Road Properties Located Between Leap & Lacon Roads” PUD Concept Plan. The Commission is also to review this final development plan modification for conformance to the PUD provisions of the Zoning Code as outlined in the PUD provisions of Chapter 1117. Specifically, the Code provides for the granting of final development plan approval under the criteria as outlined by Section 1117.06:

- Whether the proposed development is consistent with the purposes and conditions of the PUD Zoning District;
- Whether the proposal is consistent with the Hilliard Comprehensive Plan and is compatible with existing and potential uses around the property;
- Whether the layout and design is harmonious with the natural character of the surrounding area and site and employs best management practices;
- Whether the proposed project will place undue burden on public facilities and services;
- Whether the PUD will contain uses or conditions that may be injurious to the public health, safety and welfare;

- Whether the proposed development conforms to Code requirements unless specifically modified and approved in accordance with Chapter 1117;
- Whether the final development plan is generally consistent with the approved Concept Plan; and
- Whether the approval will result in a recognizable and substantial benefit to users of the project and the community, which would not otherwise be feasible under conventional zoning districts.

Following approval by the Commission, the applicant can move forward with final engineering and submit for permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed PUD Final Development Plan modification as amended below is consistent with the approved PUD Concept Plan. Staff finds that such modification is not in conflict with the general health, safety, and welfare of the public. Based on these findings, staff recommends approval of the proposed PUD Final Development Plan modification with the following eight conditions:

- 1) That an additional 10 feet of right-of-way along Cemetery Road is dedicated to the City consistent with the Hilliard Thoroughfare Plan and that parking pavement within the dedicated right-of-way be removed subject to approval of the City Engineer;
- 2) That a variance for the proposed employee parking spaces is obtained by the Board of Zoning Appeals;
- 3) That all building plans be revised to comply with applicable Building and Fire Code requirements;
- 4) That all plans be updated to comply with the City's regulations for stormwater management to the satisfaction of the City Engineer;
- 5) That the site plan be revised to include required landscaping per Code;
- 6) That the southern drive approach be limited to 14 feet in width;
- 7) That an additional shutter and horizontal trim board be provided on all elevations of the addition that have a stucco finish, subject to staff approval; and
- 8) That a building permit is obtained prior to construction.

CONSIDERATIONS:

- The site has approximately 62 feet of frontage along Cemetery Road, and approximately 180 feet of frontage along Lacon Road. The existing building has an access point on Cemetery Road and a second on Lacon Road (both at the intersection). A third curb cut is located along Lacon Road near the southern property line and is the former access for a residence that was demolished.
- The Franklin County Recorder's Office notes that in 2017, the City acquired a sliver of additional right-of-way at the corner of Cemetery Road and Lacon Road for street improvements associated with the intersection. The deed was transferred on December 7, 2017. Additional right-of-way along Cemetery Road consistent with the Thoroughfare Plan was not acquired in 2017 due to the timing of the public improvements.

Thoroughfare Plan

- The Thoroughfare Plan identifies Cemetery Road between Leap Road and Britton Parkway as a Major Arterial (four-lane roadway with 2 through lanes in each direction and either a center left-turn lane or separate left-turn lanes at driveways and intersections) with a minimum 100-foot-wide right-of-way. The site has 40 feet of right-of-way from centerline along its Cemetery Road frontage. *An additional 10 feet of right-of-way along Cemetery Road is needed to conform to the Thoroughfare Plan and should be provided as part of the site development. The parking space within the dedication should be removed as part of the proposed expansion.*

Comprehensive Plan

- The Comprehensive Plan recommends the site for Neighborhood Retail uses as a small-scale commercial mixed-use center intended to serve the daily needs of residents and employment centers with a mile radius. The maximum recommended tenant size is 20,000 square feet. Second or third floor uses may include retail, commercial, or residential uses. Parking shall be to the side or rear of the development, and excellent ped/bike access should be provided to all surrounding uses. These retail developments should have a distinct street presence and highly attractive and memorable architecture. Public space and landmarks such as a plaza, small green, fountain, esplanade, or even a clock tower should be included in the development to provide places for area residents to gather and socialize, and to define the character of the development.

PUD Development Text

- The approved *Cemetery Road Properties Located Between Leap and Lacon Roads* PUD text lists the following permitted uses: retail, personal services, business services, offices and banks, non-fast-food restaurants, gas stations and childcare. The proposed retail use is consistent with the text.
- The approved PUD text specifies minimum building setbacks for a commercial use fronting onto Lacon Road, and the proposed plan meets requirements:

BUILDING SETBACK	DISTANCE
Front (Cemetery Road)	50 feet
Front (Lacon Road)	20 feet
Side	10 feet
Rear	10 feet

Proposed PUD Final Development Plan

- The proposed plans show a 3,240-square-foot addition to the rear of the building. The plans show a one-way access drive along the east side of the building with egress onto Lacon Road at the south end of the site. *Staff recommends that the southern drive approach be limited to a maximum of 14 feet in width as approved by the City Engineer.*
- The minimum number of required parking spaces is 13 based on the proposed plans. The plans provide the required number of spaces, but spaces for employees will include four double-stacked spaces and one space along the building with restricted access. *The applicant has applied to the Board of Zoning Appeals seeking a variance to approve a comprehensive parking arrangement. The application is scheduled on the December 15, 2020, Board of Zoning Appeals agenda.*
- Proposed architectural elevations show different options for architecture on the east building elevation. Option 3A is preferred and would include horizontal siding with spandrel glass windows to replace the existing stucco. The addition would include faux shutters on the second floor with a board and batten finish. *All final plans must comply with applicable building code and fire code requirements.*
- At this time information that demonstrates compliance with stormwater management regulations have not been provided and will be necessary as part of the permit approval process. *Final details should be submitted to the satisfaction of the City Engineer prior to construction activities.*

Architecture

- The PUD text for this site requires that brick, stone, or similar materials are used that compliment each structure. Materials proposed for the project include a board-and-batten treatment and horizontal wood siding. Plans include the incorporation of spandrel glass and faux shutters along Lacon Road to provide architectural variety. Option 3A is the preferred configuration of materials for the east building elevation, and smooth stucco is also proposed as an alternate material for the proposed addition. *Staff recommends that an additional shutter and trim be added to the east elevation of the addition if stucco*

is selected as the final material choice. With stucco, the south and west elevations should also include a matching trim board to provide architectural relief.

Recommended Trim/Shutter with Stucco Finish



East Elevation

West Elevation

South Elevation

[END OF REPORT | PZ-22-43]

Chairman Muether asked why the parking was proposed in its current configuration; Mr. Combs noted that the layout focused on employee parking and explained that staff would recommend full compliance with Code when the remainder of the site develops. He responded to Vice Chair Schneck that staff is in discussions regarding the space located within the future right-of-way along Cemetery Road. Mr. Talentino explained that the previous retail building had been there for years and was built prior to today's Code and there have been other businesses that have had double-stacking for employees on smaller sites.

Eric Bahgat, property owner, noted that he would prefer to use the board and batten and that stucco is not the preferred option. He requested that Condition #1 was removed to that he could work with staff following the proposed construction. He said he has concern about removing pavement because of deliveries and that his goal is to work with the property to the west so that the entrance off Cemetery Road can be closed off.

Mr. Bahgat asked about the need for the variances; Mr. Talentino noted that the layout required variances to that the parking lot can be legally used. Mr. Talentino noted that staff would be okay removing Condition #1 to continue working with the applicant.

With no comment from the audience, Mr. Uttley (seconded by Vice Chair Schneck) made a motion to approve the PUD Final Development Plan modification under the provisions of the Cemetery Road Properties Located Between Leap and Lacon Roads PUD Concept Plan and Text for a two-story, 3,240-square-foot building addition on 0.44-acre with the following seven conditions:

- 1) That a variance for the proposed employee parking spaces is obtained by the Board of Zoning Appeals;
- 2) That all building plans be revised to comply with applicable Building and Fire Code requirements;
- 3) That all plans be updated to comply with the City's regulations for stormwater management to the satisfaction of the City Engineer;
- 4) That the site plan be revised to include required landscaping per Code;
- 5) That the southern drive approach be limited to 14 feet in width;
- 6) That an additional shutter and horizontal trim board be provided on all elevations of the addition that have a stucco finish, subject to staff approval; and
- 7) That a building permit is obtained prior to construction.

Status:	Approved (6-0) with seven conditions.
Mover:	Mr. William Uttley
Secunder:	Vice Chair Bevan Schneck

Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Tracey Nixon, Tom Pannett, William Uttley.
--------------	--

**CASE 2: PZ-22-59 – THE LINCOLN CENTER LEADERSHIP ACADEMY – 3311-3315 MILL MEADOW DRIVE
PARCEL NUMBER: 050-005422**

APPLICANT: Morse-Maize Family LP, 2706 E. Main Street, Columbus, OH 43209; c/o Glen Dugger, Smith & Hale LLC, 37 W. Broad Street, Columbus, OH 43215.

REQUEST: Review and approval of a PUD modification under the provisions of Hilliard Code Section 1117.08 concerning permitted uses and development standards and a PUD Final Development Plan under the provisions of the Mill Run PUD Concept Plan.

BACKGROUND:

This request was initially heard by the Planning and Zoning Commission on October 13, 2022. At that time, the Commission voiced concerns about the specifics of the permitted uses proposed for the Mill Run PUD text amendment. At the request of the applicant, the Commission approved a motion to postpone the request until such time as a final development plan application is submitted for review by the Commission. The applicant submitted final details for the project. Based on comments from staff regarding the submission, a formal notice to withdraw the application was provided just prior to publishing the meeting agenda.

NO ACTION IS NECESSARY AND THE APPLICATION HAS BEEN CLOSED

[END OF REPORT | PZ-22-59]

CASE 3: PZ-22-67 – HILLIARD RECREATION & WELLNESS CAMPUS – 6287 SCIOTO DARBY ROAD

PARCEL NUMBERS: 050-010512, 050-010761, 050-010762, 050-010763 & 050-010764

APPLICANT: Michelle Crandall, City Manager, City of Hilliard, 3800 Municipal Way, Hilliard, OH 43026.

REQUEST: Review and approval of a revised PUD Concept Plan under the provisions of Hilliard Code Chapter 1117 for a new recreation and wellness center, commercial, office and park uses on 166.42 acres.

[Mr. Talentino gave the staff report]

BACKGROUND:

The site consists of five parcels totaling approximately 166.42 acres. It is located on the south side of Scioto Darby Road at the southern terminus of Cosgray Road, to the west of Hilliard Municipal Park, to the north of Heritage Lakes subdivision, and on the east side of Alton Darby Road. It includes the 30.6-acre soccer park and four parcels which have been farmed for years.

On June 13, 2001, the 30.6-acre portion of the site currently used as a soccer park was annexed to the City of Hilliard (Ordinance No. 01-18). On January 9, 2002, the 30.6 acres was rezoned to S-1, Special, (Ordinance No. 01-70). On November 22, 2007, four parcels owned by the Estate of Evelyn Jerman were annexed to the City of Hilliard (Ordinance No. 07-52). On March 25, 2008, the four parcels were rezoned to A-1, Agricultural, (Ordinance

No. 08-03). On April 28, 2008, the City of Hilliard adopted the final draft of the Big Darby Accord Watershed Master Plan (BDAWMP) dated June 2006 (Resolution No. 08-R-10). On November 18, 2008, the Darby Accord Panel recommended conditional approval of the proposed development. On October 8, 2009, the Planning and Zoning Commission forwarded a positive recommendation to Council concerning the Alton Commons PUD Concept Plan. On April 26, 2010, Council adopted an ordinance (No. 10-10) creating the Alton Commons PUD. On May 14, 2015, the Commission approved a 6-month extension of the Alton Commons PUD Concept Plan. On November 26, 2015, the Alton Commons PUD Concept Plan expired due to a lack of construction. On February 4, 2021, the City of Hilliard purchased the four properties from the Evelyn Jerman estate.

On December 13, 2022, the Big Darby Accord Advisory Panel was scheduled to review this application but did not have a quorum to conduct the meeting. The Advisory Panel will hear the case on January 10, and staff will provide an update of the results during the Commission meeting. The applicant is now requesting approval of a PUD Concept Plan for a new recreation and wellness center, commercial, office, and park uses on 166.42 acres. The proposal also includes a stream restoration project for the portion of Clover Groff Ditch that is adjacent to the site and the construction of the Cosgray Road extension through the site.

COMMISSION ROLE:

The Commission is to review the proposal for conformance with the provisions of Chapter 1117 of the Code, the goals and objectives of the Hilliard Master Plan and the BDAWMP and then forward a recommendation to City Council. The Commission shall forward its recommendation to Council that the PUD Concept Plan be approved as presented, approved with supplementary conditions, or not approved.

STAFF RECOMMENDATION:

Staff finds the proposal to be consistent with the goals and objectives of the BDAWMP. Staff finds the proposal, as amended in the conditions listed below, is generally consistent with the goals of the Comprehensive Plan concerning land use and economic development. Based on these findings, staff recommends that the Commission forwards a positive recommendation to Council concerning the proposal with the following four conditions:

- 1) That plans are revised to show the boundaries of the 100-year floodplain consistent with the stream restoration work that has been completed on the Clover Groff Ditch and Hamilton Ditch;
- 2) That not less than 50 percent of the site is open space consistent with the previously approved plan for the site;
- 3) That not less than 22 percent of the site is natural open space; and
- 4) That plans are revised to show the minimum building and pavement setback lines.

CONSIDERATIONS:

Site Context

- To the east is Hilliard Municipal Park zoned S-1, Support Facilities. To the south are single-family dwellings within Heritage Lakes subdivision and portions of Heritage Lakes Golf Course zoned PUD. To the west are single-family estate lots and Agape Community Fellowship church within Norwich Township. To the north, across Scioto Darby Road are commercial properties within Darby Town Center zoned B-5, and a commercial nursery zoned L-B-4, Highway or Regional Business with a Limited Overlay and R-R, Rural Residential.

Comprehensive Plan Issues

- The Comprehensive Plan recommends the site for community retail, park/open space, and office uses. It recommends expanding the existing park network to serve a variety of active and passive uses. Park development should be easily accessed by a variety of mobility options, include multi-generational activities, and provide environmental education opportunities. Development principles include ensuring

that open space is accessible to the public and cohesively linked with open space from adjacent developments and public spaces; providing education and recreation opportunities that showcase the unique natural features of the Big Darby area; and providing a multi-use path connection between Municipal Park and Prairie Oaks Metro Par. This area should incorporate a mix of small to medium sized office space for a range of uses, generally professionals such as medical, financial services, legal practices, and engineering consultants. The recommendation concerning community retail was based on the Alton Commons PUD Concept Plan which has since expired.

- The proposed plans indicate that the site will be divided into three subareas. Subarea 1 consists of a new recreation and wellness center, including some of the existing soccer fields, and office uses. Subarea 2 consists of athletic fields and passive recreation space. Subarea 3 consists of a site for a new Norwich Township fire station. The plans show three roundabouts along the new Cosgray Road extension including one at the intersection of Scioto Darby Road and Cosgray Road. Approximately 20 percent of the site will consist of areas for active recreation. The plans indicate that 50 percent of the site will be open space and 22 percent of the site will be natural open space.

Big Darby Accord Watershed Master Plan Issues

- The proposed Cosgray Road extension connection is consistent with that shown on the Hilliard Thoroughfare Plan, MORPC's regional transportation plan, and the Darby Accord General Land Use Plan. The proposed plans indicate that the site will consist of 50 percent open space. The western half of the existing 30.6-acre soccer park located in the northwest portion of the site will be retained and approximately 31.2 acres of park land in the southern portion of the site will feature soccer fields.
- Portions of the wooded areas along Clover Groff Ditch may be impacted by the stream restoration project. The BDAWMP identifies this site as having significant areas of Tier 1 and Tier 3 environmental conservation zones. However, FEMA Flood Insurance Rate Map (Map #39049C0143K; Map Revised 6/17/2008) information indicates that a significant portion of the 100-year floodplain (and therefore Tier 1 land) would be eliminated on this site. The proposed stream restoration would further reduce the area of the 100-year floodplain.
- Figure 3.7 Proposed General Land Use Map identifies the site as Existing Parks and Easements, and Tier 1 and Tier 3 conservation zones. Most of the northern portion of the site is proposed to be developed with a mix of retail and office uses. This alternative land use will be mitigated on site by the stream restoration planned for Clover Groff Ditch and the proposed stormwater management facilities including vegetated swales on each side of the Cosgray Road extension. The proposal will incorporate Low Impact Development principles to disconnect impervious areas, lengthen flow paths, and promote infiltration. The proposal will provide bike/pedestrian path links to adjacent properties and rights-of-way.
- The proposed plan identifies 13 wetlands totaling 6.34 acres including 11 adjacent to Clover Groff Ditch and two located near Alton Darby Road. The wetlands shall be protected/mitigated consistent with the requirements of the USACE and Ohio EPA. Six of the wetlands would be impacted by the proposed stream restoration project and two would be impacted by the proposed athletic field construction. Clover Groff Ditch will be re-aligned and restored using a natural stream channel design which will build meanders into a channelized and entrenched portion of the ditch. A 300-foot-wide Stream Corridor Protection Zone (SCPZ) is proposed along Clover Groff Ditch which will significantly reduce the area of the 100-year floodplain and serve as the SCPZ mitigation plan. The southwest corner of the site includes 100-year floodplain for Hamilton Ditch. Stream restoration for Hamilton Ditch has been completed in that area which should have removed the 100-year floodplain from that portion of the site.
- From Big Darby Accord - Section 3.6 Stream Restoration: Based on the degree of degradation that has been documented for both Clover Groff and Hamilton Runs, stream morphology must be enhanced through some level of restoration to sustain a more desirable aquatic life use designation and to provide a meaningful contribution to the overall water quality within the watershed. The Accord general land use plan indicates a priority stream restoration zone for the entirety of Clover Groff and Hamilton Runs.

Meaningful restoration of these watercourses will likely require extensive physical alteration of the existing stream channels to provide for the appropriate morphology and habitat features.

- From Big Darby Accord – Section 3.7 Floodplain Management: Stream restoration is an anticipated activity within a designated 100-year floodplain and floodway. There may be circumstances where fill is placed within the 100-year floodplain in conjunction with stream restoration.

Transportation, Mobility, and Access Issues

- The subject property is bounded by Scioto Darby Road to the north. The extension of Cosgray Road to the south will divide the site and connect with Alton Darby Road near the southwest corner of the site. Both roadways are listed as major arterials in the City of Hilliard Thoroughfare Plan. The extension of Cosgray Road has been planned for many years to provide for better long term traffic operations. This extension is critical to the future Hilliard infrastructure.
- Access to the proposed development is via a series of roundabouts and unsignalized partial access driveways (without median breaks) on the Cosgray Road extension and one full access driveway on Scioto Darby Road. In addition to all site access points, the intersection of Cosgray Road and Scioto Darby Road and the intersection of Scioto Darby Road and Alton Darby Road were analyzed as part of the traffic study. The Scioto Darby/Cosgray and Scioto Darby/Alton Darby intersections were analyzed as both roundabouts and signalized intersections.
- The intersection of Scioto Darby Road and Cosgray Road will be reconstructed with multi-lane roundabout as part of the project. The Scioto Darby Road/Alton Darby Road intersection will remain signalized since a large volume of traffic will be diverted away from this intersection.
- The 2001 and the 2011 Thoroughfare Plans originally called for the Cosgray Road and Alton Darby Road corridors to be a 4-lane divided roadway. The traffic analysis shows that, in general, the development can be supported by the 2-lane divided Cosgray Road extension with roundabouts, which would better achieve Hilliard's safety goals with fewer vehicle lanes, slower speeds, and controlled access. Right-of-way is being dedicated and preserved to allow for expansion of the roadway in the future, if necessary.
- The project supports the multi-modal connection of existing neighborhoods to parkland and regional trails with the construction of approximately 2 miles of trails along the streets and through the parkland, a sidewalk connection to Heritage Lakes, and two enhanced pedestrian crossings.

Proposed PUD Concept Plan and Text

- The proposed plan shows a mixed-use development with three sub-areas. The text states that the intent is to create a high-quality community center, wellness campus, and athletic complex that will provide new and improved recreational opportunities including a new, larger soccer complex with more parking and greater connectivity to Hilliard Municipal Park.

General Text Standards:

- Section II.A.3. – Final development plans for the community recreation and wellness center, office buildings, or passive recreation facilities within Subarea 1 will be reviewed for approval by the City's administrative staff without the need for Planning and Zoning Commission review provided that the plans conform to the provisions of the PUD text. Final development plans for all other uses within Subareas 1 and 2 and all uses within Subarea 3 will be reviewed for approval by the Planning and Zoning Commission.
- Section II.C.1. – Requires all external lighting to be cut-off type fixtures, except for athletic field lighting which may be flood light or sports light fixtures.
- Section II.F.2. – Requires all mechanical equipment to be screened to the full height of the unit.
- Section II.G.1. – Requires the architecture, quality of design, and exterior materials for any structures to be consistent with those shown on the building elevations and/or renderings included in the PUD Concept Plan.

- Section II.G.2.c. – Requires consistent level of architectural design quality on all sides of each building.
- Section II.H.1. – Requires a 300-foot wide stream corridor protection zone along the Clover Groff Run waterway. Additionally, the existing ditch will be naturalized to enhance its natural filtering capacity.

Subarea 1 (Recreation and Wellness Center / Offices) – 53.09 acres

- Section III.B.1. – Lists community recreation and wellness centers, offices, and passive recreation including trails as permitted uses.
- Section III.B.2. – Lists athletic fields and playgrounds as conditional uses.
- Section III.C.1. – Specifies a 45-foot maximum building height.
- Section III.D.1.a. & b. – Specifies minimum 30-foot building and pavement setbacks from any public right-of-way.
- Section III.D.1.c. – Specifies a minimum 20-foot building setback from any other overall Subarea 1 boundary line.
- Section III.D.1.d. – Specifies a minimum 25-foot pavement setback from all other Subarea 1 boundary lines.
- Section III.E.1. – Limits parking lot lighting to a maximum 28 feet in height for one-story buildings and a maximum 35 feet in height for multiple story buildings.
- Section III.F.1. – Specifies the minimum parking requirement of one space per 300 square feet of gross floor area for community recreation and wellness centers, and one space per 300 square feet of usable floor area for office uses.
- Section III.H.1. – Requires a 3-foot-tall earth mound with a maximum 4:1 slope along the Cosgray Road frontage for office building sites wherever structures do not exist at the building line.
- Section III.J.1. – Requires service courts and loading docks to be screened from all public streets by landscaping, mounding, or walls.

Subarea 2 (Soccer Park) – 67.77 acres

- Section IV.B.1. – Lists public parks, open space and recreational areas, and accessory buildings as permitted uses.
- Section IV.B.2. – Lists Athletic fields and playgrounds as conditional uses.
- Section IV.E.1. – Limits parking lot lighting to a maximum height of 35 feet.
- Section IV.E.2. – Limits athletic field lighting to a maximum height of 90 feet.

Subarea 3 (Fire Station) – 3.32 acres

- Section V.B.1.a. – Lists fire station as a permitted use. Specifies that if meaningful construction has not commenced and progressed meaningfully toward completion within 5 years of the approval of the PUD Concept Plan, then Subarea 3 shall be void and the land will be included in Subarea 1 and be subject to all of the provisions listed for Subarea 1.
- Section V.D.1. & 2. – Specifies minimum 25-foot building and pavement setbacks from all property lines.
- Section V.F.1. – Specifies the minimum parking requirement of one space per bedroom plus one space per 300 square feet of usable floor area for office/administrative area.
- Section V.H.1. – Requires a 3-foot-tall earth mound with a maximum 4:1 slope along the Cosgray Road frontage and the Alton Darby Road frontage wherever structures do not exist at the building line.

[END OF REPORT | PZ-22-67]

As part of the report, Mr. Talentino reviewed the recommendation obtained from the Big Darby Accord Panel earlier in the week. The action taken by the Accord Panel included the following eight non-binding recommendations which Mr. Talentino highlighted and noted could be included as part of the Commission's motion:

- 1) Bike path to be pervious surface and moved to the west as far as possible.

- 2) Maintain any native species existing in the stream restoration zone to the extent practicable while allowing for stream restoration work.
- 3) Invasive species management should be a regular, ongoing, budgeted activity conducted by the City of Hilliard in perpetuity.
- 4) Consideration should be given to utilize above-ground stormwater controls to treat stormwater and provide habitat. Stormwater controls should ensure that water temperatures are reduced before entering the stream system.
- 5) Pull wetlands away from the stream to the extent practicable to provide additional habitat and allow potential for tree shading of the stream.
- 6) Provide natural open space in an amount equal to the land area shown as Tiered land in the General Land Use Plan.
- 7) Allow any wildlife, including beavers, that utilizes the area to remain and do not remove any wildlife habitat modifications that do not pose a threat to public infrastructure or private property.
- 8) Utilize cut-off fixtures and only light the facility during use, absent any safety or security concerns.

Mr. Talentino explained that some of the Accord recommendations may be longer-term to implement, but the Commission could certainly include them in a motion.

Vice Chair Schneck and Ms. Nixon inquired about the wetlands and moving the bike path; Mr. Talentino noted that the intent is to protect the wetlands, but that it may impact usable space. He also explained that as part of the restoration project, most of the area within that zone will be wetland. He also said there is a balance between having wetlands with sufficient shading as to not increase water temperatures.

Ms. Nixon noted that there is great demand for athletic fields and that the plan will not provide enough.

Vice Chair Schneck verified that the existing athletic field parking would remain. He asked about the time limit on the fire station in the development text; Mr. Talentino verified that there is a need for the station, but a time limit was implemented that could be adjusted if necessary in the future.

Mr. Gutknecht asked about a pedestrian crossing across the Clover Groff; Mr. Rausch said that Phase 1 of the stream restoration approved one crossing. He noted that Parks and Recreation had requested one for maintenance on both sides.

Ms. Hale inquired about the plan; Mr. Talentino explained that stormwater management facilities were shown on the previous plan. He said that most now is proposed for underground storage because of the flat topography of the site.

Jennifer Smith, 6256 Heritage Lakes Drive, inquired about buffering between the fields and adjacent residences; Chairman Muether explained that there is a connection to the golf course/subdivision that was provided in stone long ago to limit traffic from the park; Mr. Talentino said that there is no direct connection shown between the athletic fields and the neighborhood. He said that the fields would come back to the Commission as a conditional use and buffering would be part of that review.

Ashley Hoyer, representing the Big Darby Accord Panel, thanked staff for forwarding recommendations to the Commission. He encouraged providing as much natural open space in the plan and implementing stormwater management that will be sensitive to the area.

Chairman Muether, with no additional comment, made a motion to approve the revised PUD Concept Plan under the provisions of Hilliard Code Chapter 1117 for a new recreation and wellness center, commercial, office and park uses on 166.42 acres with the following five conditions:

- 1) That plans are revised to show the boundaries of the 100-year floodplain consistent with the stream restoration work that has been completed on the Clover Groff Ditch and Hamilton Ditch;
- 2) That not less than 50 percent of the site is open space consistent with the previously approved plan for the site;
- 3) That not less than 22 percent of the site is natural open space;
- 4) That plans are revised to show the minimum building and pavement setback lines; and
- 5) That the recommendations made by the Big Darby Accord Panel be considered during design.

Mr. Pannett seconded the motion.

Status:	Approved (6-0) with five conditions. A positive recommendation will be forwarded to City Council.
Mover:	Chairman Jay Muether
Second:	Tom Pannett
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Tracey Nixon, Tom Pannett, William Uttley.

CASE 4: PZ-22-69 – TARLTON MEADOWS OPEN SPACE – SECTION 3, RESERVE E

PARCEL NUMBER: 050-011708

APPLICANT: Tarlton Meadows Homeowners Association Inc., 5500 Blazer Parkway Suite 175, Dublin, OH 43017; c/o Jim Hilz, EDGE Landscape Architects, 475 Metro Place South, Suite 200, Dublin, OH 43017

REQUEST: Review and approval of a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Tarlton Meadows PUD Concept Plan and Text for open space landscaping and maintenance.

[Ms. Shaffer gave the staff report]

BACKGROUND:

The site consists of 9.685 acres located on the south side of Hayden Run Road approximately 1,200 feet west of Cosgray Road. On April 23, 2012, Council adopted Ordinance 12-21 approving a PUD Concept Plan and Development Text for the construction of 92 single-family lots and 10.3 acres of commercial uses on 57.6 acres. The final plat for Section 3 of the development was approved by the Commission on May 9, 2019, and was accepted by City Council through Resolution 10-R-56 on June 10, 2019.

The applicant is now requesting a revised Final Development Plan to modify required landscaping and maintenance for Reserve “E”.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1117.08 and the Buck Property PUD Development Plan and Text. The Code specifically provides the following requirements for making modifications to an approved PUD Final Development Plan, development text or zoning map in Section 1117.06 of the Code:

- The proposed development is consistent with the purpose of the PUD in Section 1117.01;
- The proposed development meets the qualifying conditions as outlined in Section 1117.02;
- The PUD is consistent with the recommendations of the Hilliard Comprehensive Plan;

- The development is compatible with the existing and intended uses surrounding the site;
- The design and layout is harmonious with the natural character of the site and surrounding area and employs best management practices to ensure their conservation;
- The proposed development does not place undue burdens on public facilities and services;
- The PUD includes uses or conditional uses that are not injurious to public health, safety and welfare;
- The development conforms to the requirements of the Code unless specifically modified and approved;
- The final development plan is substantially consistent with the approved Concept Plan for the PUD; and
- Approval will result in a recognized and substantial benefit to the users of the project and the community in a way not otherwise feasible under conventional zoning.

Following approval by the Commission, the applicant can move forward with the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed revised Final Development Plan, as revised in the conditions listed below, is generally consistent with the nature and intent of Hilliard City Code Section 1117.06 and the Buck Property PUD Development Plan and Text. Based on this finding, staff recommends approval of the revised Final Development Plan for Tarlton Meadows Section 3 Reserve “E” with the following three conditions:

- 1) That all of zones “A” and “B” be cleared of all scrub and noxious weeds;
- 2) That all of zones “A” and “B” are graded and seeded with manicured lawn and maintained annually at a Code-compliant height of 6" or less during mowing season (March 1 – November 30); and
- 3) That existing trees shall be permitted to remain.

CONSIDERATIONS:

- *Site Context.* The site consists of the western portion of the residential area of the Buck Property PUD and is surrounded by other PUD-zoned properties. Commercial portions of the PUD are located to the north and west and include a landscape/greenhouse business. The southwest edge of Reserve “E” is bordered by the Heritage Rail Trail, and single-family homes are located to the east as part of Tarlton Meadows Section 3. A 50-foot-wide access easement extends from Meadowview Lane through Reserve “E” to the commercial portion of the PUD consistent with the provisions of the PUD Concept Plan.
- *Original Approved Landscape Plan.* The original PUD zoning and development plan called for perimeter plantings of various approved tree and grass species including 24 Green Colorado Spruce, 17 Douglas Fir and 38 Kwanzan Cherry Trees throughout the property. Plans for the reserve indicated a six-foot mound along the Heritage Rail Trail and wetlands that would be preserved and maintained. During the review of the final plat for Section 3, it was determined that no seasonal wetland existed.
- *Code Enforcement.* An enforcement case originated in July 2021 when a resident complained that Reserve “E” had not been landscaped or maintained in accordance with the approved PUD plan and City Code. The developer was notified of the Code violation and staff has been working for over a year to encourage compliance. Enforcement issues continued throughout 2022 as no maintenance or mowing took place. The applicant submitted this application as a response to the ongoing enforcement action. *Reserves within the Tarlton Meadows development have not been turned over from the developer, Pulte Homes, to the residents. Staff believes that the issue must be resolved as part of commitments made by the developer at the time of the rezoning.*
- *City Forester Review.* Upon site visit with the City Forester, staff determined that there is an abundance of poison hemlock throughout the entire parcel. The City Forester recommended that the area be not permitted to grow as it will result in invasive plant species and noxious weeds continuing to grow.
- *Proposed Plan Modification.* The developer is proposing to split Reserve “E” into two zones (zones A and B respectively) with the following maintenance plan:

Landscape Zone 'A':

- Location: Between lots 47 and 48, from Meadowsvue Lane westward, to a mow line extending north-south, of at least twenty-five (25) feet from the rear of lots 41 through 51, and varying up to 75' from the rear of lots 47 through 51.
- Maintenance Standard: This zone shall receive regular mowing and care to keep the existing ground cover at a height not to exceed six (6) inches.

Landscape Zone 'B':

- Location: all remaining areas outside of Landscape Zone 'A'.
- Maintenance Standard: This zone shall be maintained as a naturalized area. Existing vegetation and ground cover shall be permitted to remain in a successional growth state.
- Signage: signs shall be located within this zone, along the mow line. This signage shall be painted metal, green background with white text. Signs shall be mounted at a thirty-six (to 36) inch height maximum and shall be spaced at two hundred (200) feet along the mow line. The text shall read as follows: "Successional Growth Area – Do Not Mow".

- Staff finds that the proposal will not be compatible with the adjacent residential properties and is not consistent with the Buck Property PUD development text which states that "The residential portion of the development will be similar in character to Hoffman Farms and The Estates at Hoffman Farms to the south."

[END OF REPORT | PZ-22-69]

Ms. Shaffer noted for the Commission that staff is recommending an additional condition that was not listed within the staff report:

- 4) That reserve areas not be turned over to the HOA until such time as maintenance of Reserve E and other open spaces have been carried out to the satisfaction of staff.

Chairman Muether noted that the pictures of the reserve indicated a significant amount of grade change; Mr. Gutknecht commented that he questions why the Commission did not execute the approved plan with mounding and trees. Chairman Muether commented that trees clearly were not installed.

Ms. Hale asked if the existing trees were replacements; Mr. Talentino said that they were existing trees and much of the soil appears to have been dumped by the developer. He said that natural areas were not necessarily a bad thing, but a proposal is needed that clearly provides for maintenance and proper installation.

Tom Hart, representing Pulte Homes, addressed the Commission and said that they were working to create a compliance plan with staff that would address issues. He said that some combination of natural and turn makes sense, but not seeding and mowing the entire reserve. Mr. Hart said that topography limits their ability to mow effectively and admitted that the original landscape plan was not executed. He said that the applicant needs a plan to take care of the noxious plants and invasives and would like to meet with staff at the site in March to create a maintenance plan. He said that areas with topography need to be cleaned up and top-dressed and that the applicant would like to meet again in the fall and also have a couple seasonal reviews with staff. Mr. Hart voiced concern about the extent of the turf and the long-term cost to the homeowners.

Chairman Muether asked if residents were involved in creating their plan; Mr. Hart admitted they had not. Mr. Hart went on further to say that more screening with trees is needed.

Jim Sotak, 5163 Meadowsvue Lane, addressed the Commission and said they had no involvement. He said the mounds were pushed into the field by the bulldozers and were left. Mr. Sotak said that residents have been dealing with noxious weeds and that Pulte and the HOA have been irresponsible. He said no trees were planted

and there is construction debris embedded in the soil. He said the HOA has not created a budget for this year pending the results of this meeting and that they have not mowed for the last two years.

Justin Cimino, 5182 Meadowview Lane, explained that trees and grass shown in the pictures behind some of the lots were planted by the individual homeowners. He said nothing was graded or mowed, pointing out that somehow mounding in other communities is regularly mowed.

Chairman Muether asked if there is a timeline for the improvements; Mr. Talentino said that the Commission can set a timeline for the improvements. Once approved by the Commission, implementation will start or there will be further enforcement action.

Ms. Hale asked if there are city recommendations for site grading; Mr. Talentino noted that 3:1 slopes or greater start to get much more difficult to mow. He said there needs to be a plan with some level of regrading, that identifies what happens to current plants, states what is added and then includes a maintenance plan.

Ms. Hale suggested that construction debris is added to condition #1

Mr. Uttley stated that the improvements need to happen soon and that it will take time to establish a quality natural area; Mr. Gutknecht was concerned that there were not enough concrete details about the plan as it was proposed.

Mr. Pannett made a motion to approve a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Tarlton Meadows PUD Concept Plan and Text for open space landscaping and maintenance with four conditions:

- 1) That all of zones "A" and "B" be cleared of all scrub and noxious weeds;
- 2) That all of zones "A" and "B" are graded and seeded with manicured lawn and maintained annually at a Code-compliant height of 6" or less during mowing season (March 1 – November 30); and
- 3) That existing trees shall be permitted to remain.
- 4) That reserve areas not be turned over to the HOA until such time as maintenance of Reserve E and other open spaces have been carried out to the satisfaction of staff; and

Mr. Talentino asked for clarification about Condition #2 and additional discussion occurred regarding what would remain natural.

Mr. Hart committed that there would be significant work in Zone "B" that would include finished grading and smoothing topography, as well as clearing things up and removing rocks to prepare for natural succession. He said it does not make sense to remove all the topography.

Mr. Cimino said that Zone "B" is the area of concern where all of the spoils were dumped from digging basements.

Mr. Sotak noted that the hill in one of the images is in Zone "A" and causes water to pond in all of the backyards and should not be forgotten.

Mr. Talentino clarified that a maintenance plan will include both zones.

Mr. Pannett amended his motion as follows with Ms. Nixon providing a second:

- 1) That all of zones "A" and "B" be cleared of all scrub and noxious weeds;
- 2) That all of zone "A" be graded and seeded with manicured lawn and maintained annually at a Code-compliant height of 6" or less during mowing season (March 1 – November 30);
- 3) That existing trees shall be permitted to remain;

- 4) That reserve areas not be turned over to the HOA until such time as maintenance of Reserve E and other open spaces have been carried out to the satisfaction of staff; and
- 5) That the applicant develop a maintenance plan for zones “A” and “B” with staff and that it be brought back to the Commission for further review and approval.

Status:	Approved (6-0) with five conditions.
Mover:	Mr. Tom Pannett
Seconder:	Ms. Tracey Nixon
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Tracey Nixon, Tom Pannett, William Uttley.

CASE 5: PZ-22-70 – MERCHANTS NATIONAL BANK – 3649/3695 FISHINGER BOULEVARD

PARCEL NUMBER: 050-007274

APPLICANT: DC MRH Medical LLC / Alkire Offices LLC, 4653 Trueman Avenue, Suite 100, Hilliard, OH 43026; c/o Christopher Tebbe, Tebbe Civil Engineering, LLC., 4700 Lanehurst Court, Suite 135, Dublin, OH 43016.

REQUEST: Review and approval of a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Mill Run PUD Concept Plan and Text for a drive-up ATM in an existing retail parking lot.

[Mr. Combs gave the staff report]

BACKGROUND:

The site includes a 5.6-acre parcel located between Fishinger Boulevard and Park Mill Run Drive on the east side of I-270. The site includes a commercial retail center and parking lot located between Floor & Decor and Lowe’s Home Improvement (located in the City of Columbus). The parcel is located at the main boulevard entrance from Fishinger Boulevard for the shopping center and outparcels along the arterial. The portion of the site proposed for the ATM is situated at the northeast corner of the parking lot adjacent to the service drive that runs north-south and provides access for all of the outparcels located along Fishinger Boulevard.

This is a proposed modification of the previously approved final development plan to allow for the conversion of excess parking spaces to accommodate a drive-up ATM and required drive aisle with stacking.

COMMISSION ROLE:

The Commission is to review the proposed PUD Final Development Plan modification for conformance to the provisions of the Mill Run PUD Concept Plan. The Commission is also to review this final development plan modification for conformance to the PUD provisions of the Zoning Code as outlined in the PUD provisions of Chapter 1117. Specifically, the Code provides for the granting of final development plan approval under the criteria as outlined by Section 1117.06:

- Whether the proposed development is consistent with the purposes and conditions of the PUD Zoning District;
- Whether the proposal is consistent with the Hilliard Comprehensive Plan and is compatible with existing and potential uses around the property;
- Whether the layout and design is harmonious with the natural character of the surrounding area and site and employs best management practices;
- Whether the proposed project will place undue burden on public facilities and services;

- Whether the PUD will contain uses or conditions that may be injurious to the public health, safety and welfare;
- Whether the proposed development conforms to Code requirements unless specifically modified and approved in accordance with Chapter 1117;
- Whether the final development plan is generally consistent with the approved Concept Plan; and
- Whether the approval will result in a recognizable and substantial benefit to users of the project and the community, which would not otherwise be feasible under conventional zoning districts.

Following approval by the Commission, the applicant can move forward with final engineering and submit for any necessary permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed revised Final Development Plan is generally consistent with the nature and intent of Hilliard City Code Section 1117.06 and the Mill Run PUD Development Plan and Text. Parking resources for the retail center are highly underutilized, and staff finds that the proposed accessory use would have little impact on the surrounding area. Based on this finding, Staff recommends approval of the revised Final Development Plan for a drive-up ATM with the following six conditions:

- 1) That existing parking lot landscaping adjacent to the proposed ATM be preserved;
- 2) That the proposed bollards be painted black to match the canopy;
- 3) That a maximum of two sign panels on the canopy be permitted to identify the business and that "ATM" be permitted on the remaining two sides, subject to staff approval;
- 4) That the site survey updated to the satisfaction of the City Engineer;
- 5) That the applicant acquires commercial plan approval and receive a building permit and electrical permit prior to installation; and
- 6) That sign permits be obtained prior to installation.

CONSIDERATIONS:

- *General Design.* The proposed detached ATM kiosk will be located at the northeast corner of the site within the existing retail parking lot. The ATM unit will be a gray colored box and will include a 4-post canopy to be painted black. The metal canopy will be 120" in length and 72" wide to help protect the ATM unit. Four bollards will be located around the ATM unit for safety/security. Staff recommends that the bollards be painted black to match the canopy.
- *Site Plan/Layout.* The proposed ATM will result in the removal of nine spaces from the existing parking lot. Parking on this parcel within the retail center includes 131 spaces on the south side of the entrance drive with additional parking to the north and behind the retail building. Parking is under-utilized and the removal of spaces for the ATM will not impact resources. The ATM and canopy will be placed on a concrete pad and provide for one space in front of the ATM for transactions and an additional stacking space.
- *Canopy Signage.* A sign panel is proposed for each side of the ATM canopy. The zoning code permits a maximum of 1-square foot of signage for an ATM. The code, however, is established for ATMs that are part of site with a full-service bank. The Code does not address stand-alone ATMs on other sites such as retail centers. Proposed sign panels would be opaque and would be internally illuminated with ¼-inch push-through lettering that complies with Code. Staff recommends that two sign panels be permitted to identify the business name/logo and that the remaining two sides identify "ATM" or not be included:

CANOPY SIDE	SIGN DIMENSIONS	SIZE
Front/Rear sign panels	96" x 16"	12.89 square feet

Side sign panels	60" x 16"	7.56 square feet
------------------	-----------	------------------

- *Landscaping.* The proposed ATM lane will include the removal of some curbing and addition of landscape area that will be curbed and seeded. Existing parking lot landscaping should be maintained as part of the construction based on the approved PUD plan.
- *Lighting.* The ATM canopy includes canned downlighting to illuminate the ATM console and will be provided electric from the adjacent parcel in Columbus. Building and electrical permits will be required. No formal civil plan set submission will be required, but the site survey must be updated to include spot elevations to confirm grading and a profile of the proposed electric where it crosses stormwater infrastructure.

[END OF REPORT | PZ-22-70]

Christopher Tebbe, representing the applicant, noted that the project would utilize nine parking spaces and would increase greenspace. He said that final drawings would be created and submitted.

Jason Hanners, Merchants National Bank, requested that covers be permitted for the bollards; Mr. Muether noted that the condition could be modified.

Without further discussion, Mr. Gutknecht, seconded by Vice Chair Schneck, made a motion to approve a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Mill Run PUD Concept Plan and Text for a drive-up ATM in an existing retail parking lot with the following six conditions:

- 1) That existing parking lot landscaping adjacent to the proposed ATM be preserved;
- 2) That the proposed bollards be painted or covered black to match the canopy;
- 3) That a maximum of two sign panels on the canopy be permitted to identify the business and that "ATM" be permitted on the remaining two sides, subject to staff approval;
- 4) That the site survey is updated to the satisfaction of the City Engineer;
- 5) That the applicant acquires commercial plan approval and receive a building permit and electrical permit prior to installation; and
- 6) That sign permits be obtained prior to installation.

Status:	Approved (6-0) with six conditions.
Mover:	Mr. Eric Gutknecht
Second:	Vice Chair Bevan Schneck
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Tracey Nixon, Tom Pannett, William Uttley.

CASE 6: PZ-22-71 – MOO MOO EXPRESS CAR WASH – 3880 BROWN PARK DRIVE

PARCEL NUMBER: 050-007563

APPLICANT: Moo Moo Cemetery Hilliard LLC., 13375 National Road SW, Suite D, Reynoldsburg, OH 43068; c/o Jeff Gilger, Express Wash Concepts, 13375 National Road SW, Suite D, Etna, OH 43068; c/o Kelly Roth, Morrison Sign Company Inc., 2757 Scioto Parkway, Columbus, OH 43221.

REQUEST: Review and approval of variances under the provisions of Hilliard Code Section 1129.08 for a comprehensive sign package for a 4,900-square-foot car wash.

[Ms. Shaffer gave the staff report]

BACKGROUND:

The site includes a 0.8-acre parcel located at the northeast corner of Cemetery Road and Brown Park Drive within the Brown Commerce Park. The original car wash was constructed in the late 1980's according to development requirements at that time. In 1994, a lot split was approved and the car wash sold to the operators. The site includes a full access point onto Cemetery Road provided through a shared access easement with the adjacent auto repair site (now ATL Total Car Care) as part of that lot split.

In 1998, the 4,600-square-foot car wash was granted approval for a 1,200-square foot detailing bay addition to the west side of the building. The car wash received a Level "A" site plan approval by staff in 2018 to install 8 vacuum canisters along the west side of the building, and the Planning and Zoning Commission (October 2019) approved a sign variance to permit an internally illuminated menu board.

On June 16, 2022, the Board of Zoning Appeals approved variances to reduce the required parking setback along Brown Park Drive from 20 feet to 16 feet, to reduce the maneuvering lane width for one-way stacking lanes from 14 feet to 11.25 feet, and to reduce the required landscaping for perimeter parking lot from 180 to 112 shrubs.

The applicant is now requesting a comprehensive sign package consisting of the following signage:

Sign A	31-square foot wall sign
Sign B	31-square foot wall sign
Sign C	32-square foot ground sign (with internal push-through illumination)
Sign D	Internally illuminated LED "Open" sign (no size provided)
Sign E	Internally illuminated "Drying" sign with advertisement frame (no size provided)
Sign F	"Members Only" canopy sign with height clearance signage (no dimensions or illumination details provided)
Sign G	"Cash Credit Club" canopy sign with height clearance signage (no dimensions or illumination details provided)
Sign H	9.93-square foot internally illuminated digital menu board
Sign I	"Responsibilities" (no illumination or dimensional details)
Sign J	"Stop" sign (no dimensions provided)
Sign K	4-square-foot "Do Not Enter" sign
Sign L	4-square foot "Exit" sign

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner's predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

Following approval by the Commission, the applicant is responsible for obtaining a sign permit prior to installation for each sign that conforms to the requirements and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the sign package, as proposed, represents a significant departure from the provisions of the Sign Code concerning the number of signs and is not consistent with the spirit or intent of the Sign Code. Staff finds that the sign package, as amended in the conditions listed below, is generally consistent with the provisions of the Sign Code. Based on these findings, staff recommends approval of the sign package with the following seven conditions:

- 1) That the following signs are eliminated as they are excessive and unnecessary: Signs “D”, “F”, “G” (except for the maximum height notice on the clearance bar), “J”, “K”, and “L”;
- 2) That Sign “E” be revised to remove advertising and be no larger than 12 square feet in size, no greater than 7 feet in height and be placed no more than 7 feet from the car wash exit door;
- 3) That Sign “I” shall be located within the interior of the building;
- 4) That the digital menu reader board (sign “H”) be no more than 9.5 square feet in area, no greater than 6 feet in height and include no more than 4 colors;
- 5) That the ground sign (sign “C”) landscaping meet Code requirements for screening;
- 6) That no additional signage is permitted on the site without prior approval from the Planning and Zoning Commission; and
- 7) That sign permits are obtained for any sign prior to installation.

CONSIDERATIONS:

- *Site Context.* The site is zoned B-2, Community Business District and is bordered by B-2 properties to the North, East, and across Brown Park Drive to the West. Properties to the South across Cemetery Road are zoned PUD, Planned Unit Development District.
- *Zoning Approval.* Moo Moo Express Car Wash obtained their approved Zoning Certificate to operate as a use within the B-2 zoning district on October 6, 2022 and is currently under construction.
- *Sign Code Intent.* City Code Section 1129.01(a) states “The regulations of this chapter are intended to provide reasonable identification for businesses and other uses within the community; but are not intended to serve as a means of advertising.”
- *Variable Message Boards.* City Code Section 1129.04 prohibits electronic variable message signs. Sign “D” in the proposed plans is considered an electronic variable message sign and is therefore prohibited.
- *Advertising.* The Sign Code expressly discourages advertising, and Sign “E” includes an open frame to specifically provide for product advertisement. Based on visits to other locations around Central Ohio, additional advertising is placed throughout their locations.
- *Internal Illumination.* City Code only permits internal illumination for signage if the sign is comprised of ¼-inch push-thru graphics with opaque lettering. Sign “H” (the digital menu board) is implied to have internal illumination, but it is not clear of the lighting components or style.
- *Directional Signage.* City Code Section 1129.05 limits onsite directional signage to a maximum size of 2 square feet, a maximum overall height of 3 feet, and restricts the ability to display logos or advertisements. Signs “J,” “K,” and “L” would be considered directional signage. Signs “K” and “L” are proposed as 4 square feet, and the size of sign “J” is not shown on the proposed plans. All signs are shown to have an overall height of 6 feet above grade. Signs “K” and “L” have logos and advertisements included.
- *Maximum Colors.* City Code Section 1129.02(b)(2) limits the maximum number of colors for all signs in the City to 4 total colors. Signs “D,” “E,” “I,” and “K” in the proposed sign package each have more than 4 colors.

[END OF REPORT | PZ-22-71]

Ms. Shaffer noted in the report an additional condition:

- 8) That no outdoor speakers are permitted for this operation.

Mr. Schneck inquired whether Sign “I” could be placed in the building; Ms. Shaffer identified a potential location on the elevation.

Jeff Gilger, Moo Moo Car Wash, said that signage for discussion is directional in nature. He said that the digital menu board would not be visible from Cemetery Road. (It was noted that the menu board face meets Code requirements.) Mr. Gilger noted that Sign “I” was not shown in the right location and would go on the north elevation by the entrance. (Plans submitted by the sign contractor were incorrect) He said there would be no identification sign on the north elevation. He also said that the canopy signs were also reversed and the clearance bars were for safety. Mr. Gilger said that advertising panel was not necessary under the exit sign.

Mr. Uttley explained the importance of limits on color and said that some of the signs are excessive. He noted that the previous owner did not need all the proposed signs to operate.

Mr. Schneck asked about other locations; Mr. Norton noted that this is the first time they have experienced this level of review on their signage.

Ms. Shaffer explained that the identification signs (two wall signs and one ground sign) complied with Code and could receive permits. [The other directional and information signs required review]

The Commission then discussed the various signs and Mr. Uttley noted that advertising signs were not necessary. [additional discussion ensued regarding the exit signs and the proposed location]

Mr. Norton said that sign “J” was just a stop sign; sign “K” would be okay without the graphic but is necessary to prevent people from cutting through the bail out lane; and sign “L” he is okay with eliminating from the plan.

[Discussion ensued regarding how to amend the individual conditions]

Mr. Norton said that there is normally light background music that tends to cause people to avoid playing their car stereos loudly. Ms. Nixon said she would be okay with the speakers.

With no comment from the audience, Ms. Nixon made a motion to approve variances under the provisions of Hilliard Code Section 1129.08 for a comprehensive sign package for a 4,900-square-foot car wash with the following eight conditions:

- 1) That the following signs are eliminated as they are excessive and unnecessary: Signs “D” and “L”;
- 2) That Sign “E” be revised to remove advertising and be no larger than 12 square feet in size and no greater than 7 feet in height;
- 3) That Sign “I” shall be located on the north elevation of the building;
- 4) That the digital menu reader board (sign “H”) be no more than 9.5 square feet in area and no greater than 6 feet in height;
- 5) That the ground sign (sign “C”) landscaping meets Code requirements for screening;
- 6) That no additional signage is permitted on the site without prior approval from the Planning and Zoning Commission;
- 7) That sign permits are obtained for any sign prior to installation; and
- 8) That there be no logo on Sign “K”.

Vice Chair Schneck seconded the motion.

Status:	Approved (6-0) with eight conditions.
Mover:	Ms. Tracey Nixon
Second:	Vice Chair Bevan Schneck
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Tracey Nixon, Tom Pannett, William Uttley.

CASE 7: PZ-22-72 – GRANITE INLINER LLC – 4350 WEAVER COURT NORTH

PARCEL NUMBER: 050-002994 (Northwest Industrial Complex Section 3, Lots 19 and 20)

APPLICANT: Granite Inliner LLC, PO Box 50085 Watsonville, CA 95077; c/o Stephen Aaron Carr, Granite Inliner LLC, 4350 Weaver Court North, Hilliard, OH 43026.

REQUEST: Review and approval of a lot split under the provisions of Hilliard Code Section 1188.05 to create a ± 7.134 -acre parcel from a 14.67 parcel.

[Mr. Runnels gave the staff report]

BACKGROUND:

The site is 14.671 acres located on the east side of Weaver Court North approximately 700 feet north of Northwest Parkway. The CSX railroad property is on the east side of the site. The site has multiple utility easements along the east and north property lines. The northern portion of the site features a significant number of existing trees and three existing wetlands. The applicant is requesting approval of a lot split.

The parcel was originally one tract that totaled ± 18.47 acres. On November 8, 2018, the Commission approved a lot split and a Level B Site Plan for this site that split a 3.802-acre section from the southern end of the parcel, which left ± 14.67 acres on the northern portion. The applicant is now requesting a lot split to create a ± 7.134 acre parcel from the remaining ± 14.67 acre parcel. The original Northwest Industrial Complex Section 3 plat had this property split as 2 lots (lots 19 and 20), which were to be ± 7.134 acres and ± 11.338 acres respectively, but this proposed split would create 3 total lots, which would equal ± 7.134 acres (the northernmost portion), ± 7.536 acres (the central portion), and ± 3.802 acres (the southernmost portion) respectively.

COMMISSION ROLE:

The Commission is to review the proposed lot split for conformance to the provisions of Code Section 1188.05. Specifically, the Code provides for the granting of a lot split under the review criteria as outlined in Code Section 1188.05:

- Whether the design and layout of all subdivisions shall conform with the requirements of the Hilliard Design Manual.
- Whether the proposed lot split meets the minimum requirements adopted for the protection of the public health, safety and welfare. To protect the public among other purposes, such provisions are intended to provide for a permanently wholesome community environment, adequate public services and safe streets and highways.

STAFF RECOMMENDATION:

Staff finds that the proposed lot split is consistent with the provisions of Code Section 1188.05 and generally meets the spirit and intent of the Code. Based on this finding, staff recommends approval of the proposed lot split with the following three conditions:

- 1) That descriptions for any necessary stormwater management easements be provided as part of the legal exhibits for the proposed lot split to the satisfaction of the City Engineer;
- 2) That the legal description and exhibits for the lot split/deed transfer meet the requirements of the City Engineer for format and content; and
- 3) That the lot split/deed transfer is recorded and that evidence thereof is provided to City staff.

CONSIDERATIONS:

- *Site Overview.* The site is zoned M-1, Restricted Industrial District. The site is bounded on the East, South, and West by other M-1 properties, and is bounded to the North by a single-family residential PUD.
- *District Overview.* The M-1 District is established for light industries such as light manufacturing or processing of previously refined materials and other industrial uses that have little or no adverse impact upon neighboring districts. This district also allows certain commercial uses of an industrial character or that are necessary to provide services to employees within the district.
- *Dimensional Development Standards.* The M-1 district requires a minimum lot area of one acre and a minimum lot width of 100 feet. This zoning district has a maximum building height of 45 feet and a maximum lot coverage allowance of 30%. The following development standards also apply, and the proposed lot split conforms to all of the dimensional requirements of the M-1 Zoning District:

Minimum front parking setback	25 feet
Minimum front building setback	50 feet
Minimum side yard setback	20 feet
Minimum rear yard setback	40 feet
Maximum outdoor storage area	10% lot coverage

- *Stormwater.* A comprehensive stormwater plan to be approved by the City Engineer is requested as a condition of approval.

[END OF REPORT | PZ-22-72]

Mr. Joe Davis, representing Granite Inliner, stated that he agreed with the conditions.

With no public comment, Vice Chair Schneck made a motion to approve a lot split under the provisions of Hilliard Code Section 1188.05 to create a ± 7.134 -acre parcel from a 14.67 parcel with the following three conditions:

- 1) That descriptions for any necessary stormwater management easements be provided as part of the legal exhibits for the proposed lot split to the satisfaction of the City Engineer;
- 2) That the legal description and exhibits for the lot split/deed transfer meet the requirements of the City Engineer for format and content; and
- 3) That the lot split/deed transfer is recorded and that evidence thereof is provided to City staff.

Chairman Muether seconded the motion.

Status:	Approved (6-0) with three conditions.
Mover:	Vice Chair Bevan Schneck
Second:	Chairman Jay Muether
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Tracey Nixon, Tom Pannett, William Uttley.

CASE 8: PZ-22-73 – HOMESTEAD DEVELOPMENT – HICKORY CHASE WAY – ANSMIL PUD SUBAREA E1

PARCEL NUMBER: 050-0011430

APPLICANT: Greenwich Investors Hickory Chase LLC., 6279 Dupont Station Court E., Jacksonville, FL 32217; c/o Glen Dugger, Smith & Hale LLC, 37 W. Broad Street, Columbus, OH 43215.

REQUEST: Review & approval of a PUD Development Text modification under the provisions of Hilliard Code Chapter 1117 to increase the maximum number of non-age restricted residential dwellings from 500 to 760 to permit a development of 264 multi-family dwelling units on 15.04 acres.

[This case was postponed to the February 2023 meeting]

BACKGROUND:

The site is 15.036 acres located on the west side of Britton Parkway approximately 1,800 feet south of Davidson Road. It consists of a portion of the Ansmil PUD within Subarea E1. On December 13, 1999, City Council approved Ordinance 99-57 to create the Ansmil PUD to establish a 320-acre development south of Davidson Road. By passing Resolution 07-R-08, Council modified the PUD to create Subarea E1 for the purposes of establishing a Continuing Care Retirement Community. A final plat for the central portion of Britton Parkway, Anson Drive and the Leap Road roundabout was approved by the Planning Commission and City Council on November 8, 2007.

On February 9, 2015, City Council approved a resolution (14-R-86) to modify the Ansmil PUD to establish Subarea E1 boundaries, permitted uses, and development standards for the development of the Erickson Retirement Communities development. After not completing the project, an additional PUD text modification was made (Resolution 14-R-86) to eliminate text requirements for a Continuing Care Retirement Community as a primary use. That modification to uses included that senior residential, non-age restricted residential dwellings are restricted to 500 dwelling units and allowed libraries, parks, recreational uses, offices, financial institutions, eating and drinking places, neighborhood businesses, personal services and home occupations. The Greyson at Hickory Chase was developed along Leap Road and includes 23.6 acres.

Resolution 22-R-36 modified Subarea E1 standards in 2022 to establish building and pavement setbacks and architectural standards for the Verena at Hickory Chase just north of the proposed site. The Verena at Hickory Chase includes a one-story cottage development that is currently under construction along Hickory Chase Way.

The applicant is now requesting approval of a modification of the Ansmil PUD Development Text for Subarea E1 to increase the number of non-age restricted dwelling units from **500 to 760** to permit the development of a 264-unit development. Subarea E-1 is currently zoned for 850 continuum of care units and 500 non-age restricted units.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1117.08 and the Ansmil PUD Concept Plan. The Code specifically provides the following requirements for making modifications to an approved PUD Final Development Plan, development text or zoning map in Section 1117.06 of the Code:

- The proposed development is consistent with the purpose of the PUD in Section 1117.01;
- The proposed development meets the qualifying conditions as outlined in Section 1117.02;
- The PUD is consistent with the recommendations of the Hilliard Comprehensive Plan;

- The development is compatible with the existing and intended uses surrounding the site;
- The design and layout is harmonious with the natural character of the site and surrounding area and employs best management practices to ensure their conservation;
- The proposed development does not place undue burdens on public facilities and services;
- The PUD includes uses or conditional uses that are not injurious to public health, safety and welfare;
- The development conforms to the requirements of the Code unless specifically modified and approved;
- The final development plan is substantially consistent with the approved Concept Plan for the PUD; and
- Approval will result in a recognized and substantial benefit to the users of the project and the community in a way not otherwise feasible under conventional zoning.

Following a recommendation by the Commission, a resolution for the proposed PUD text modification will be forwarded to City Council for review and approval. The proposed change in use will become effective 60 days following Council's approval. The applicant will be required to return to the Planning and Zoning Commission for Final Development Plan approval.

STAFF RECOMMENDATION:

Staff finds that the proposal can be a harmonious part of the Ansmil PUD. Staff finds that the proposal, as revised per the staff comments below, will be generally consistent with the provisions of Hilliard Code Section 1117.08 and the intent of the Ansmil PUD Zoning Development Plan and Text. Staff finds that the proposed PUD modification is consistent with the approved PUD Concept Plan which currently permits higher density residential uses. Staff finds that the proposed change in type of units will have beneficial impacts on fire and safety services, income generation and increased workforce housing options near the I-270 employment corridor. Staff finds that such modification is not in conflict with the general health, safety and welfare of the public or the development standards of the PUD district. Based on these findings, staff recommends approval of the proposed PUD modification to Subarea E1 with four conditions:

- 1) That the text be revised to indicate that non-age restricted residential dwellings are not to exceed 760 units (+260), that continuum of care units are not to exceed 590 units (-260), and that no three-bedroom units or larger will be permitted for this particular development;
- 2) That proposed conceptual architecture be included within the text to demonstrate the level of quality for proposed buildings and materials;
- 3) That all text modifications be finalized prior to scheduling for City Council; and
- 4) That all Final Development Plan details, including stormwater management and landscaping, be brought back to the Commission for final review and approval.

CONSIDERATIONS:

- The site is located along Britton Parkway with access via Hickory Chase Way. The property includes multiple ponds that are part of stormwater management for the larger Ansmil development. The southern property line includes substantial vegetation that provides a barrier to undeveloped land (Subarea C5) to the south that fronts Anson Drive. Across Britton Parkway to the east is additional undeveloped land within the Ansmil PUD in Subareas C3 and C4.
- To the north is city parkland, the Hilliard Branch of the Columbus Metropolitan Library and the Verena at Hickory Chase (Subarea E1), which provides continuum of care units. The Greyson at Hickory Chase is located to the west of the site (Subarea E1) and includes a total of 492 residential units that are non-age restricted, leaving eight available non-restricted units available within Subarea E1.

COMPREHENSIVE PLAN:

- The Comprehensive Plan recommends the site for Senior Housing uses. These areas may contain a variety of housing types and incorporate professional services intended to serve area residents. This area should

include well defined passive green space with pedestrian access. Where possible, such facilities should be designed to encourage safe and convenient access to nearby retail uses and amenities.

- Building heights of 1 to 5 stories and net densities of 10-20 dwelling units per acre are recommended.

CURRENT PERMITTED USES:

- Permitted uses within the Subarea E1 text include Continuing Care Retirement Community, attached residential dwellings, attached residential dwellings with assisted care and/or long-term skilled nursing care, a long list of accessory uses to the Continuing Care Retirement Community and park. The text limits non-age restricted units to 500.

PROPOSED TEXT MODIFICATION:

- Section A.1.b. of the Subarea E1 text indicates... “non-age restricted residential dwellings not to exceed 500 units provided, however, not more than 15% of such units may be 3-bedroom units, and 4- and 5-bedroom units are prohibited.” ***The proposed text amendment would increase the number of non-age restricted units to 760.*** A recommendation on this text change is requested and all final development plan details for the development would be brought back to the Commission for final approval.

CONCEPTUAL PLAN:

- **Site Layout.** Proposed development of the site includes a generally circular layout with two access points from the existing entry feature pond at Hickory Chase Way and Britton Parkway. Interior green spaces are provided for residents as part of the layout, and the natural area along the southern edge of the site will be maintained. The proposed plan includes a total of 11 residential buildings in two sizes, as well as a clubhouse with pool and sports courts. The concept plan includes 264 total residences that will include 96 one-bedroom units and 168 two-bedroom units (average of 1.64 beds/unit). The text permits three-bedroom units, but **staff recommends that the text is modified to indicate no 3-bedroom units for this particular development.**
- **Parking.** The conceptual plan includes a total of 435 spaces which meets code and falls within the 10% margin for additional spaces. Plans include two garages for residents that would incorporate 32 of the proposed spaces. Plans have been reviewed by the Norwich Township Fire Department, and final details will need to demonstrate all required turning radius for safety equipment.
- **Landscaping.** A detailed site plan and landscape plan will be necessary as part of the Commission’s review of the final development plan.
- **Architecture & Materials.** Proposed residential buildings are three story and include a combination of brick with shingle siding and dimensional asphalt shingle roof. The clubhouse will be one-story with similar materials. Architectural elevations and material samples will be required as part of the final development plan review.

[END OF REPORT | PZ-22-73]

As part of changes to the agenda, Mr. Uttley, seconded by Chairman Muether made a motion to postpone Case PZ-22-73 – Homestead Development – Ansmil PUD Subarea E1 to the February 9, 2023, meeting.

Status:	Postponed (5-0) to the February Commission meeting.
Mover:	Mr. William Uttley
Second:	Chairman Jay Muether
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Tracey Nixon, William Uttley (Mr. Pannett had not yet arrived)

DISCUSSION ITEMS / COMMITTEE COMMUNICATIONS

Chairman Muether thanked Vice Chair Schneck for covering the February meeting while away; Vice Chair Schneck received confirmation that Case PZ-22-59 – Lincoln Center Leadership Academy had been withdrawn.

ADJOURNMENT – 9:14 PM

With no additional business, Chairman Muether made a motion to adjourn by unanimous voice vote. The meeting adjourned at 9:14 p.m.

CERTIFICATION:

Carson Combs, Planning Manager
February 10, 2023

[END OF MINUTES | January 12, 2023]

STAFF REPORT

Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube



Thursday, February 9, 2023 | 7:00 pm

CASE 1: PZ-22-73 – HOMESTEAD DEVELOPMENT – 1 HICKORY CHASE WAY – ANSMIL PUD SUBAREA E1

PARCEL NUMBER: 050-0011430

APPLICANT: Greenwich Investors Hickory Chase LLC., 6279 Dupont Station Court E., Jacksonville, FL 32217; c/o Glen Dugger, Smith & Hale LLC, 37 W. Broad Street, Columbus, OH 43215.

REQUEST: Review & approval of a PUD Development Text modification under the provisions of Hilliard Code Chapter 1117 to increase the maximum number of non-age restricted residential dwellings from 500 to 788 to permit a development of 288 multi-family dwelling units on 15.04 acres.

BACKGROUND:

The site is 15.036 acres located on the west side of Britton Parkway approximately 1,800 feet south of Davidson Road. It consists of a portion of the Ansmil PUD within Subarea E1. On December 13, 1999, City Council approved Ordinance 99-57 to create the Ansmil PUD to establish a 320-acre development south of Davidson Road. By passing Resolution 07-R-08, Council modified the PUD to create Subarea E1 for the purposes of establishing a Continuing Care Retirement Community. A final plat for the central portion of Britton Parkway, Anson Drive and the Leap Road roundabout was approved by the Planning Commission and City Council on November 8, 2007.

On February 9, 2015, City Council approved a resolution (14-R-86) to modify the Ansmil PUD to establish Subarea E1 boundaries, permitted uses, and development standards. The change in text permitted senior residential uses, non-age restricted residential dwellings up to 500 dwelling units and allowed libraries, parks, recreational uses, offices, financial institutions, eating and drinking places, neighborhood businesses, personal services and home occupations.

The Greyson at Hickory Chase (just west of the site) was approved for development in May 2019 (Case #19-0432LC) and includes 492 non-age restricted residential units on 23.6 acres. Resolution 22-R-36 modified Subarea E1 standards in 2022 to establish building and pavement setbacks and architectural standards for the Verena at Hickory Chase (just north of the site), which is a one-story cottage development currently under construction along Hickory Chase Way.

The applicant is now requesting approval of a modification of the Ansmil PUD Development Text for Subarea E1 to increase the number of non-age restricted dwelling units from **500 to 788** to permit a 288-unit residential development. Subarea E-1 is currently zoned for 850 continuum of care units and 500 non-age restricted units. This proposal would shift the units from the "continuum of care" category to "non-age restricted" units.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1117.08 and the Ansmil PUD Concept Plan. The Code specifically provides the following requirements for making modifications to an approved PUD Final Development Plan, development text or zoning map in Section 1117.06 of the Code:

- The proposed development is consistent with the purpose of the PUD in Section 1117.01;
- The proposed development meets the qualifying conditions as outlined in Section 1117.02;
- The PUD is consistent with the recommendations of the Hilliard Comprehensive Plan;
- The development is compatible with the existing and intended uses surrounding the site;
- The design and layout is harmonious with the natural character of the site and surrounding area and employs best management practices to ensure their conservation;
- The proposed development does not place undue burdens on public facilities and services;
- The PUD includes uses or conditional uses that are not injurious to public health, safety and welfare;
- The development conforms to the requirements of the Code unless specifically modified and approved;
- The final development plan is substantially consistent with the approved Concept Plan for the PUD; and
- Approval will result in a recognized and substantial benefit to the users of the project and the community in a way not otherwise feasible under conventional zoning.

Following a recommendation by the Commission, a resolution for the proposed PUD text modification will be forwarded to City Council for review and approval. The proposed change in use will become effective 60 days following Council's approval. The applicant will be required to return to the Planning and Zoning Commission for Final Development Plan approval.

STAFF RECOMMENDATION:

Staff finds that the proposal can be a harmonious part of the Ansmil PUD. Staff finds that the proposal, as revised per the staff comments below, will be generally consistent with the provisions of Hilliard Code Section 1117.08 and the intent of the Ansmil PUD Zoning Development Plan and Text. Staff finds that the proposed PUD modification is consistent with the approved PUD Concept Plan which currently permits higher density residential uses. The proposed change in type of units will have beneficial impacts on fire and safety services, income generation and increased workforce housing options near the I-270 employment corridor as identified by the Comprehensive Plan. Based on these findings, staff recommends approval of the proposed PUD text modification to Subarea E1 with four conditions:

- 1) That the text is modified to limit the proposed development to only one- and two-bedroom units prior to being heard by City Council;
- 2) That the applicant address site access to the satisfaction of staff and the Norwich Township Fire Department as part of the Final Development Plan;
- 3) That parking spaces not exceed the Code by more than 10% as required in Section 1127.02(g); and
- 4) That all site and design details be brought back to the Commission for Final Development Plan review.

CONSIDERATIONS:

- The site is located along Britton Parkway with access via Hickory Chase Way. The property includes multiple ponds that are part of stormwater management for the larger Ansmil development. The southern property line includes substantial vegetation that provides a barrier to undeveloped land (Subarea C5) to the south that fronts Anson Drive. Across Britton Parkway to the east is additional undeveloped land within the Ansmil PUD in Subareas C3 and C4.
- To the north is city parkland, the Hilliard Branch of the Columbus Metropolitan Library and the Verena at Hickory Chase (Subarea E1), which provides continuum of care units. The Greyson at Hickory Chase is located to the west of the site (Subarea E1) and includes a total of 492 residential units that are non-age

restricted, leaving eight available non-restricted units available within Subarea E1. This is a request to shift 288 units from one residential category to another within the PUD text.

COMPREHENSIVE PLAN:

- The Comprehensive Plan recommends the site for Senior Housing uses. These areas may contain a variety of housing types and incorporate professional services intended to serve area residents. The Plan indicates that the area should include well-defined, passive green spaces with pedestrian access. Where possible, such facilities should be designed to encourage safe and convenient access to nearby retail uses and amenities.
- Building heights of 1 to 5 stories and net densities of 10-20 dwelling units per acre are recommended. The proposed development is consistent with the recommendations.

CURRENT PERMITTED USES:

- Permitted uses within the Subarea E1 text include Continuing Care Retirement Community, attached residential dwellings, attached residential dwellings with assisted care and/or long-term skilled nursing care, a long list of accessory uses to the Continuing Care Retirement Community and park. The text limits non-age restricted units to 500. This is the final site to develop within Subarea E1 of the PUD

PROPOSED TEXT MODIFICATION:

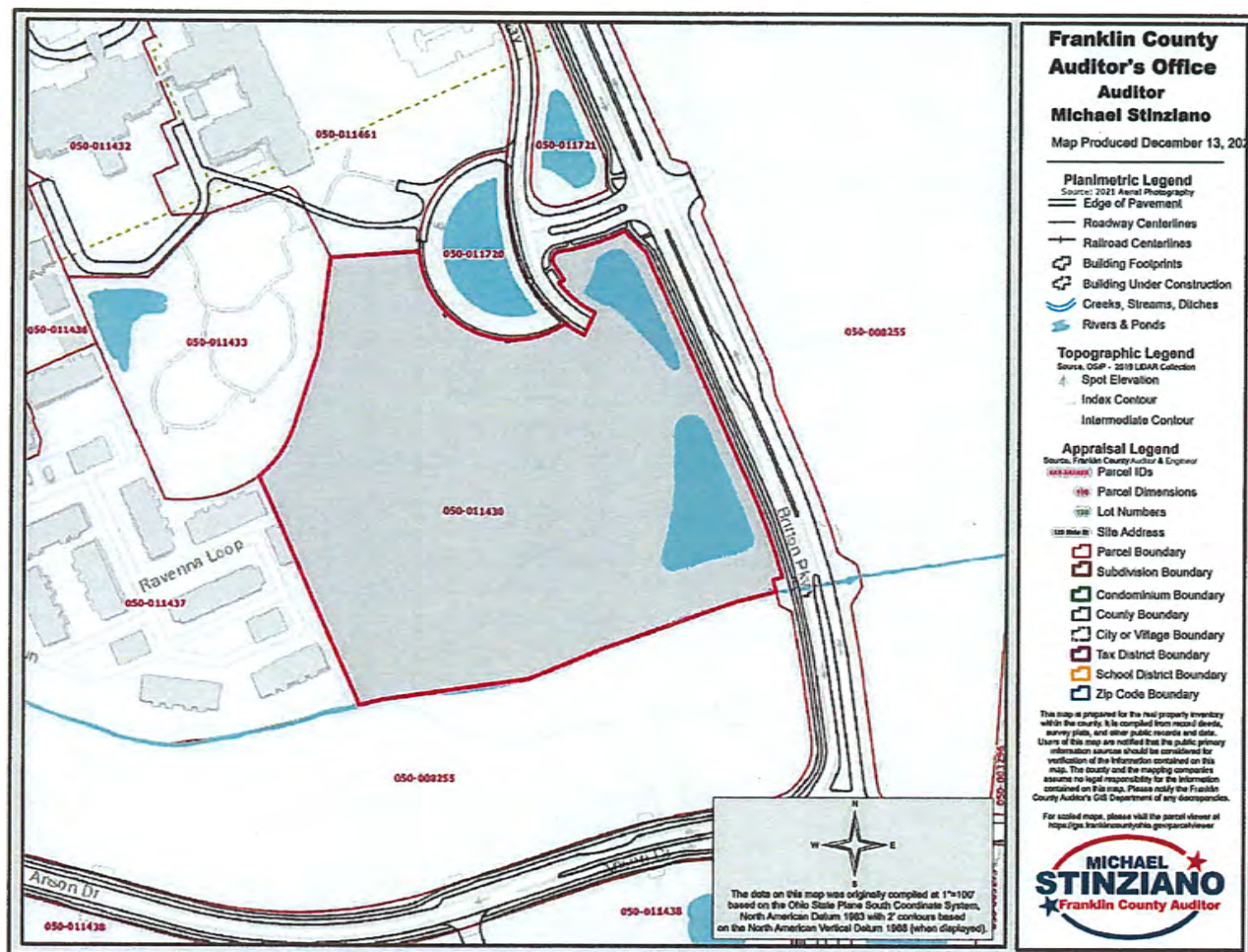
- Section A.1.b. of the Subarea E1 text indicates... “non-age restricted residential dwellings not to exceed 500 units provided, however, not more than 15% of such units may be 3-bedroom units, and 4- and 5-bedroom units are prohibited.” ***The proposed text amendment would increase the number of non-age restricted units to 788 (+288) and reduce continuum of care senior housing to 562 units (-288).*** The text currently permits three-bedroom units up to 15% of the total units for the overall subarea, but ***staff recommends that the text is modified to limit this development to only one- and two-bedroom units*** to minimize impacts on school district enrollment and to encourage employment-aged residents.

CONCEPTUAL PLAN:

- ***Site Layout.*** Proposed development of the site includes a generally circular layout with one access point from the existing entry feature pond at Hickory Chase Way and Britton Parkway. Interior green spaces are provided for residents as part of the layout, and the natural area along the southern edge of the site will be preserved. The proposed plan includes a total of 12 residential buildings in two sizes, as well as a clubhouse with pool and sports courts. The concept plan includes will include 108 one-bedroom units and 180 two-bedroom units (average of 1.625 beds/unit).
- ***Parking & Circulation.*** The conceptual plan includes a total of 480 spaces which meets minimum code requirements, but exceeds the 10% maximum (475 spaces). ***Staff recommends that the final development plan meet the requirements of the Parking Code.*** Plans include four garages for residents that would incorporate 32 of the proposed spaces.
- ***Access.*** The Building/Fire Code requires a second fire access for developments with more than 200 sprinkled units. ***The Final Development Plan will be required to provide an acceptable second access or the development will be limited to 200 units to comply with the Code.***
- ***Landscaping.*** A detailed site plan and landscape plan will be necessary as part of the Commission’s review of the final development plan.
- ***Architecture & Materials.*** Proposed residential buildings are three story and include a combination of brick with shingle siding and dimensional asphalt shingle roof. The clubhouse will be one-story with similar materials. Architectural elevations and material samples will be required as part of the final development plan review. ***Conceptual architecture has been incorporated into the development text to establish the level of quality expected at the Final Development Plan stage.***

[END OF REPORT | PZ-22-73]







SITE // TOTALS

v1.0

ACREAGE // 15.02 ACRES
 SITE DENSITY // 19.2 UNITS / ACRE
 BUILDINGS // 12

BUILDING A (9) 3-STORY 08,200 SF
BUILDING B (3) 3-STORY 10,000 SF

CLUBHOUSE (1) 1-STORY 03,700 SF

UNITS // 288 TOTAL UNITS 468 beds

108 1BD 722 SF 37% 108 beds
180 2BD 1053 SF 63% 360 beds

PARKING // 432 CODE REQ (1.50 / UNIT)
 // 480 PROVIDED (1.67 / UNIT)

448 SURFACE
032 GARAGE



proposed site plan

SCALE 1" = 100'-0"

100 50 0

hickory chase // hilliard, oh
 SITE CAPACITY STUDY v1.0 | DECEMBER 12, 2022

HOMESTEAD
 COMPANIES

archall
 8200 MADISON AVENUE

ANSMIL PUD Sub Area E1**AMENDED 11/19/14 (14-R-86); 04/25/22 (22-R-36); 02/27/23 (23-R-XX)****AMENDMENT NOVEMBER 19, 2014**

Sub Area E1 is located on the west side of the Britton Parkway extension, east of Leap Road, north of Sub Area C5 and south of Sub Areas B1 and B2. The site is ±85.9 acres in size. See Exhibit A. The use of the entire Sub Area was originally intended as a Continuing Care Retirement Community (CCRC); However, only a portion of the Sub Area has been developed for this use and the purpose of this Amendment is to adjust the plan and text to allow for and accommodate additional and coordinated uses within the Sub Area. A senior residential building is currently constructed within a portion of the property as shown on Exhibit A and the expectation is that this building will be used for senior residential housing. The Sub Area will also contain the development of the existing but unfinished "Community Building" which will be redeveloped for use as a public library. The other areas within the Sub Area shall be used and developed in accordance with this text.

A. Permitted Uses

1. The following uses shall be permitted in any structure within the Sub Area:
 - a. Senior Residential (including but not limited to CCRC, independent senior residential, assisted senior residential, memory care, skilled nursing and dementia care may be developed so long as such use does not exceed **850 562** residential units.
 - b. Non-Age Restricted Residential Dwellings not to exceed **500 788** units provided, however, not more than 15% of such units may be 3-bedroom units, and 4- and 5-bedroom units are prohibited.
 - c. Public Library.
 - d. Public or Private Park, Indoor and Outdoor Swimming Pools, other Public or Private Recreational Activities and Uses.
 - e. Office: Administrative, business medical or professional offices; medical or dental laboratories; health and allied services; healthcare facilities including inpatient and outpatient care; medical offices and ancillary services; physical therapy; health club and fitness facilities; civic, social and fraternal associations; photographic studios, including commercial photography; education services.
 - f. Bank and Financial Services and Institutions; Commercial or Savings Banks; Credit Institutions.
 - g. Eating and Drinking Places including, without limitation, pubs and taverns, cafeteria services (provided, however, any drive-up or drive-through service shall obtain a conditional use permit for such activity).

- h. Neighborhood and Personal Services; convenience stores; retail bakeries; florists; pressing, alterations and garment repair; custom tailors; shoe repair; barbershops; beauty shops; spas; pharmacies; and other retail uses.
 - i. Home Occupations as permitted by the Hilliard Zoning Code.
2. Unless the definition of a use is provided in this PUD, the use definitions contained in the City's Codified Ordinances shall apply if the code contains a definition for that use.

B. Development Standards: Four-Sided Architecture

1. Unless specified otherwise in this written text, the development standards of Chapter 1157 of the Codified Ordinances of the City of Hilliard shall apply to Sub Area E-1. Basic development standards are compiled regarding proposed density, site issues, traffic circulation, and landscape and architectural standards. These component standards ensure consistency and quality throughout the development of Sub Area E-1.
2. All buildings shall have four-sided architecture with equivalent materials, fenestration and architectural details on all four sides of the building provided, however, any residential building may reduce façade materials, fenestration and detailing on any side which is "internal" and cannot be viewed from any public right-of-way or from any adjoining property. All architecture shall be subject to Planning and Zoning Commission review at the time of the Final Development Plan.

E1.01 Density, Height, Lot and/or Setback Commitments

1. Building coverage shall not exceed forty (40) percent as defined by Hilliard City Code Section 1107.01 as measured for the entire Sub Area. Total impervious surface coverage shall not exceed seventy (70) percent of the total site acreage within the entire Sub Area.
2. The maximum height limit for residential buildings shall be four stories with walkouts. No more than fifty (50) percent of each residential building's footprint can have walkouts. Maximum height for residential buildings shall be forty-five (45) feet as measured per City Code. Architectural elements like chimneys, parapets and cupolas may exceed this height limitation. Rooftop mechanical equipment shall be screened from off-site visibility in accordance with City Code. Height is determined from the average grade plane to average roof plane. Walkouts are allowed in this Sub Area but are not included in the average grade plane calculation.
3. Setbacks from the right-of-way of Leap Road shall be a minimum of fifty (50) feet for buildings and zero (0) feet for pavement; however, up to sixty (60) percent of the perimeter drive along Leap Road is permitted to encroach the pavement setback by a maximum of fifty (50) percent. The building and pavement setback from Britton Parkway shall be fifty (50) feet minimum. For Parcel #050-011722, the minimum building and pavement setbacks from Hickory Chase Way shall be twenty (20) feet.
4. The minimum building and pavement setbacks from the north and south property lines of the overall Sub Area shall be twenty (20) feet.

5. Building, parking and pavement setbacks from internal property lines within the Sub Area shall be zero (0) provided, however, that building and pavement setbacks from any public park established in the Sub Area shall be ten (10) feet for buildings and zero (0) for parking and pavement.
6. All setbacks shall be landscaped in accordance with the requirements of this text.
7. For Parcel #050-011722 the minimum setback for decks and patios from the Hickory Chase Way right-of-way line shall be twenty (20) feet. From any other property line the minimum setback for decks shall be ten (10) feet and the minimum setback for patios shall be three (3) feet.

E1.02 Access, Loading, Parking and/or Traffic-Related Commitments

1. Parking requirements shall be determined in accordance with the City Code Section 11133.01 and as may be reduced by the Planning and Zoning Commission in accordance with the approved Final Development Plan for that use based on actual parking demand.
2. The developer will work with staff to provide adequate parking in each phase of the development which shall be reviewed and approved at the time of the Final Development Plan approval for that use. All parking lots shall be curbed except as required for ADA requirements.
3. All 90-degree parking spaces shall be a minimum of 9 feet wide by 18 feet in length. Drive aisles shall be a minimum of 22 feet wide.
4. Internal private drives shall be utilized within the development, provided that an east-west public street shall be constructed and dedicated to the City located as shown on the Exhibit A. All private drives shall meet the City of Hilliard Zoning Code and the City Engineer's requirements for strength and durability. Private drives shall be a minimum of 22 feet wide, provided however that fire apparatus drives shall be 24 feet wide unless otherwise approved by Norwich Township Fire Department.
5. All access points shall be subject to the review and approval of the Hilliard City Engineer. Vehicular access to Britton Parkway, Leap Road and Davidson Road shall be as set for on the Site Plan.
6. There shall be an eight-foot-wide bike path along the west side of Britton Parkway and a five-foot-wide sidewalk shall be provided along both sides of the East-West public street unless otherwise approved by the Planning and Zoning Commission upon demonstration by the applicant that sidewalks on both sides would be practically difficult or unnecessary. The sidewalk and bike path shall be installed with roadway improvements and will be dedicated to the City of Hilliard, provided, however, that the bike path may be re-routed as approved by the City Staff to accommodate adjacent development.
7. A 5-foot-wide sidewalk along Leap Road shall be provided by the Developer/Applicant at the time of development of the area of the land adjacent to Leap Road. Connections

between the private walkways and the public pedestrian facilities along Britton Parkway and Leap Road shall be made as each area adjacent to such street is developed. Pedestrian paths and pedestrian connectivity to the Library and Public Park from adjacent use areas are encouraged and will be determined at the time of the Final Development Plan for such area.

E1.03 Architectural Standards

The site plan layout and architecture for each use within the Sub Area will be reviewed at the Final Development Plan stage, provided that the architecture, quality of design and materials for any structures shall be consistent with the existing Continuing Care Retirement Buildings (the Library and existing senior residential building constructed on the property) and the elevations attached hereto as Exhibits to this PUD modification (DRKenney elevations)

1. Color Palette: Earth tones, muted and natural tones are required. Trim colors may include white. Accent colors in brighter hues are permitted for building accent features only for elements such as awnings, doors, limited trim, etc. A mixed palette on a single building should be carefully selected so all colors harmonize with each other.
2. Materials:
 - a. Warm-tone brick, decorative oversized masonry block, stone veneer or Ohio Limestone stucco stone (equal or better than Stone Products Corporation, type: Ohio Limestone) must be used on a minimum of 35% on each elevation of all structures [see also 2(f)(3) below]. "Each elevation of all structures" is defined as the entire exterior surface area and excludes windows and doors in calculating the minimum percentage of material required. Bridges and covered walkway links are excluded from this requirement. At no time shall warm-tone brick, decorative oversized masonry block, stone veneer or Ohio Limestone stucco stone be less than 20% of the total façade including doors and windows. For one story residential buildings on Parcel #050-011722 the quality of architectural design and exterior materials shall be consistent with that shown on Sheet A2.1 of the Ansmil PUD Concept Plan drawings. **For Parcel #050-011430 residential buildings shall provide for the quality and architectural design and exterior materials consistent with that as indicated on Sheet A2.2 and A2.3 of the Ansmil PUD Concept Plan Drawings as identified within this Sub Area E1 text.**
 - b. EIFS or stucco may be used as an accent material provided it does not exceed ten percent (10%) of the exterior façade material for each elevation. On residential buildings EIFS may be used as articulation on bays and balconies and around windows and shall not be used above the soffit line. On non-residential units, EIFS may be used so long as it has the appearance of being brick or of split-faced elements.
 - c. Concrete or masonry foundations should only have ±16-inch exposure above finished grade before the primary exterior finish materials begin.

- d. Exterior cladding shall be within the color palette in Paragraph 1 above and be traditional materials most commonly found on similar building types. The remaining balance of each building, less “a,” “b” and “c” above shall be comprised of the following:
 - (1) Hardi-plank or equivalent.
 - (2) Wood lap siding, composite lap siding and cedar shake siding painted or stained.
 - (3) Translucent composite glass panels.
 - (4) Other exterior cladding materials as approved by the City at the time of Final Development Plan.
- e. Roofs:
 - (1) Pitched roofs with gables or hips at ends shall have a minimum slope of 4:12.
 - (2) Flat roofs are permitted, but shall have mansards to provide the appearance of a pitched roof when viewed from all sides or as approved by the City at the time of Preliminary Development Plan.
 - (3) Materials on sloped roofs shall be one of the following: cedar shakes, tile, standing seam metal, slate, synthetic slate, translucent composite/glass panels or dimensional asphalt or fiberglass singles. Shingles are to be a minimum medium-weight dimensional or dimensional-look shingles.
- f. Scale
 - (1) Structures shall be designed to harmonize with the landscape.
 - (2) The scale of each building can be aided through the use of articulated building elements such as porticos, dormers, recesses, awnings and other such elements that help break up the building mass.
- g. Wall Articulation/Fenestration:
 - (1) In addition to using building elements to articulate the building mass, individual walls must be articulated with fenestration, pattern or structural expression equally on all sides of each structure.
 - (2) The amount of fenestration should be proportional with the amount of solid façade.
 - (3) Four-sided architecture is required, which means all buildings shall have four-sided architecture with equivalent materials, fenestration and architectural details on all four sides of the building provided, however, that any residential building may reduce façade materials, fenestration and detailing on any side which is “internal” and cannot be viewed from any public right-of-way or from any adjoining property as approved by the Planning and Zoning Commission at the time of Final Development Plan.

E1.04 Buffering, Landscaping, Open Spaces and/or Screening Commitments

- 1. Landscaping
 - a. All landscaping shall be in accordance with the requirements of Hilliard City Code Section 1331.

- b. Landscape plans for Leap Road and Britton Parkway frontage shall be reviewed and approved by the City Arborist at the Final Development Plan stage.
- c. Tree preservation shall include a tree survey that accounts for all 6-inch caliper trees and greater. A tree of 6 inches in caliper or greater at diameter breast height (DBH) is considered a protected tree for this development which means it is a tree which must be replaced inch per caliper inch in accordance with the requirements of Hilliard City Code Chapter 1331. A Tree Preservation Plan shall be submitted at the time of Final Development Plan submittal. The total number of caliper inches of replacement trees for a site shall equal or exceed the combined diameter of the protected trees removed. The replacement tree requirement can be included in the total site tree landscaping requirement. The Tree Preservation Plan must meet the requirements of Hilliard City Code Chapter 1331 unless stated within this text. Trees that are 6 inches and greater in diameter at DBH shall be preserved but may be replaced within Sub Area E-1 wherever possible.
- d. Standard tree preservation practices will be used to preserve and protect trees during all phases of construction.
- e. Within the 55-foot stream buffer preservation corridor along the south property line, the existing landscaping previously installed south of the black fence shall be maintained.
- f. Any portion of a lot upon which a building or parking area is not constructed shall be landscaped with lawn at a minimum. Those areas designated as landscaped buffers, tree lawns, tree preservation zones, entry features or other landscaped features shall be maintained meeting the minimum standards in Hilliard Codified Ordinances Chapters 917, 921 and 1331. The use of in-ground sprinkler systems where appropriate is strongly encouraged.
- g. Non-irrigated natural meadow and reforested areas shall be permitted.
- h. Protection of Landscaped Islands: parked vehicles may hang over the interior landscaped area not more than two and one-half (2 ½) feet, as long as concrete curbs are provided to ensure no greater overhang or penetration of the landscaped area. All parking spaces and landscaped islands shall meet the requirements of the Hilliard Codified Ordinances, Chapters 1133 and 1331 unless otherwise specified within this text.
- i. Screening of Mechanicals: No materials, supplies, equipment or products shall be stored on any portion of the parcel outside the permitted structure. Mechanical equipment or other utility hardware on the ground or buildings shall be screened from view with plant materials.
- j. Curbs to Protect Screening Material: Whenever screening material is placed around any trash disposal unit or waste collection unit which is emptied or

removed mechanically on a regularly occurring basis, a curb to contain the placement of the container shall be provided within the screening materials on those sides where there is such material. The curbing shall be at least one foot from the material and shall be designed to prevent possible damage to the screening when the container is moved or emptied.

- k. Tree Planting Requirements: There shall be tree plantings equal to one-half inch in tree trunk size for every 500 square feet in ground coverage by a residential structure. These trees shall be a minimum of 2 1/2 -inch caliper at the time of installation and are in addition to the street tree planting requirements.
 - l. Minimum Trees: The following minimums are required, based upon total ground coverage for the vehicular use areas:
 - 1) Up to 20,000 square feet: A minimum of one tree per 5,000 square feet of ground coverage, and a total tree planting equal to 1 inch in the tree trunk size for every 2,000 square feet of ground coverage.
 - 2) Between 20,000 and 50,000 square feet: A minimum of one tree for every 5,000 square feet of ground coverage, and a total tree planting equal to 10 inches plus one-half in tree trunk size for every 2,000 square feet over 20,000 square feet in ground coverage.
 - 3) Over 50,000 square feet: A minimum of one tree for every 5,000 square feet of ground coverage, and a total tree planting equal to twenty-five inches plus one-half inch in tree trunk size for every 4,000 square feet over 50,000 square feet of ground coverage.
 - 4) Trees shall have a clear trunk of at least five feet above the ground, and the remaining area shall be landscaped with shrubs, ground cover, not to exceed two feet in height.
 - 5) No new tree planting shall be required if existing trees and the aggregate trunk sizes of such trees meet or exceed the requirements as set forth in this chapter. The minimum tree size for such tree plantings shall be no less than two and one-half inch in trunk diameter.
 - m. The applicant or owner shall plant such trees as may be required within one year or the next planting season after issuance of a building permit. Failure to comply with the landscaping requirements shall be in violation of this section and be subject to citation.
 - n. A 6-foot-tall black, metal ornamental picket fence has been installed along the Leap Road and Britton Parkway frontages and along the north and south boundary of the site.
2. A "Tree Preservation Area" located as shown on Exhibit B shall be dedicated to the City as a public park. The park shall be used for passive recreational uses. Dedication of this Tree Preservation Area as a public park shall serve to meet the parkland dedication requirements of the City Code section 1179.07. The boundary of the Tree Preservation Area and adjacent private property shall be clearly demarked with dark green or black lighted or luminescent bollards not greater than 36 inches in height, the final design of

which shall be determined at the time of Final Development Plan and appropriately spaced so as to denote such boundary.

E1.05 Dumpster, Lighting, Outdoor Display Areas and/or other Environmental Commitments

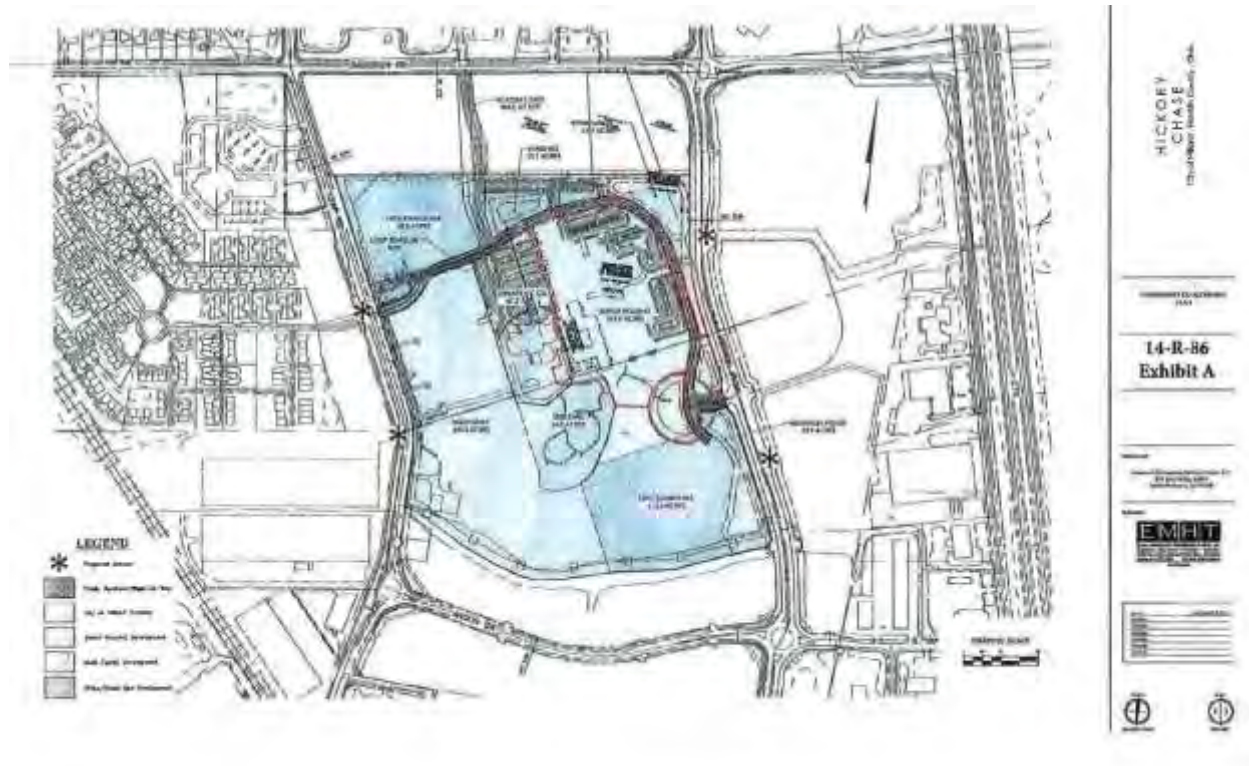
1. All interior private street lighting shall not exceed 20 feet in height.
2. External lighting for parking lots and drives shall be cut-off-type fixtures. Decorative coach lighting may be used adjacent to residential units. Decorative coach lights may be building- or post-mounted and shall be compatible with the surrounding architecture.
3. All types of parking, pedestrian and other lighting shall be on poles or mounted on individual units and shall be from the same type and style.
4. All light poles and standards shall be metal and shall be bronze in color.
5. Landscape and building uplighting from a concealed source shall be permitted, as approved by City staff.
6. All lights shall be arranged to reflect light away from any exterior street or adjacent property.
7. No colored lights shall be used to light the exterior of the buildings.
8. Waste and Refuse:
 - a. All dumpsters for waste and refuse shall be containerized and screened from view on three sides by a solid masonry wall, wood fence, vegetation or materials compatible with building materials and at least 6 inches taller than the height of the dumpster. The fourth side shall contain a durable gate with the frame to be made of metal, resin or similar material, and the outer material may be wood, metal, resin or similar material. The gate shall also be at least 6 inches taller than the height of the dumpster.
9. Storage and Equipment and Service Areas:
 - a. No area of the site will be used for outdoor storage, except within an enclosed maintenance yard as specified on an approved site plan. No materials, supplies, equipment, products or corporate owned or corporate used vehicles, shall be stored or permitted to remain on any portion of the parcel outside of any permitted structure or approved storage area.
 - b. Mechanical equipment or other utility hardware shall be screened from public view with plant materials or materials harmonious with the building.
 - c. No noises, smoke, odors, vibration or other nuisances shall be permitted.

E1.06 Graphics and Signage Commitments

1. The overall design of signage and graphics shall be of a unified appearance and shall be compatible with the overall Sub Area architectural character with respect to materials and colors, and no signs shall be internally illuminated.
2. In regards to materials and colors, all signage elements shall be compatible with the architectural character of the campus buildings.
3. All signage and graphics shall conform to the Hilliard Graphics and Sign Code Chapter 1191, unless noted within this text or otherwise approved as part of a comprehensive signage package.

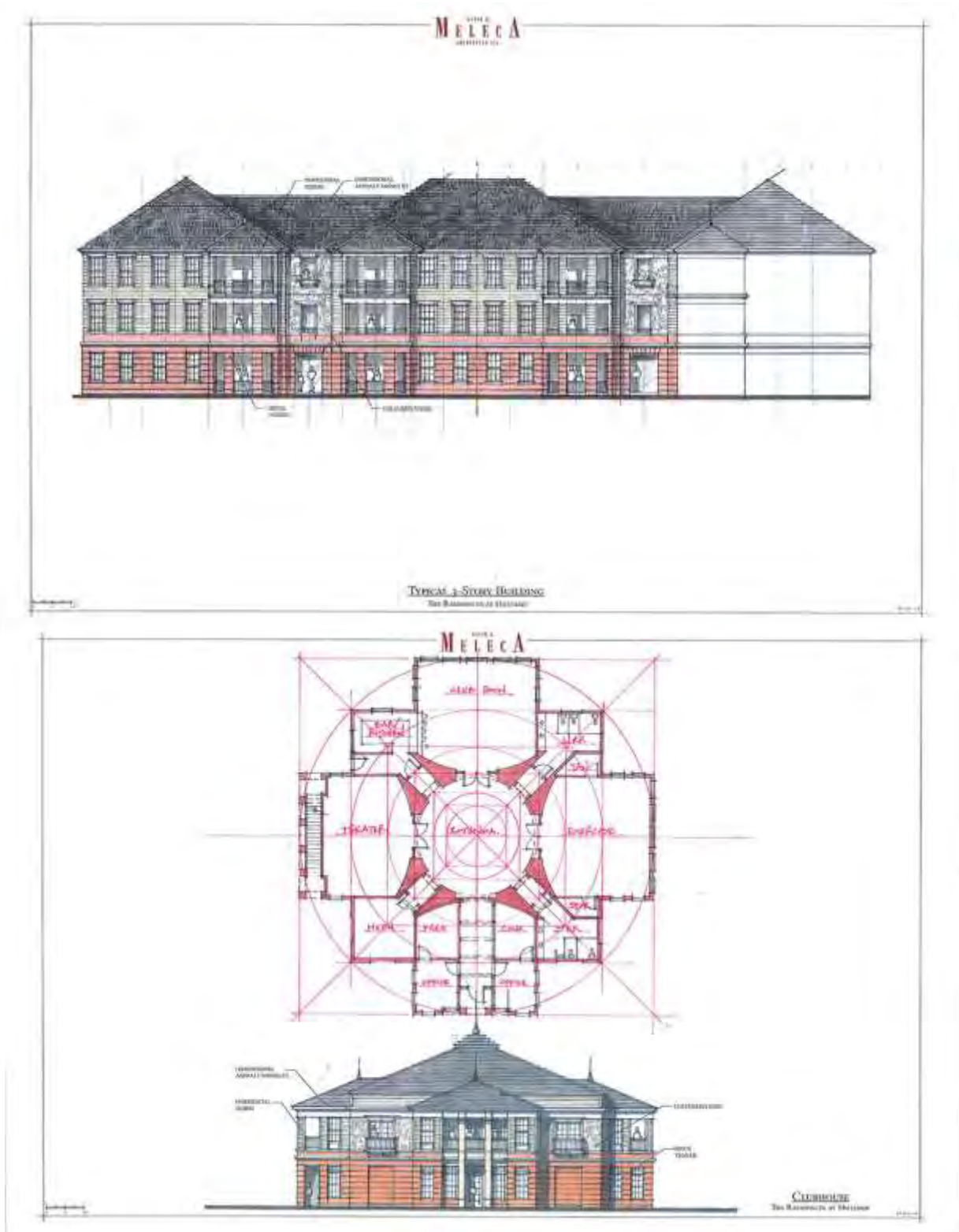
E1.07 Miscellaneous Commitments

1. Utilities: All new utility lines including water service, electricity, telephone and gas, and their connections or feeder lines shall be placed underground. Where feasible, all above-ground utility boxes shall be placed at the rear lot lines or sufficiently screened, subject to staff approval.
2. Amendments: In the event the developer of any property within the Sub Area desires to make minor amendment to these development standards, which minor amendment is determined by staff to be a minor amendment in their administrative capacity, such amendment must be reviewed and approved by the Planning and Zoning Commission. Any amendment not determined to be a minor amendment by staff or the Planning and Zoning Commission for Sub Area E1 shall be submitted in accordance with Hilliard City code Section 1157.04(i), PUD Amendments.

EXHIBIT A: SUB AREA E-1

DRKenney Elevations [as amended by 14-R-86]

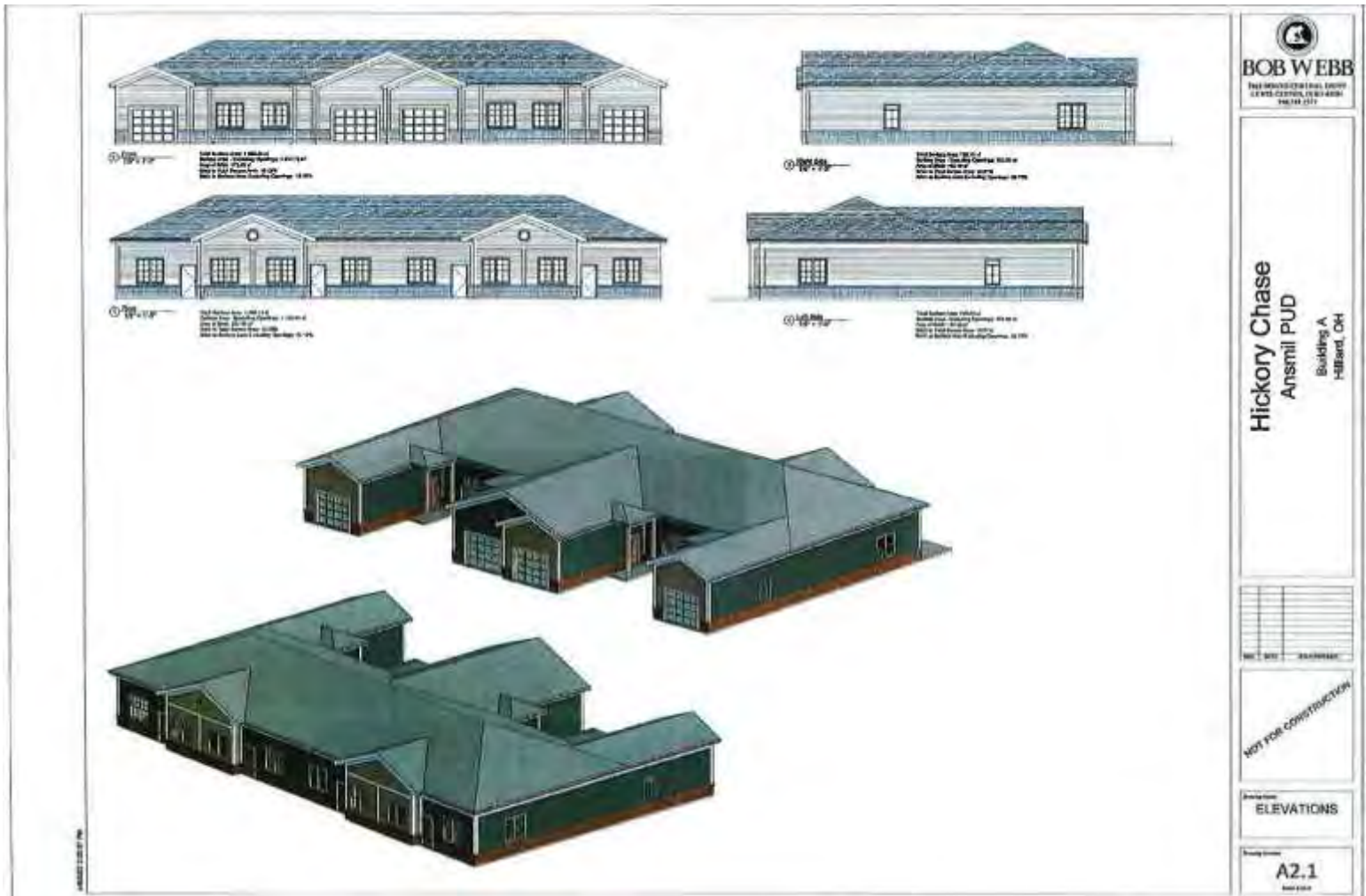
DRKenney Elevations [as amended by 14-R-86]



DRKenney Elevations [as amended by 14-R-86]

SHEET A.2.1: ARCHITECTURAL QUALITY

[PARCEL #050-011722 as amended by 22-R-36]



SHEET A.2.2: ARCHITECTURAL QUALITY

[PARCEL #050-011430 as amended by 23-R-XX]



hickory chase // hilliard, oh | HOMESTEAD COMPANIES | archall



hickory chase // hilliard, oh | HOMESTEAD COMPANIES | archall

SHEET A.2.3: ARCHITECTURAL QUALITY

[PARCEL #050-011430 as amended by 23-R-XX]



hickory chase // hilliard, oh
SITE CAPACITY STUDY v1.0 | DECEMBER 12, 2022

HOMESTEAD
COMPANIES

archall



hickory chase // hilliard, oh
SITE CAPACITY STUDY v1.0 | DECEMBER 12, 2022

HOMESTEAD
COMPANIES

archall

CASE 2: PZ-23-1 – 3C TECHNOLOGIES – 3363 LEAP ROAD

PARCEL NUMBER: 050-002367

APPLICANT: 3C Technology Solutions, 3840 Lacon Road, Suite 14, Hilliard, OH 43026; c/o Robert Foster, Earthmetric LLC, 322 Meadow Lane, Circleville, OH 43113.

REQUEST: Review and approval of a lot split under the provisions of Hilliard Code Section 1188.05 to create a ±0.772-acre parcel from a 1.582 parcel.

BACKGROUND:

The site is 1.582 acres located on the west side of Leap Road approximately 100 feet north of the intersection with Point Pleasant Drive. The Point Pleasant subdivision which is zoned R-4, High Density Residential District, is located to the south of the site, and the right-of-way for Point Pleasant Drive touches the rear southwest corner of the property. To the west of the parcel lies access to the municipal water tower and the retired railroad right-of-way. Across Leap Road to the east are properties within the Beacon Subdivision zoned R-3, Moderate Density Residential District. The site and large-lot properties to the north are zoned R-2, Low/Medium Density Residential District. The applicant is requesting approval of a lot split to create two parcels.

COMMISSION ROLE:

The Commission is to review the proposed lot split for conformance to the provisions of Code Section 1188.05. Specifically, the Code provides for the granting of a lot split under the review criteria as outlined in Code Section 1188.05:

- Whether the design and layout of all subdivisions shall conform with the requirements of the Hilliard Design Manual.
- Whether the proposed lot split meets the minimum requirements adopted for the protection of the public health, safety and welfare. To protect the public among other purposes, such provisions are intended to provide for a permanently wholesome community environment, adequate public services and safe streets and highways.

STAFF RECOMMENDATION:

Staff finds that the proposed lot split is consistent with the provisions of Code Section 1188.05 and generally meets the spirit and intent of the Code. Based on this finding, staff recommends approval of the proposed lot split with the following four conditions:

- 1) That the applicant obtain variance approval from the Board of Zoning Appeals for setbacks to the western parcel;
- 2) That final design details for access to the western parcel meet the requirements of the City Engineer;
- 3) That the legal description and exhibits for the lot split/deed transfer meet the requirements of the City Engineer for format and content; and
- 4) That the lot split/deed transfer is recorded and that evidence thereof is provided to City staff.

CONSIDERATIONS:

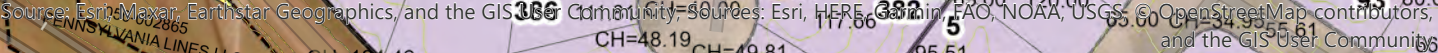
- *Site Overview.* The site is zoned R-2, Low/Moderate Density Residential District and is located in a transitional zoning area. The property has primary access from Leap Road, but uniquely includes secondary access to the rear of the property from the terminus of Point Pleasant Drive. Access to the created parcel to the west should include access that meets the requirements of the City Engineer.

- *District Overview.* The R-2, Low/Moderate Density Residential District was established for the creation of single-family neighborhoods that are created at modest densities. As described in Chapter 1109 of the Zoning Code, lots within this zoning district are served by public water and sewer and include other uses that are compatible within residential neighborhoods.
- *Dimensional Development Standards.* The R-2 District requires a minimum lot area of 11,200 square feet (± 0.26 -acre) and a minimum lot width of 80 feet. The proposed lots have a minimum width of 105 feet and would be 0.722-acre and 0.86-acre in size, meeting the requirements of the Code.
- *Lot Standards.* This zoning district includes a maximum building height of 35 feet and a maximum lot coverage allowance of 30%. The following development standards also apply, and the proposed lot split generally conforms to the dimensional requirements of the R-2 Zoning District. ***Because of the unique nature of access from Point Pleasant Drive, the applicant has applied to the Board of Zoning Appeals to obtain variance approval for customized setbacks.***

Minimum front building setback	25 feet
Minimum front garage setback	35 feet
Minimum side yard setback	10 feet (20 total)
Minimum rear yard setback	35 feet

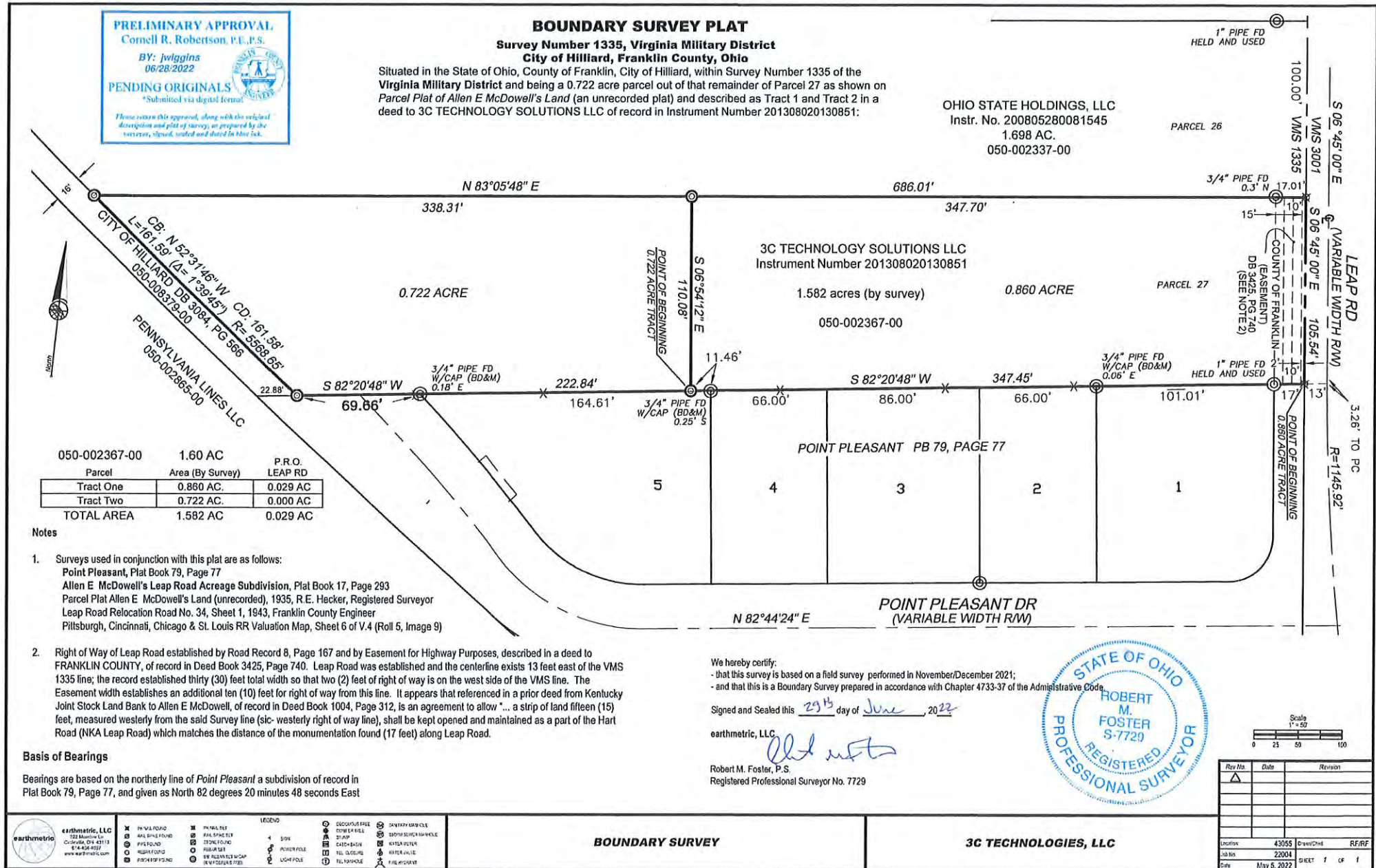
[END OF REPORT | PZ-23-1]

earthmetric



- Contours
 Dimensions
 Parcel Lines
 R-2
 Right of Way
- Lot Labels
 Subdivisions
 B-2
 R-3
 Annexations
- City of Hilliard
 PUD
 R-4





6 June 2022

**Description of 0.722 acre of land
West of Leap Road
North of Point Pleasant Drive
City of Hilliard, Franklin County, Ohio**

Situated in the State of Ohio, County of Franklin, City of Hilliard, within Survey Number 1335 of the **Virginia Military District** and being a 0.722 acre parcel out of that remainder of Parcel 27 as shown on *Parcel Plat of Allen E McDowell's Land* (an unrecorded plat) and described as Tract 1 and Tract 2 in a deed to 3C TECHNOLOGY SOLUTIONS LLC of record in Instrument Number 201308020130851, and being more particularly described as follows:

Beginning for Reference at a magnail set at the southeasterly corner of said Parcel 27, in the northerly line of *Point Pleasant* a subdivision of record in Plat Book 79, Page 77 and in the easterly line of VMS Number 1335; thence South 82 degrees 20 minutes 48 seconds West, along the southerly line of said Parcel 27, the northerly line of *Point Pleasant*, passing the westerly right of way line of Leap Road described in a deed to FRANKLIN COUNTY of record in Deed Book 3425, Page 740, at a distance of 12.00 feet, passing a one inch pipe found at the northeasterly corner of Lot 1 of said *Point Pleasant* at a distance of 17.00 feet, a total distance of 347.45 feet at the **Point of Beginning**;

thence South 82 degrees 20 minutes 48 seconds West, continuing along the southerly line of said Parcel 27, the northerly line of *Point Pleasant*, passing a ¾ inch pipe found with cap marked BD&M at a distance of 164.61 feet at the northwesterly corner of Lot 5, in the easterly line of Point Pleasant Drive (Variable width right of way), and thence along the northerly line of said Point Pleasant Drive, a total distance of 222.84 feet to an iron pin set in the arc of a non-tangent curve, in the easterly line of a tract of land described in a deed to the City of Hillard, of record in Deed Book 3084, Page 566;

thence along a curve to the right with a radius of 5568.65 feet (through a central angle of 1 degree 39 minutes 45 seconds), along the easterly line of said City of Hilliard tract, an arc length of 161.59 feet to an iron pin set in the northerly line of said Parcel 27, the southerly line of Parcel 26 also being the southerly line of a 1.698 acre tract described in a deed to OHIO STATE HOLDINGS, LLC, of record in Instrument Number 200805280081545, said curve subtended by a chord bearing North 52 degrees 31 minutes 46 seconds West, a chord distance of 161.58 feet;

thence North 83 degrees 05 minutes 48 seconds East, along the northerly line of said Parcel 27, the southerly line of said 1.698 acre tract (the southerly line of said Parcel 26), a distance of 338.31 feet to an iron pin set;

thence South 06 degrees 54 minutes 12 seconds East crossing said Parcel 27, a distance of 110.08 feet to the **True Point of Beginning containing 0.722 acre of land**, more or less.

This description is based on record information and a field survey performed under the direction of Robert M. Foster, P.S., in October and November 2021.

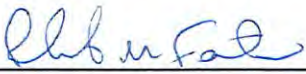
The present road occupation of Point Pleasant Drive contained within this tract is 0.000 acre.

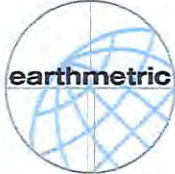
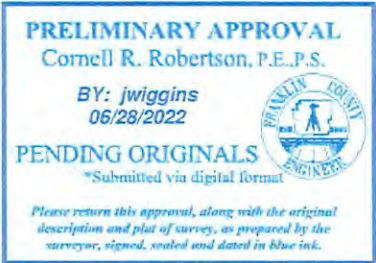
Bearings are based on the northerly line of *Point Pleasant* a subdivision of record in Plat Book 79, Page 77, and given as North 82 degrees 20 minutes 48 seconds East

References described hereon refer to those found in the Recorder's Office, Franklin County, Ohio.

Iron pins set consist of a 5/8" rebar, thirty (30) inches in length, with a yellow plastic cap inscribed: "R M Foster S-7729."

earthmetric, LLC

 29 Jun 2022
Robert M. Foster, P.S.
Registered Professional Surveyor No. S-7729



earthmetric, LLC
Circleville, Ohio 43113
614-263-6600
614-404-4097

www.earthmetric.com

6 June 2022

Description of 0.860 acre of land
West of Leap Road
North of Point Pleasant Drive
City of Hilliard, Franklin County, Ohio

Situated in the State of Ohio, County of Franklin, City of Hilliard, within Survey Number 1335 of the **Virginia Military District** and being a 0.860 acre parcel out of that remainder of Parcel 27 as shown on *Parcel Plat of Allen E McDowell's Land* (an unrecorded plat) and described as Tract 1 and Tract 2 in a deed to 3C TECHNOLOGY SOLUTIONS LLC of record in Instrument Number 201308020130851, and being more particularly described as follows:

Beginning at a magnail set at the southeasterly corner of said Parcel 27, in the northerly line of *Point Pleasant* a subdivision of record in Plat Book 79, Page 77 and in the easterly line of VMS Number 1335;

thence South 82 degrees 20 minutes 48 seconds West, along the southerly line of said Parcel 27, the northerly line of *Point Pleasant*, passing the westerly right of way line of Leap Road described in a deed to FRANKLIN COUNTY of record in Deed Book 3425, Page 740, at a distance of 12.00 feet, passing a one inch pipe found at the northeasterly corner of Lot 1 of said *Point Pleasant* at a distance of 17.00 feet, a total distance of 347.45 feet to an iron pin set;

thence North 06 degrees 54 minutes 12 seconds West, crossing said Parcel 27, a distance of 110.08 feet to an iron pin set in the northerly line of said Parcel 27, the southerly line of Parcel 26 also being the southerly line of a 1.698 acre tract described in a deed to OHIO STATE HOLDINGS, LLC, of record in Instrument Number 200805280081545;

thence North 83 degrees 05 minutes 48 seconds East, along the northerly line of said Parcel 27, the southerly line of said 1.698 acre tract (the southerly line of said Parcel 26), passing a ¾ inch pipe found at a distance of 330.69 feet, passing the westerly line of Leap Road of said Franklin County Easement at a distance of 335.70 feet (Deed Book 3425, Page 740), a total distance of 347.70 feet to a magnail set at the northeasterly corner of said Parcel 27, in the easterly line of VMS Survey Number 1335;

thence South 06 degrees 45 minutes 00 seconds East, along the easterly line of said Parcel 27, the easterly line of VMS Survey 1339, a distance of 105.54 feet to **True Point of Beginning containing 0.860 acre of land**, more or less.

This description is based on record information and a field survey performed under the direction of Robert M. Foster, P.S., in October and November 2021.


The present road occupation of Leap Road contained within this tract is 0.029 acre (1267.4 square feet) which is contained within an Easement for Highway Purposes to FRANKLIN COUNTY, of record in Deed Book 3425, Page 740 and Road Record 8, Page 167.

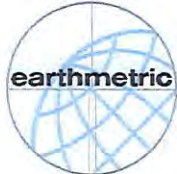
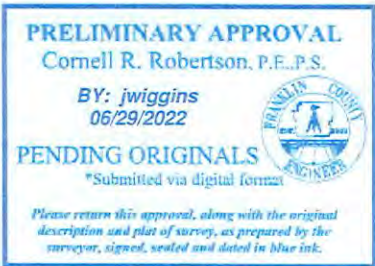
Bearings are based on the northerly line of *Point Pleasant* a subdivision of record in Plat Book 79, Page 77, and given as North 82 degrees 20 minutes 48 seconds East

References described hereon refer to those found in the Recorder's Office, Franklin County, Ohio.

Iron pins set consist of a 5/8" rebar, thirty (30) inches in length, with a yellow plastic cap inscribed: "R M Foster S-7729."

earthmetric, LLC


29 Jun 2022
Robert M. Foster, P.S.
Registered Professional Surveyor No. S-7729

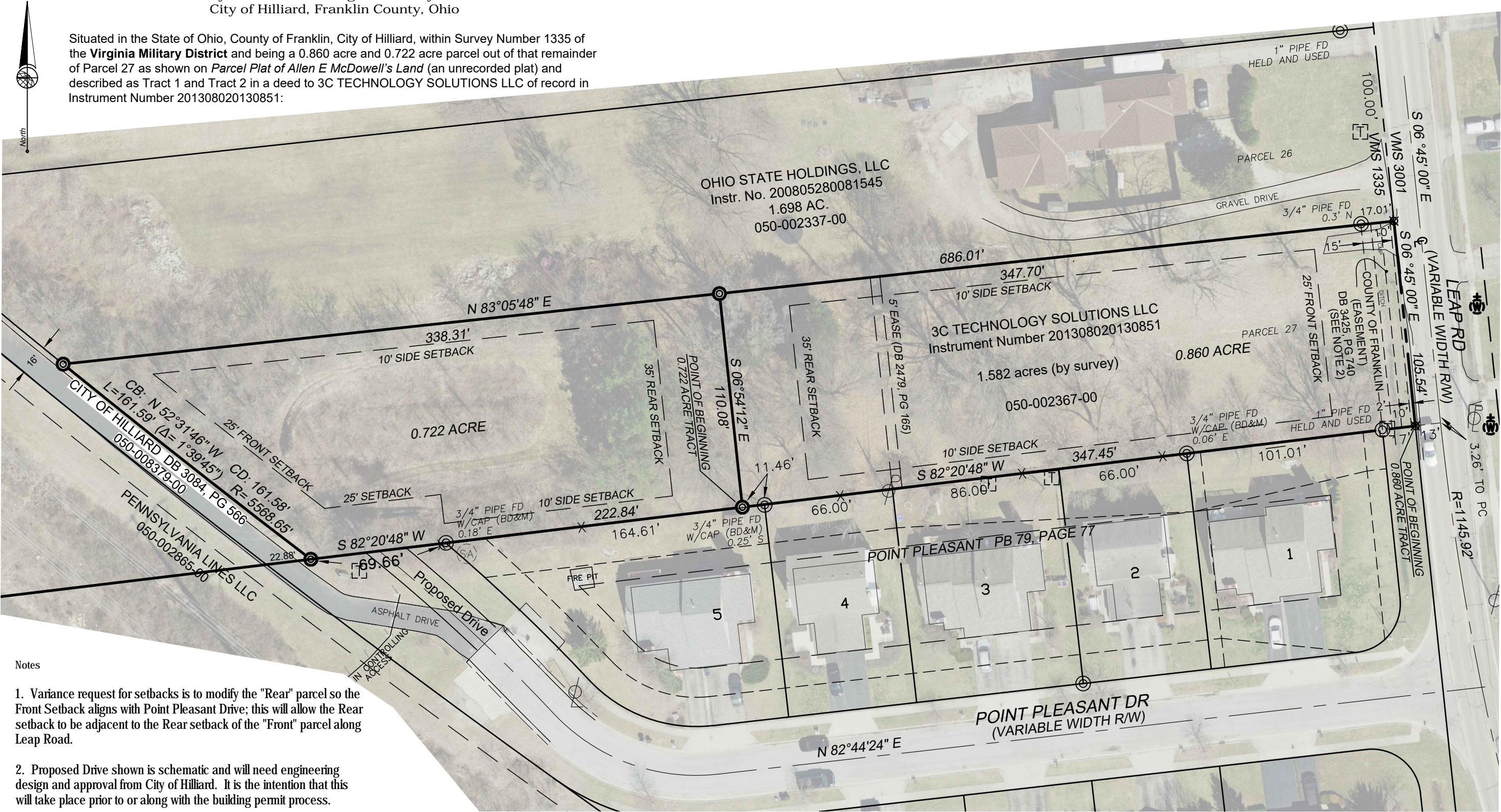


earthmetric, LLC
Circleville, Ohio 43113
614-263-6600
614-404-4097

www.earthmetric.com

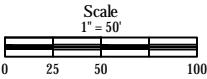
Survey Number 1335, Virginia Military District
City of Hilliard, Franklin County, Ohio

Situated in the State of Ohio, County of Franklin, City of Hilliard, within Survey Number 1335 of the **Virginia Military District** and being a 0.860 acre and 0.722 acre parcel out of that remainder of Parcel 27 as shown on *Parcel Plat of Allen E McDowell's Land* (an unrecorded plat) and described as Tract 1 and Tract 2 in a deed to 3C TECHNOLOGY SOLUTIONS LLC of record in Instrument Number 201308020130851:



Notes

1. Variance request for setbacks is to modify the "Rear" parcel so the Front Setback aligns with Point Pleasant Drive; this will allow the Rear setback to be adjacent to the Rear setback of the "Front" parcel along Leap Road.
2. Proposed Drive shown is schematic and will need engineering design and approval from City of Hilliard. It is the intention that this will take place prior to or along with the building permit process.



PK NAIL FOUND
RAIL SPIKE FOUND
PIPE FOUND
REBAR FOUND
PINCH TOP FOUND

PK NAIL SET
RAIL SPIKE SET
STONE FOUND
REBAR SET
5" REBAR SET W/CAP
(R.M. FOSTER S 7729)

LEGEND

SKIN
POWER POLE
LIGHT POLE

DECIDUOUS TREE
CONIFER TREE
STUMP
CATCH BASIN
TEL. CLOSURE
TEL. MANHOLE

SANITARY MANHOLE
STORM SEWER MANHOLE
WATER METER
WATER VALVE
FIRE HYDRANT

PROPOSED SITE EXHIBIT

3C TECHNOLOGIES, LLC

Rev No.	Date	Revision
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		
81		
82		
83		
84		
85		
86		
87		
88		
89		
90		
91		
92		
93		
94		
95		
96		
97		
98		
99		
100		

CASE 3: PZ-23-2 – AQUARIUM ADVENTURE – 3649 FISHINGER BOULEVARD

PARCEL NUMBER: 050-007274

APPLICANT: DC MRH Medical LLC/Alkire Offices LLC, 4653 Trueman Boulevard, Suite 100, Hilliard, OH 43026; Steve Orr, Wymard & Associates Inc, DBA Aquarium Adventure, 3649 Fishinger Boulevard, Hilliard, OH 43026.

REQUEST: Review and approval of sign variance under the provisions of Hilliard Code Section 1129.03 to increase the maximum area of window signage.

BACKGROUND:

Based on comments from staff regarding the submission, the business owner sent a formal request to withdraw the sign variance application. While the agenda was published, public notices had not been sent to surrounding property owners.

NO ACTION IS NECESSARY AND THE APPLICATION HAS BEEN CLOSED

[END OF REPORT | PZ-23-2]