

MEETING AGENDA (AMENDED)



Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube

Thursday, May 11, 2023 | 7:00 pm

1. **Call to Order**
2. **Pledge of Allegiance to the Flag**
3. **Roll Call**
4. **Approval of the Meeting Minutes – April 13, 2023**
5. **Oath to Tell the Truth**
6. **Changes to the Agenda** (requests for postponements, withdrawals, or change in order of cases)
7. **Postponed Cases:**

CASE 1: PZ-23-8 – MARRAKESH MARKET – 3193 HILLIARD ROME ROAD

PARCEL NUMBER: 050-002969

APPLICANT: 543 Company, c/o Melissa Kelly, P.O. Box 869, Lima, OH 45802; c/o Shafiullah Syed, 3193 Hilliard Rome Road, Hilliard, OH 43026.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to permit window signage to exceed 10 percent of the window area.

8. **New Cases:**

CASE 2: PZ-23-14 – 3637LAC PROPERTY LLC – 3637 LACON ROAD

PARCEL NUMBERS: 050-002812 & 050-002862

APPLICANT: 3637Lac Property LLC., 3637 Lacon Road, Hilliard, OH 43026; c/o Patrick Thornton, 1101 Auburn Avenue, Cleveland, OH 44113.

REQUEST: Review and approval of a conditional use under the provisions of Hilliard Code Section 1123.03, 1123.04 for building material and lumber supply and 1123.17(c) for outdoor storage exceeding 10 percent of the total area of the site on 4.8 acres.

CASE 3: PZ-23-15 – HILLIARD RECREATION & WELLNESS CAMPUS ATHLETIC FIELDS – 6287 COSGRAY ROAD

PARCEL NUMBER: 050-010761 & 050-010764

APPLICANT: City of Hilliard, c/o Edgar Merritt, Recreation and Parks Director, 3800 Veterans Memorial Drive, Hilliard, OH 43026.

REQUEST: Review and approval of a conditional use under the provisions of Hilliard Code Section 1123.03 and 1123.04 and the Hilliard Recreation & Wellness Center PUD Development Text for athletic fields on 79.0 acres and temporary signage under the provisions of Hilliard Code Section 1129.08.

CASE 4: PZ-23-16 – DUNLAP HOLDINGS LLC PROPERTY – 4000 PARKWAY LANE

PARCEL NUMBER: 050-002266

APPLICANT: Dunlap Holdings LLC., c/o Cyndie Dunlap, 4000 Parkway Lane, Hilliard, OH 43026; c/o Anthony Kelly, 3599 Chiller Lane, Columbus, OH 43219.

REQUEST: Review and approval of a conditional use under the provisions of Hilliard Code Section 1123.03, 1123.04 and 1123.18(f) for indoor commercial recreation on 1.01 acres.

CASE 5: PZ-23-17 – DAYLIGHT DONUTS – 5228 CEMETERY ROAD

PARCEL NUMBER: 050-011463 & 050-011462 (LANDMARK LOFTS SUBDIVISION)

APPLICANT: WRK Development LLC., 250 E. Broad Street, Suite 1100, Columbus, OH 43215; Kohr Royer Griffith Inc., c/o John Royer, 1480 Dublin Road, Columbus, OH 43215; Daylight Donuts, c/o Yaser Alwadeya, 5228 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of a revised lighting to permit decorative outdoor string lights and a revised landscape plan to permit the removal of existing trees on 5.68 acres.

9. Discussion Items
10. Chairman’s Communication
11. Committee Communications
12. Adjournment

[END OF AGENDA | MAY 11, 2023]

MEETING MINUTES

Planning & Zoning Commission

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and Live-Streaming on YouTube



Thursday, April 13, 2023 | 7:00 pm

CALL TO ORDER

Vice Chair Schneck called the Regular Meeting of Planning and Zoning Commission to order at 7:00 PM.

PLEDGE OF ALLEGIANCE TO THE FLAG

Mr. Lewie led the Commission and attendees in the Pledge of Allegiance.

ROLL CALL

Attendee Name:	Title:	Status:
Chairman Jay Muether	Chair	Excused
Vice Chair Bevan Schneck	Vice Chair	Present
Eric Gutknecht	Member	Present
Chris Lewie	Member	Present
Tracey Nixon	Member	Present
Tom Pannett	Member	Present
Bill Uttley	Member	Present

Staff Members Present: Planning Director John Talentino, City Engineer Clark Rausch, Planning Manager Carson Combs, Staff Attorney Kelly Clodfelder, Assistant City Manager Dan Ralley, Zoning Inspector Forest Runnels, Zoning Enforcement Officer Kristie Shaffer, Administrative Assistant Sandi Hopkins, Project Engineer Jeff Cox and Council Representative Peggy Hale.

Others Present: Tom Hart (Painter & Associates), Greg Chillog (EDGE Group) and Jim Hiltz (Pulte Homes) (PZ-22-69) representing the Tarlton Meadows Homeowners Association and Pulte Homes; Kristin Donnell (PZ-23-13) representing Parkview Preserve; Shafiullah Syed and Lamoney Larson (PZ-23-8) representing Marrakesh Market; Chris Vallette, DSA Architects (PZ-23-9) representing Local Cantina; Leland Vogel, Como Development (PZ-23-10) representing Weaver Flex Park; Cole Antle, Westwood Collective (PZ-22-11) representing Hilliard Winery & Events Center; Jeremy Whitham (PZ-23-11) representing Old Hilliard Mercantile; and others in attendance.

APPROVAL OF MEETING MINUTES – March 9, 2023

Vice Chair Schneck asked if there were any changes or corrections to the March 9, 2023, minutes. The minutes were approved by voice vote as submitted.

Status:	Accepted by Voice Vote (6-0)
Ayes:	Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley

OATH TO TELL THE TRUTH

Staff Attorney Kelly Clodfelder administered the Oath to Tell the Truth.

CHANGES TO THE AGENDA

Planning Manager Carson Combs noted no changes to the agenda. He noted that additional correspondence regarding Case #2 was provided to the Commission prior to the meeting. Mr. Combs also urged the Commission to use their microphones to facilitate adequate viewing for the public online.

CASE 1: PZ-23-2 – AQUARIUM ADVENTURE – 3649 FISHINGER BOULEVARD

PARCEL NUMBER: 050-007274

APPLICANT: DC MRH Medical LLC/Alkire Offices LLC, 4653 Trueman Boulevard, Suite 100, Hilliard, OH 43026; Steve Orr, Wymard & Associates Inc, DBA Aquarium Adventure, 3649 Fishinger Boulevard, Hilliard, OH 43026.

REQUEST: Review and approval of sign variance under the provisions of Hilliard Code Section 1129.03 to increase the maximum area of window signage.

[Ms. Shaffer gave the staff report.]

UPDATE:

This application was heard by the Commission at its March 9, 2023, regular meeting. At that time the Commission expressed concern that the proposed 50% window coverage was too excessive and that an alternative was necessary for further consideration. At the request of the applicant, the Commission postponed the case to provide additional time for the applicant and staff to work out a compromise proposal for the Commission to consider.

BACKGROUND:

The site consists of an existing tenant space on 5.59 acres located on the east side of Park Mill Run Drive approximately 750 feet west of Fishinger Boulevard and approximately 600 feet south of Park Mill Run Drive. The retail location is within the Mill Run PUD and includes a tenant space near the southern end of the strip plaza near Lowe's. The property is surrounded to the north and west by other properties within the Mill Run PUD zoning district in Hilliard. Properties to the south and east, including outparcels along Fishinger Road within the Mill Run development, are located within the City of Columbus.

In March 2020, the City enacted a temporary modification to the sign code in an effort to aid and support businesses during the COVID-19 pandemic. The temporary modification allowed businesses to have additional temporary signage as well as window signage. The modification was lifted on November 30, 2022, and the City's standard code requirements outlined in Chapter 1129 were reinstated. Upon the lifting of the modification, the City's Code Enforcement inspected businesses city-wide to ensure Code compliance. It was determined that the applicant, Aquarium Adventures, had window signage exceeding the 10% allowance. Because of the nature of the graphic, the applicant applied to the Public Arts Commission requesting inclusion in the City's mural program. The Arts Commission did not provide a recommendation and felt that the proposal should be considered as window signage instead of a mural. As a result, the public arts application was not forwarded to City Council for review.

The Commission has denied applications for window signage that exceeds Code on June 14, 2012, (12-0014LC) and November 12, 2015 (15-0217LR). Both cases were substantial departures from the Code. In contrast, the Commission has approved variances for window signage proposals on February 13, 2020, (19-0479LC) and August 12, 2021, (PZ-21-30) for minor departures from the code that included 11% and 15% window coverage, respectively. The applicant is now requesting that the Planning and Zoning Commission consider a variance to the existing window signage, which staff estimates to be approximately 21 percent of the overall window area.

COMMISSION ROLE:

The Commission is to review the proposed comprehensive signage plan for conformance to the provisions of Hilliard City Code Section 1129.08 as well as the Mill Run PUD Development Plan and Text. Specifically, the Code

provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner's predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

STAFF RECOMMENDATION:

Staff finds that the window sign, as proposed, meets the spirit and intent of the provisions of the Sign Code. The proposed window sign plan will blend with the general character of the area and will not substantially impact surrounding property owners. Based on these findings, staff recommends approval with the following condition:

- 1) That the existing window signage be changed to this proposed plan no later than June 13, 2023.

CONSIDERATIONS:

- City Code Section 1129.03 states the following regarding window signage:
 1. "A business may have window signs equal to or less than ten percent (10%) of the square footage of all windows for that business ("window area"). Windows in doors that are intended to be used for customer entrances shall be included in the calculation of window area but are not included in the ten percent limitation. Windows in all doors that are not used nor intended to be used for customer entrance, including but not limited to, bay doors, dock doors, delivery doors and back doors, are excluded in the calculation of window area and window signs are not permitted thereon. In addition, windows made with spandrel glass (or similar non-vision material) are excluded in the calculation of window area. Signs are not permitted on spandrel glass windows.
 2. Signs shall be limited to the ground floor or first floor windows only unless a use is located in the second or higher stories of a building and the use has no first-floor occupancy.
 3. One window sign may be neon-lit, but if so, the lighted portion of the neon sign must fit within an area no greater than two square feet in size."
- Section 1105.08 defines a window sign as follows: "Any permanent or temporary signs, posters, symbols and other types of identification or information about the use or premises directly attached to or painted on the glass part of a door and/or on the window of a building or erected within six feet of a door or window inside the building with a printed side facing the door or window." Based on the current Code definition, if the proposed graphic was placed more than 6 feet within the window, it would not be considered as signage.
- The proposed graphic is artistic in nature and although the imagery does relate to the business, there is no direct advertising of products, pricing, or services. The graphic is imagery displaying aquatic life.
- Aquarium Adventure occupies a tenant space with approximately 692 square feet of storefront windows. The proposed window sign/graphic is approximately 138 square feet in total area; approximately 21 percent of the window square footage. The storefront window system is 890 square feet and this proposal is approximately 16 percent of the overall window system.

- The Mill Run PUD development text for this location has no specific standards and defaults to the Zoning Code for signage requirements.

[END OF REPORT | PZ-23-2]

Mr. Lewie asked that the picture of the store with the fish ribbon be referred to as “Exhibit A.” Without additional public input, Mr. Lewie (seconded by Ms. Nixon) made a motion to approve a sign variance under the provisions of Hilliard Code Section 1129.03 to increase the maximum area of window signage with one condition:

- 1) That the existing window signage be changed to this proposed plan no later than June 13, 2023.

Status:	Approved (6-0) with one condition.
Mover:	Chris Lewie
Second:	Tracey Nixon
Ayes:	Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley

CASE 2: PZ-22-69 – TARLTON MEADOWS OPEN SPACE – SECTION 3, RESERVE E

PARCEL NUMBER: 050-011708

APPLICANT: Tarlton Meadows Homeowners Association Inc., 5500 Blazer Parkway Suite 175, Dublin, OH 43017; c/o Jim Hilz, Pulte Homes, 475 Metro Place South, Suite 200, Dublin, OH 43017; c/o Thomas Hart, Painter and Associates, 5029 Cemetery Road, Hilliard, OH 43026; c/o Greg Chillog, EDGE Landscape Architects, 330 W. Spring Street, Suite 350, Columbus, OH 43215.

REQUEST: Review and approval of a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Tarlton Meadows PUD Concept Plan and Text for open space landscaping and maintenance.

[Ms. Shaffer gave the staff report.]

UPDATE:

This application was heard by the Commission at its January 12, 2023, regular meeting. At that time the Commission approved the revised final development plan for Reserve E with the condition that the applicant work with staff and return with a revised plan that includes maintenance provisions for the implementation of final landscaping for the open space area.

BACKGROUND:

The site consists of 9.685 acres located on the south side of Hayden Run Road approximately 1,200 feet west of Cosgray Road. On April 23, 2012, Council adopted Ordinance 12-21 approving a PUD Concept Plan and Development Text for the construction of 92 single-family lots and 10.3 acres of commercial uses on 57.6 acres. The final plat for Section 3 of the development was approved by the Commission on May 9, 2019, and was accepted by City Council through Resolution 10-R-56 on June 10, 2019. The applicant is now requesting a revised Final Development Plan to modify required landscaping and maintenance for Reserve “E”.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1117.08 and the Buck Property PUD Development Plan and Text. The Code specifically provides the following requirements for making modifications to an approved PUD Final Development Plan, development text or zoning map in Section 1117.06 of the Code.

- The proposed development is consistent with the purpose of the PUD in Section 1117.01;
- The proposed development meets the qualifying conditions as outlined in Section 1117.02;
- The PUD is consistent with the recommendations of the Hilliard Comprehensive Plan;
- The development is compatible with the existing and intended uses surrounding the site;
- The design and layout is harmonious with the natural character of the site and surrounding area and employs best management practices to ensure their conservation;
- The proposed development does not place undue burdens on public facilities and services;
- The PUD includes uses or conditional uses that are not injurious to public health, safety and welfare;
- The development conforms to the requirements of the Code unless specifically modified and approved;
- The final development plan is substantially consistent with the approved Concept Plan for the PUD; and
- Approval will result in a recognized and substantial benefit to the users of the project and the community in a way not otherwise feasible under conventional zoning.

Following approval by the Commission, the applicant can move forward with the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the updated plans for Reserve E are generally consistent with the nature and intent of Hilliard City Code Section 1117.06 and the Buck Property PUD Development Plan and Text. Based on this finding, staff recommends approval of the revised Final Development Plan for Tarlton Meadows Section 3 Reserve “E” with the following two conditions:

- 1) That the proposed installation and maintenance plan be carried out as proposed, subject to approval of Code Enforcement and the City Arborist or that enforcement action is taken; and
- 2) That installation of the proposed improvements are completed no later than May 31, 2023.

CONSIDERATIONS:

- *Site Context.* The site consists of the western portion of the residential area of the Buck Property PUD and is surrounded by other PUD-zoned properties. Commercial portions of the PUD are located to the north and west and include a commercial landscaping/greenhouse business. The southwest edge of Reserve “E” is bordered by the Heritage Rail Trail, and single-family homes are located to the east as part of Tarlton Meadows Section 3. A 50-foot-wide access easement extends from Meadowview Lane through Reserve “E” to the commercial portion of the PUD consistent with the provisions of the PUD Concept Plan.
- *Original Approved Landscape Plan.* The original PUD zoning and development plan called for perimeter plantings of various approved tree and grass species including 24 Green Colorado Spruce, 17 Douglas Fir and 38 Kwanzan Cherry Trees throughout the property. Plans for the reserve indicated a six-foot mound along the Heritage Rail Trail and wetlands that would be preserved and maintained. During the review of the final plat for Section 3, it was determined that no seasonal wetland existed.
- *Code Enforcement.* An enforcement case originated in July 2021 when a resident complained that Reserve “E” had not been landscaped or maintained in accordance with the approved PUD plan and City Code. The developer was notified of the Code violation and staff has worked for over a year to encourage compliance. Enforcement issues continued throughout 2022 as no maintenance or mowing took place. The applicant submitted this application as a response to the ongoing enforcement action. *Reserves within the Tarlton Meadows development have not been turned over from the developer, Pulte Homes, to the residents. Staff believes that the issue must be resolved as part of commitments made by the developer at the time of the rezoning.*

- *City Forester Review.* Upon site visit with the City Forester, staff determined that there is an abundance of poison hemlock throughout the entire parcel. The City Forester recommended that the area be not permitted to grow as it will result in invasive plant species and noxious weeds continuing to grow.
- *Proposed Plan Modification.* The developer is proposing to split Reserve “E” into six zones (zones 1-6) with the following maintenance plan:
 - ✓ *Zone 1-Earthwork*-Cut and fill to eliminate extreme slopes and to smooth the transition. All earthwork to remain at least 5 feet from property lines.
 - ✓ *Zone 2-Earthwork*-Cut and fill to create swale to move standing water.
 - ✓ *Zone 3-Tree/Vegetation Preservation*-Eliminate poison hemlock; eliminate the tree of heaven and suckers near the earthwork areas only; preserve existing trees and vegetation.
 - ✓ *Zone 4-Plantings*-Plant a mixture of evergreen and deciduous trees to act as a partial visual buffer to nearby commercial areas.
 - ✓ *Zone 5-Lawn Renovation/Fine Turf Area*-Eliminate poison hemlock; eliminate embedded debris; eliminate stones/rocks preventing establishment of turf; fill and smooth all areas so that lawn may be established; maintain general topography and grading “as is”; all work to end at the property lines; maintain the lawn at no more than six inches in height during the growing season; seed/overseed all areas with turf-type fall fescue.
 - ✓ *Zone 6-Naturalized/Rough Turf Area*-Eliminate poison hemlock; eliminate scrub growth/woody vegetation, except for any existing trees. Seed mix to be Lesco Fine Fescue Links Bled or approved.
- *Proposed Maintenance Plan.* A five-year maintenance plan has been proposed for the Zone 6 naturalized area as follows:
 - ✓ *Year One:* mow four times to control annual and biennial weeds; mow to a height of six inches, applicable to the first three mowings; mow to a height of twelve inches for the fourth and final mowing if the native grasses grow higher than six inches; selective herbicides, such as plateau, may also be used to control non-grassy weeds in the native rough areas; do not allow weeds to exceed twelve inches in height between mowings; reseed areas with bare patches of larger than three feet by three feet with rough turf seed mix. If reseeding in fall, treat as dormant seeding and double the seeding rate; remove trash and debris weekly.
 - ✓ *Year Two (Establishment):* Mow early June to a height of twelve inches; if weeds continue to be a problem in the second year, mow again just above the tops of the native grasses. A flail type mower is preferred to a rotary mower as it chops up the material and dries it out without smothering the smaller grasses below; selective herbicides such as plateau may also be used to control non-grassy weeds in the native rough areas late in the second year; reseed areas with bare patches larger than three feet by three feet with rough turf seed mix, if reseeding in fall, treat as dormant seeding and double the seeding rate; remove trash and debris weekly.
 - ✓ *Years Three, Four & Five:* Just after the first mowing of spring, mow the native grasses as closely to the ground as possible in order to do maximum damage to cool-season grasses and weeds.

[END OF REPORT | PZ-22-69]

Mr. Tom Hart, representing the applicant, said that the plans had been revised with staff as requested and that they agree with the conditions listed in the report. He noted that they had requested an extension of the deadline to June 15.

Mr. Gutknecht asked about standing water and inquired if the proposed grading will take care of the issues. Mr. Hart indicated that more grading would need to be done as part of the improvements. Greg Chillig, EDGE Group, said that the water is generally flowing to areas that are not on the site as designed in the overall grading plan. He said that additional refinements would be made along the residences to encourage water to flow to the catch basins as originally designed.

Vice Chair Schneck asked if the June 15, 2023, date was to have everything completed. Ms. Shaffer clarified that the proposed date of June 15 is to remove debris and complete the plantings and improvements. She said that the proposal includes a 5-year maintenance plan for the area.

With no public comment, Mr. Gutknecht (seconded by Ms. Nixon) made a motion to approve a revised PUD Final Development Plan under the provisions of Hilliard Code Section 1117.08 and the Tarlton Meadows PUD Concept Plan and Text for open space landscaping and maintenance with two conditions:

- 1) That the proposed installation and maintenance plan be carried out as proposed, subject to approval of Code Enforcement and the City Arborist or that enforcement action is taken; and
- 2) That installation of the proposed improvements are completed no later than June 15, 2023.

Status:	Approved (6-0) with two conditions.
Mover:	Eric Gutknecht
Seconded:	Tracey Nixon
Ayes:	Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley

CASE 3: PZ-23-13 – PARKVIEW RESERVE – 4702 COSGRAY ROAD

PARCEL NUMBER: 050-011790

APPLICANT: Kristin Donnell, 3748 Stunsail Lane, Columbus, OH 43221.

REQUEST: Review & approval of a lot split/deed transfer/Final Development Plan under the provisions of Hilliard Code Section 1188.05 and the Parkview Reserve PUD Concept Plan for a subdivision consisting of 4 lots on 6.0 acres.

[Mr. Talentino gave the staff report.]

BACKGROUND:

The site is 5.99 acres located on the east side of Cosgray Road approximately 2,300 feet south of Hayden Run Road. On February 24, 2022, the site was annexed into the City of Hilliard and assigned a zoning classification of R-R. (Ordinance 22-02). On October 10, 2022, Council adopted an Ordinance 22-34 creating the Parkview Reserve PUD. The applicant is now requesting approval of a lot split/deed transfer consisting of the Final Development Plan for 4 lots on 6.0 acres.

COMMISSION ROLE:

The Commission is to review the proposed lot split for conformance to the provisions of Code Section 1188.05. Specifically, the Code provides for the granting of a lot split under the review criteria as outlined in Code Section 1188.05:

- Whether the design and layout of all subdivisions shall conform with the requirements of the Hilliard Design Manual.
- Whether the proposed lot split meets the minimum requirements adopted for the protection of the public health, safety and welfare. To protect the public among other purposes, such provisions are intended to provide for a permanently wholesome community environment, adequate public services and safe streets and highways.

The Commission is to also review the proposed PUD Final Development Plan for conformance to the provisions of the Parkview Preserve PUD Concept Plan and the Zoning Code as outlined in the PUD provisions of Chapter

1117. Specifically, the Code provides for the granting of final development plan approval under the criteria in Section 1117.06:

- Whether the proposed development is consistent with the purposes and conditions of the PUD Zoning District;
- Whether the proposal is consistent with the Hilliard Comprehensive Plan and is compatible with existing and potential uses around the property;
- Whether the layout and design is harmonious with the natural character of the surrounding area and site and employs best management practices;
- Whether the proposed project will place undue burden on public facilities and services;
- Whether the PUD will contain uses or conditions that may be injurious to the public health, safety and welfare;
- Whether the proposed development conforms to Code requirements unless specifically modified and approved in accordance with Chapter 1117;
- Whether the final development plan is generally consistent with the approved Concept Plan; and
- Whether the approval will result in a recognizable and substantial benefit to users of the project and the community, which would not otherwise be feasible under conventional zoning districts.

Following approval of the lot split/deed transfer and final development plan by the Commission, the applicant can move forward with the recording of applicable legal descriptions, exhibits and easements to establish the lots according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed lot split/deed transfer and Final Development Plan is consistent with the provisions of Code Section 1188.05 and the PUD Concept Plan. Based on this finding, staff recommends approval of the proposal with the following three conditions:

- 1) That the plan is revised to show the recommended right-of-way for Cosgray Road per the Hilliard Thoroughfare Plan (60 feet from centerline), which is to be dedicated to the City;
- 2) That the legal description and exhibits for the lot split/deed transfer meet the requirements of the City Engineer for format and content; and
- 3) That the lot split/deed transfer is recorded and that evidence thereof is provided to City staff.

CONSIDERATIONS:

- *Zoning & Site Context.* The site is zoned PUD. The PUD Development Text permits 3 single-family lots and a 2.96-acre reserve area which will be shared by the property owners. To the north and east are residential properties within Norwich Township. To the west, across Cosgray Road, is Homestead Park zoned S-1, Support Facilities District. To the south is the Bo Jackson Elite Sports facility zoned S-1. The site has an existing 1,920-square-foot garage building which is set back approximately 500 feet from the Cosgray Road right-of-way line. The eastern portion of the site is wooded. There are no existing sidewalks along Cosgray Road on the site or adjacent properties to the north and south. The site has an existing 100-foot-wide petroleum easement which runs diagonally across the western portion of the site.
- *Thoroughfare Plan.* The Thoroughfare Plan classifies Cosgray Road as a Major Arterial (four-lane roadway with two through lanes in each direction and with a barrier center median and with separate left turn lanes at driveway and intersections) with a recommended minimum right-of-way width of 120 feet. The plans show that an additional 32.71 feet of right-of-way from centerline along the site's Cosgray Road frontage is needed to conform to the recommendations of the Hilliard Thoroughfare Plan (60 feet from centerline).

Proposed Plan:

- **Proposed Lot Split.** The proposed plan shows the site will be subdivided into four lots including three single-family lots and a 2.96-acre reserve. **[Staff recommends that the plan be revised to show the recommended right-of-way for Cosgray Road per the Hilliard Thoroughfare Plan.]** Access to the proposed lots will be from the existing full-service access point on Cosgray Road and a common access drive through the site.
- **Lot/Site Standards.** Section 4.A. of the approved PUD text limits the site to a maximum of 3 single-family homes and requires a minimum 2,000-square-foot floor area for dwellings.

[END OF REPORT | PZ-23-13]

Mr. Pannett asked how they would have access to the road; Mr. Talentino explained that the project includes a shared access drive as indicated on the plan.

Vice Chair Schneck asked for clarification as to whether the wooded area will be maintained. Mr. Talentino identified the wooded area and noted that it would be maintained as a reserve area for common use by all of the proposed lots.

Kristin Donnell, the applicant, stated that she agreed with the conditions in the staff report. She explained for Mr. Pannett that the big tree on the site had to be removed because it would be located in the middle of the proposed homes.

No additional discussion occurred. Mr. Uttley made a motion, seconded by Mr. Pannett, to approve a lot split/deed transfer and Final Development Plan under the provisions of Hilliard Code Section 1188.05 and the Parkview Reserve PUD Concept Plan for a subdivision consisting of 4 lots on 6.0 acres with the following three conditions:

- 1) That the plan is revised to show the recommended right-of-way for Cosgray Road per the Hilliard Thoroughfare Plan (60 feet from centerline), which is to be dedicated to the City;
- 2) That the legal description and exhibits for the lot split/deed transfer meet the requirements of the City Engineer for format and content; and
- 3) That the lot split/deed transfer is recorded and that evidence thereof is provided to City staff.

Status:	Approved (6-0) with three conditions.
Mover:	William Uttley
Second:	Tom Pannett
Ayes:	Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley

CASE 4: PZ-23-8 – MARRAKESH MARKET – 3193 HILLIARD ROME ROAD

PARCEL NUMBER: 050-002969

APPLICANT: 543 Company, c/o Melissa Kelly, P.O. Box 869, Lima, OH 45802; c/o Shafiullah Syed, 3193 Hilliard Rome Road, Hilliard, OH 43026.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to permit window signage to exceed 10 percent of the window area.

[Mr. Runnels gave the staff report.]

BACKGROUND:

The site is +/- 6.47 acres located at the northwest corner of Hilliard Rome Road and Tinapple Road. The site is zoned B-2, Community Business District, and consists of 4 shopping center buildings occupied by a variety of tenants. The site borders 3 residential neighborhoods to the west, east (across Hilliard Rome Rd.), and south. The neighborhoods to the east and west are both within the City of Columbus. The neighborhood to the south is Hyde Park, which is in Hilliard. To the north, across Hilliard Rome Road, is Cross Creek Park.

In March 2020, the City enacted a temporary modification to the sign code in an effort to aid and support businesses during the COVID-19 pandemic. The temporary modification allowed businesses to have additional temporary signage as well as window signage. The modification was lifted on November 30, 2022, and the City's standard code requirements outlined in Chapter 1129 were reinstated. Upon the lifting of the modification, the City's Code Enforcement officers inspected businesses city-wide to ensure Code compliance. It was determined that the applicant, Marrakesh Market, had window signage exceeding the 10 percent allowance.

The Commission has denied applications for window signage that exceeds Code on June 14, 2012, (12-0014LC) and November 12, 2015 (15-0217LR). Both cases were substantial departures from the Code. In contrast, the Commission has approved variances for window signage proposals on February 13, 2020, (19-0479LC) and August 12, 2021, (PZ-21-30) for minor departures from the code that included 11% and 15% window coverage, respectively.

The applicant is now requesting a sign variance from the Planning and Zoning Commission to permit existing window signage that is approximately 16.6% of the overall window area.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner's predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

STAFF RECOMMENDATION:

Staff finds that the proposal represents a significant departure from the provisions of the Zoning Code. Staff finds that there can be a beneficial use of the property without the proposed variance and that the request is substantial and not consistent with the purpose, spirit and intent of the Graphics and Sign Code. In this case the signage includes specific advertisement of retail products and is not a general graphic or image. Based on these findings, staff respectfully recommends that the proposed window sign variance is denied.

CONSIDERATIONS:

- City Code Section 1129.03 states the following regarding window signage:

1. "A business may have window signs equal to or less than ten percent (10%) of the square footage of all windows for that business ("window area"). Windows in doors that are intended to be used for customer entrances shall be included in the calculation of window area, but are not included in the ten percent limitation. Windows in all doors that are not used nor intended to be used for customer entrance, including but not limited to, bay doors, dock doors, delivery doors and back doors, are excluded in the calculation of window area and window signs are not permitted thereon. In addition, windows made with spandrel glass (or similar non-vision material) are excluded in the calculation of window area. Signs are not permitted on spandrel glass windows.
 2. Signs shall be limited to the ground floor or first floor windows only unless a use is located in the second or higher stories of a building and the use has no first-floor occupancy.
 3. One window sign may be neon-lit, but if so, the lighted portion of the neon sign must fit within an area no greater than two square feet in size."
- Section 1105.08 defines a window sign as follows: "Any permanent or temporary signs, posters, symbols and other types of identification or information about the use or premises directly attached to or painted on the glass part of a door and/or on the window of a building or erected within six feet of a door or window inside the building with a printed side facing the door or window." Based on the current Code definition, if the proposed graphic was placed more than 6 feet within the window, it would not be considered as signage.
 - Marrakesh Market operates in a tenant space with approximately 512 square feet of window surface area, which would allow for 51.2 square feet of cumulative window signage. Currently, there is approximately 85 square feet of window signage, which requires a reduction of window signage by 33.8 square feet. Most of the window signage consists of direct advertisements of individual products and/or brand logos.
 - Section 1129.01 (a) of the City's Sign Code states "The regulations of this chapter are intended to protect and promote the public health, safety, convenience, comfort, prosperity, and general welfare of the residents of the City of Hilliard; to maintain and improve the appearance of the community; to conserve community character; to prevent traffic hazards; to provide safe conditions for pedestrians; and to promote economic development by regulating the construction, alteration, repair, maintenance, size, location, and number of signs. It is further determined that to allow signs of excessive number and size in the City would unduly distract pedestrians and motorists, create potentially dangerous traffic conditions, and reduce the effectiveness of signs needed to direct the public. The regulations of this chapter are intended to provide reasonable identification for businesses and other uses within the community; ***but are not intended to serve as a means of advertising.***"

[END OF REPORT | PZ-23-8]

Mr. Schneck asked about the number of colors standard on a sign; Mr. Runnels stated that window signs do not have the same color restrictions as business identification signs. He clarified for Mr. Gutknecht that the signs are images of products being sold.

Mr. Lewie asked if the applicant would be close to the 10% requirement if portion #4 on the images was removed. Mr. Runnels did not have specific calculations available. Mr. Lewie suggested that the application be postponed until the Commission knows the specifics.

Mr. Uttley asked about the nature of the violation; Mr. Talentino clarified that the issue was the overall size of the signage within the window.

Mr. Uttley and Vice Chair Schneck expressed a desire to have a compromise; Mr. Runnels said that some signs had been taken down, but that the applicant's window signage was still approximately 16% over the limit.

Shafiullah Syed and Lamoney Larson spoke at the meeting. Mr. Syed stated the officers told them they were are 50% so they took the signs down to its current level. The signs show what product they are selling in the market. He noted that if they remove some of the signs, they are located behind the freezers.

Mr. Gutknecht suggested possibly removing areas #3 and #4, and Vice Chair Schneck suggested working with staff to get the signage down to a reasonable percentage; Mr. Talentino confirmed that if the applicant postponed the case, staff could work with them to get closer to the 10 percent limit.

Vice Chair Schneck suggested that the applicant work with staff so that they do not have to return next month; Mr. Uttley suggested that they could remove four panels subject to staff approval.

Staff Attorney Clodfelder reminded the Commission that the motion needs to be specific; Vice Chair Schneck asked the applicant if they would request a postponement to the following month the work with staff to arrive at a compromise.

Mr. Syed agreed and requested that the Commission postpone the case.

Mr. Lewie (seconded by Ms. Nixon) at the request of the applicant made a motion to postpone the application until the May 11, 2023, meeting so that the applicant can work with staff to develop a refined proposal that is more in keeping with the intent of the Code.

Status:	Approved (6-0) and postponed until May 11, 2023.
Mover:	Chris Lewie
Second:	Tracey Nixon
Ayes:	Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley

CASE 5: PZ-23-9 – LOCAL CANTINA – 3975 MAIN STREET

PARCEL NUMBER: 050-000362, 050-000363

APPLICANT: Main and Madison Center LLC., 1816 North High Street, Columbus, OH 43201; c/o Chris Vallette, DSA Architects, Inc., 72 Mill Street, Gahanna, OH 43230.

REQUEST: Review and approval of an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115 to permit a 624-square-foot aluminum awning for an existing ±1,050-square-foot outdoor dining area.

[Mr. Combs gave the staff report.]

BACKGROUND:

The site consists of two parcels totaling 0.76-acre located on the west corner of Main Street and Madison Street near the southern entrance to Old Hilliard. The restaurant is part of a ±5,276-square-foot multi-tenant commercial building constructed in 2015 that includes the restaurant and a Heartland Bank branch (3971 Main Street). Local Cantina has a ±1,000-square-foot outdoor patio/dining area featuring an existing pergola.

The applicant is now requesting approval of an Old Hilliard District Plan to permit the addition of an attached canopy that will replace an existing free-standing pergola.

COMMISSION ROLE:

The Commission is to review the Old Hilliard District Plan proposal for conformance to the general design criteria as specified in Code Section 1115.05 to determine whether the proposed Old Hilliard District Plan achieves the following criteria:

- Whether the project conforms to neighborhood development goals and the recommendations of the Comprehensive Plan.
- Whether the project is complementary to the historic character of the District.
- Whether the project harmoniously relates to and enhances adjacent structures and public spaces with respect to scale, building materials, setbacks and similar design elements.
- Whether the proposal accommodates and promotes pedestrian activity through wide sidewalks, linkages to surrounding uses and public spaces and minimal conflicts with vehicular access.
- Whether the project contributes to the area's sense of place, reinforce Old Hilliard's unique character and enhance the people-oriented setting.
- Whether the proposal places special emphasis on creating people-oriented facades along Main and Norwich Streets and are facades in scale with pedestrian activity and movement with entrances that are well-defined and inviting.
- Whether the proposed plan addresses specific design requirements for architecture, building materials, color, roof forms, windows, mechanicals, awnings, landscaping, screening, parking, utilities, maintenance and signage as provided for in Section 1115.05.

Following approval by the Commission, the applicant may submit for permits to begin construction of the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed canopy is generally consistent with the provisions of the Zoning Code and furthers the goals of the Comprehensive Plan to encourage outdoor pedestrian activity. The proposal further meets the criteria as outlined for the Old Hilliard District. Based on these findings, staff recommends approval of the proposed plan with the following two conditions:

- 1) That the proposed metal roofing is painted brown to match the existing roof color; and
- 2) That a zoning certificate and building permit are obtained prior to construction.

CONSIDERATIONS:

- *Proposed Improvements.* The restaurant includes an existing dining patio and the proposed canopy would provide protection for diners from direct sunlight and the elements, extending the use of the outdoor space. The proposed structure includes eight 4"x4" support posts and metal roofing (color: IFS Coatings Black). The building currently has brown dimensional shingles and brown standing seam metal roof elements. Staff recommends that the proposed metal for the attached canopy be finished in a color consistent with the existing roof.
- *Stormwater.* The proposed canopy is 24 feet long and 26 feet wide (624 square feet). The patio is currently paved, and the proposed project will not impact stormwater requirements.
- *Required Permits.* The proposed canopy is being incorporated into the primary structure and will require building permits. Approval of a zoning certificate will also be required prior to construction. The proposed canopy will be a minimum of 8 feet above grade, which is adequate for pedestrian clearance.

[END OF REPORT | PZ-23-9]

The Commission had no additional questions for staff.

Chris Vallette with DSA Architects informed the Commission that he had read the staff report and that the awning color has already been changed from black to bronze to match the metal roof for the bank. He referred to the rendering on the screen.

Mr. Uttley asked how the flat surface of the roof will handle the rainwater. Mr. Vallette stated there will be downspouts for rainwater and that the structure will have clear plastic panels in the winter so that the space can be heated. He confirmed for Ms. Nixon that the existing parrot would remain.

With no additional concerns or public input, Mr. Pannett (seconded by Mr. Lewie) made a motion to approve an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115 to permit a 624-square-foot aluminum awning for an existing $\pm 1,050$ -square-foot outdoor dining area with two conditions:

- 1) That the proposed metal roofing is painted brown to match the existing roof color; and
- 2) That a zoning certificate and building permit are obtained prior to construction.

Status:	Approved (6-0) with two conditions.
Mover:	Tom Pannett
Secunder:	Chris Lewie
Ayes:	Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley

CASE 6: PZ-23-10 – WEAVER FLEX PARK – 4350 WEAVER COURT NORTH

PARCEL NUMBER: 050-002994 (NORTHWEST INDUSTRIAL COMPLEX, SECTION 3)

APPLICANT: Granite Inliner LLC, PO Box 50085, Watsonville, CA 95077; c/o Leland Vogel, Como Development, LLC, 5405 Red Bank Road, Galena, OH 43021.

REQUEST: Review and approval of a Level “B” site plan under the provisions of Hilliard Code Chapter 1131 for a 71,960-square-foot flex industrial development consisting of 6 buildings on ± 7.134 acres.

[Mr. Combs gave the staff report.]

BACKGROUND:

The site is ± 7.134 acres located on the east side of Weaver Court North approximately 1,200 feet north of Northwest Parkway. The CSX railroad is located adjacent to the eastern edge of the site. The property includes significant utility easements along the east and north property lines and includes an existing detention basin that serves the Granite Inliner property to the south. The parcel is part of the Northwest Industrial Complex Section 3 plat recorded in 1978 and was originally Lot #20 within the industrial subdivision. It was later combined with Lot 19 to create one larger development parcel that totaled ± 18.47 acres. On January 12, 2023, the Commission approved a lot split application to re-establish the original Lot #20 from the larger combined parcel. That approved lot split was signed by the City Engineer on March 30, 2023. The applicant is now requesting Level “B” site plan approval for the property, which is zoned M-1, Restricted Industrial District.

COMMISSION ROLE:

The Commission is to review the proposed Level “B” Site Plan under the provisions of Hilliard Code Chapter 1131. Specifically, the Commission is to utilize the review standards provided in Section 1131.06 which outlines the following review criteria:

- That the site must be designed in a manner that is harmonious to the character of the surrounding area to the greatest extent possible;

- That the site is designed to minimize hazards and reduce negative effects of traffic, noise, smoke, fumes and glare to adjacent properties to the greatest extent possible; and
- That the proposed site plan addresses traffic circulation, stormwater management, landscaping, screening, lighting, utility service, exterior uses, emergency access, water and sewer, and signage as defined within Section 1131.06.

Following approval by the Commission, the applicant may submit for civil plan approval of final engineering details and building permits to begin construction of the proposed improvements according to the requirements of the Code and the site plan conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed site plan is generally consistent with the overall intent of the Code and adequately addresses basic zoning requirements for the M-1 zoning district with the conditions as noted. The site plan submission appears to comply with necessary provisions of the Code and achieves objectives within the Comprehensive Plan to provide for flex office space that can support growing companies within the city. The proposal also addresses the specific site plan elements that are identified within Section 1131.06 of the Zoning Code. Based on this finding, staff recommends that the proposed Level “B” Site Plan be approved with six conditions:

- 1) That the site layout meets the requirements of the Norwich Township Fire Department concerning emergency vehicle access and turning radii;
- 2) That the applicant obtains a variance from the Board of Zoning Appeals to reduce the required minimum number of tree replacement caliper inches to 150, of which can be planted either on-site or off-site;
- 3) That landscape plans are updated to meet all applicable landscape code requirements and to maximize the number of replacement trees on-site in a manner that protects the health and safety of the trees, as determined by the City Arborist;
- 4) That the number of replacement trees that cannot be feasibly planted on-site will be planted in public parks or open spaces, as approved by the City Arborist;
- 5) That fence details are provided, subject to staff approval, and that a fence permit is obtained prior to installation; and
- 6) That preservation zones during construction are established on submitted civil plans to protect existing vegetation to the extent possible, subject to staff approval.

CONSIDERATIONS:

- *Site Overview.* The site is zoned M-1, Restricted Industrial District. The site is bounded on the East, South, and West by other M-1 properties, and is bounded on the North by a single-family residential PUD.
- *District Overview.* The M-1 District is established for light industries such as light manufacturing or processing of previously refined materials and other industrial uses that have little or no adverse impact upon neighboring districts. This district also allows certain commercial uses of an industrial character or that are necessary to provide services to employees within the district. The proposal includes a total of 36 suites that include office/flex space recommended in the Comprehensive Plan to encourage changeable space made for smaller, growing companies and employment generation.
- *Dimensional Development Standards.* The M-1 district requires a minimum lot area of one acre and a minimum lot width of 100 feet. The following development standards also apply, and the proposed development conforms to the dimensional requirements of the M-1 Zoning District:

M-1 Zoning Standards	Requirement	Provided
Maximum building height	45 feet	✓18-20
Minimum front parking setback	25 feet	✓25
Minimum front building setback	50 feet	✓±54

Minimum side yard setback	20 feet	✓20
Minimum rear yard setback	40 feet	✓40
Minimum lot coverage (buildings)	30% lot coverage	✓23%
Maximum outdoor storage area	10% lot coverage	✓0%

- **Circulation & Access.** The site is the last undeveloped parcel on Weaver Court North with an original street design that will adequately accommodate the proposed industrial development. The proposed layout includes turn-around points for fire apparatus and hydrants that meet service location requirements. The general layout of the development has been approved by Norwich Township Fire Department, and all final plans will be required to demonstrate final details for required turning radii for safety vehicles.
- **Utilities.** General utilities for the site are available and will be extended as part of the development in accordance with all applicable engineering requirements.
- **Stormwater Management.** Preliminary stormwater and utilities for the site include increasing the existing retention basin that serves the adjacent property to the south. A system of catch basins are proposed that will direct stormwater to the proposed retention pond. All stormwater for the site will be required to comply with the Stormwater regulations as outlined by City Code and the Hilliard Design Manual.
- **Tree Preservation.** The property is heavily wooded and most trees are located in the center of the site where development would occur due. The site includes an extensive number of easements around the perimeter of the property. The site includes 2,442 inches of protected trees or 342 inches per acre. 99 inches will be preserved. The Code permits a 50% reduction for properties exceeding 30 inches per acre, resulting in a total of 1,172 replacement inches required per Code. A detailed tree survey was submitted that also includes species and condition. While the Code does not differentiate, the site includes 765 inches of protected trees that are invasive/banned species or are in poor condition.

	Inches	Trees (2-inch caliper)
Total Protected Inches	2,442	
Inches to be Preserved	-99	
Adjusted Total	2,343	
Code-Required Replacement (50% red.)	1,171.5	586 trees
Invasive/Banned Trees	-182	
Dead/Dying Trees	-583	
Adjusted Total	406.5	204 trees

- **Tree Replacement.** The applicant has submitted a variance to the Board of Zoning Appeals for a reduction in the required number of replacement trees. The applicant has worked with staff and has agreed to provide 150 replacement trees. Staff will work with the applicant to reasonably locate trees on the site in a manner that does not impact the long-term health of the trees. The applicant has also agreed to provide any excess trees to the City for installation in public parks and open space.
- **Landscaping.** Submitted plans generally meet Code requirements. Additional vehicular use islands will be necessary, and a revised plan will be submitted as part of the building permits that will refine final plantings that address both the landscape code and tree replacement.
- **Screening.** Code requires a 40-foot building setback along the residential neighborhood to the north. A 6-foot privacy fence is proposed to meet landscape buffer requirements. Staff recommends that preservation areas are established during permit review that will not be impacted by construction activity.

- *Parking.* Proposed buildings will include ±11,036 gross square feet of office space and ±60,028 square feet of gross general flex space. The office component requires a maximum of 37 spaces, and a final determination of “usable space” will be made for the buildings during the permitting process. A total of 64 parking spaces and 36 dock spaces will be provided.
- *Lighting.* Lighting for the site will include a combination of wall packs and 18-foot light poles with cut-off fixtures. Final photometrics will be required with the civil/engineering application that comply with Code requirements.
- *Signage.* No signage is proposed at this time; however, all signage will comply with Code or be brought back to the Commission for consideration.
- *Exterior Uses.* Service/loading areas are provided as needed for proposed bay doors. The design has been created to accommodate box trucks for deliveries; No outdoor storage area is designated on the proposed plans - the applicant has indicated that leases for the suites will stipulate no outdoor storage is permitted. Prospective tenants will also be notified that zoning certificates are required as part of the lease process.
- *Architecture.* Although the Zoning Code does not include architectural standards for this site, the applicant has provided architectural elevations for the proposed industrial buildings and has worked with staff to provide elements to visually reduce the appearance of the buildings. The Code allows buildings to be a maximum of 45 feet in height, and the proposed buildings are all less than 20 feet in height.

[END OF REPORT | PZ-23-10]

Mr. Schneck asked about caliper inches of trees being reduced. Mr. Talentino stated that there is not way they could replant on site the caliper of trees. The lot was never cleared and we do not want to penalize them for that. We are going to have them reduce the number of trees on the site for the health of the trees and they will have to plant trees at another site, like a park. Mr. Schneck asked about easements. Mr. Combs stated they are going to put a fence and not put vegetation, because of the houses nearby they are trying to have it look nice.

Mr. Uttly asked Clark about the Pond and the water. Mr. Rousch stated we are not that far and do not have calculations.

Leland Vogel has read the staff report and is agreeable. Mr. Uttley asked about the tree counting and Mr. Vogel stated it was a lot.

With no further input, Mr. Gutknecht (seconded by Mr. Uttley) made a motion to approve a Level “B” site plan under the provisions of Hilliard Code Chapter 1131 for a 71,960-square-foot flex industrial development consisting of 6 buildings on ±7.134 acres with six conditions:

- 1) That the site layout meets the requirements of the Norwich Township Fire Department concerning emergency vehicle access and turning radii;
- 2) That the applicant obtains a variance from the Board of Zoning Appeals to reduce the required minimum number of tree replacement caliper inches to 150, of which can be planted either on-site or off-site;
- 3) That landscape plans are updated to meet all applicable landscape code requirements and to maximize the number of replacement trees on-site in a manner that protects the health and safety of the trees, as determined by the City Arborist;
- 4) That the number of replacement trees that cannot be feasibly planted on-site will be planted in public parks or open spaces, as approved by the City Arborist;
- 5) That fence details are provided, subject to staff approval, and that a fence permit is obtained prior to installation; and

- 6) That preservation zones during construction are established on submitted civil plans to protect existing vegetation to the extent possible, subject to staff approval.

Status:	Approved (6-0) with six conditions.
Mover:	Eric Gutknecht
Secunder:	William Uttley
Ayes:	Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley

CASE 7: PZ-23-11 – HILLIARD WINERY & OUTDOOR EVENTS VENUE – 4071 GRANT STREET

PARCEL NUMBERS: 050-000170, 050-000171, 050-000343

APPLICANT: Junction by Westwood, LTD., PO Box 1471 Hilliard, OH 43026; David K. Kim, ESE Holdings, LLC, 8125 Tartan Fields Drive, Dublin, OH 43017; c/o Grace Link, Revival Design Collective, 114 East Court Avenue, Bellefontaine, OH 43311; c/o The Westwood Collective, PO Box 79, Hilliard, OH 43026.

REQUEST: Review and approval of a conditional use under the provisions of Section 1123.03 and Section 1123.10(a) for a ±1,846-square-foot wine production area and an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115 for a 3,840-square-foot winery building with 2,340 square feet of outdoor dining, food truck space and events lawn.

[Mr. Combs gave the staff report.]

BACKGROUND:

The proposed site includes three parcels located at the western corner of Grant Street and Franklin Street. Two parcels (4071 and 4065 Grant Street) are currently residential properties that are 0.173-acre and 0.14-acre, respectively. Both are zoned OH-MD, Old Hilliard Mixed Use District. Across Grant Street from the site is the Early Television Museum, and to the north of the site is the Hilliard Culture & Arts Center and municipal parking. To the south and west are a mix of commercial properties also part of the OH-MD District. The third parcel as part of the proposed development is located at 5460 Franklin Street and includes “The Junction” and a triangular green space adjacent to the residential parcels on Grant Street. The Junction includes 1.2 acres and is also zoned in the OH-MD District. To the west of that property is the Hilliard Schools campus and regional retention basin owned by the City of Hilliard, both zoned S-1, Support Facilities District.

On October 13, 2022, the applicant requested consideration of a shared parking plan/variance to Hilliard Code Section 1127.03. The Commission unanimously approved the parking configuration with the understanding that spaces along Franklin Street would be public parking. The applicant has refined the initial concept and is requesting Old Hilliard District Plan approval for the project and a sign variance to permit a comprehensive sign package. The proposed wine production area also requires Conditional Use approval for the OH-MD District requiring a recommendation from the Commission to City Council.

COMMISSION ROLE:

Conditional Uses: Conditional Uses differ from permitted uses in that they may have a greater impact on the surrounding area and thus require special review and approval. The Commission is to ensure that the proposal will be compatible in this location. In considering the application, the Commission may impose such requirements and conditions as the Commission may deem necessary for the protection of adjacent properties and the public interest using the following review criteria as provided in Section 1123.03:

- That the proposed use will be consistent with the intent and purposes of the zoning code and the Comprehensive Plan and is compatible with the character of the general vicinity.
- That the proposed use complies with applicable requirements of the zoning code, except as specifically altered in the approved conditional use.
- That the proposed use and site layout will not impede the orderly development of the surrounding property for uses permitted in the district. Due consideration will be given to the location and height of proposed buildings and structures, location and type of proposed fences or walls, location and screening of parking areas, and the location and type of proposed landscaping.
- That the area and proposed use will be adequately served by essential public facilities and services, as applicable, such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewer. The applicant or landowner will be required to install public utilities, streets or other public infrastructure as required by the city, state or other agencies to applicable specifications that are necessitated by the conditional use development. Dedication of said public infrastructure may be required.
- That the proposed use will not involve uses, activities, processes, materials, equipment or conditions of operation detrimental to any persons, property, or the general welfare by reason of excessive traffic, noise, smoke, fumes, glare, odor or other characteristic not comparable to permitted uses.
- The location and scale of the use, the nature and intensity of the proposed operations, the site layout and the relation of the proposed use to surrounding streets will not cause undue traffic congestion or hazards beyond that which would be normally expected based on the existing pattern of uses and the planned character reflected in the city's Comprehensive Plan.

Following a recommendation on the conditional use from the Commission, the application will be forwarded to City Council for a final disposition.

The Commission is to also review the proposal for conformance to the general design criteria as specified in Code Section 1115.05 to determine whether the proposed Old Hilliard District Plan achieves the following criteria:

- Whether the project conforms to neighborhood development goals and the recommendations of the Comprehensive Plan.
- Whether the project is complementary to the historic character of the District.
- Whether the project harmoniously relates to and enhances adjacent structures and public spaces with respect to scale, building materials, setbacks and similar design elements.
- Whether the proposal accommodates and promotes pedestrian activity through wide sidewalks, linkages to surrounding uses and public spaces and minimal conflicts with vehicular access.
- Whether the project contributes to the area's sense of place, reinforce Old Hilliard's unique character and enhance the people-oriented setting.
- Whether the proposal places special emphasis on creating people-oriented facades along Main and Norwich Streets and are facades in scale with pedestrian activity and movement with entrances that are well-defined and inviting.
- Whether the proposed plan addresses specific design requirements for architecture, building materials, color, roof forms, windows, mechanicals, awnings, landscaping, screening, parking, utilities, maintenance and signage as provided for in Section 1115.05.

Following approval of the Old Hilliard District Plan (subject to approval of the conditional use) the applicant may submit for applicable permits necessary to begin construction, subject to any specific conditions that are imposed by the Commission as part of the review.

RECOMMENDATION: (MOTION 1 - CONDITIONAL USE)

Staff finds that the proposed wine production facility is in keeping with the intent and purpose of the Old Hilliard area and the goals of the Hilliard Comprehensive Plan. As proposed, the use will complement area events and encourage pedestrian activity that is a key goal in Old Hilliard. Staff finds that the proposed use has been designed in a manner to effectively address impacts on the surrounding area and specific criteria as listed in Sections 1123.03 and 1123.10(a) and recommends approval of the proposed use.

STAFF RECOMMENDATION: (MOTION 2 - OLD HILLIARD DISTRICT PLAN)

Staff finds that the proposed winery and related site development is located adjacent to significant levels of municipal parking and the proposed development will significantly increase parking resources (both on-site and off-site) that are available to the public. The site is also located adjacent to the Heritage Trail system, is within the City's MORA and has proximity to municipal events and spaces that include a significant expectation for pedestrian traffic. Staff finds that the proposed uses are consistent with the intent of the district and generally meet the provisions in Code Section 1115.05, as amended, and recommends approval of the Old Hilliard District Plan with the following five conditions:

- 1) That all proposed mechanicals are properly screened per Code and the plans conform to the provisions of Hilliard Code Section 1123.10;
- 2) That the design and location of all bicycle racks installed within public rights-of way and public land are subject to review and approval by the City Engineer;
- 3) That parking spaces along the Franklin Street right-of-way are integrated into the design as public parking;
- 4) That addressing for the building is provided in accordance with the requirements of the Norwich Township Fire Department; and
- 5) That all agreements between the City and applicant necessary for the installation and maintenance of proposed improvements within public rights-of-way or municipal property are obtained prior to construction.

CONSIDERATIONS:

- *Overview.* The proposed winery and outdoor patios and open spaces are permitted uses within the OH-MD, Old Hilliard Mixed Use District. Wine production is a conditional use and is anticipated to have less impact on traffic and the surrounding area than the permitted restaurant uses. The proposed combination of uses and coordination with The Junction at 5460 Franklin Street are intended to create a destination that focuses on pedestrians and outdoor activity. The parking concept for the development was approved last year and remains essentially unchanged.
- *Conditional Use Criteria.* In addition to the general criteria for conditional uses, Section 1123.10(a) includes the following specific criteria for brewpubs and similar uses that will be adhered to by the applicant as required by Code:
 - ✓ No more than 50 percent of the total gross floor area of the establishment shall be used for the brewery [winemaking] function including, but not limited to, the brewhouse, boiling and water treatment areas, bottling and kegging lines, malt milling and storage, fermentation tanks, conditioning tanks and serving tanks;
 - ✓ Retail carryout of beer [wine] may be permitted, if allowed by Ohio state law;
 - ✓ All mechanical equipment visible from the street (excluding alleys), an adjacent residential use or residential zoning district shall be screened using architectural features consistent with the principal structure or a landscape screen;
 - ✓ Loading bays shall not face toward any street, excluding alleys;

- ✓ Loading bays facing an adjacent residential use or residential zoning district, shall have the doors closed at all times, except during the movement of raw materials, other supplies and finished products into and out of the building;
- ✓ Loading and unloading of materials and equipment shall be permitted only between the hours of 8:00 a.m. and 6:00 p.m. Monday through Saturday;
- ✓ Outdoor storage shall not be allowed. This prohibition includes the use of portable storage units, cargo containers and tractor trailers
- *Winery/Tasting Room.* The application includes a 3,840-square-foot commercial structure. The building is functionally divided into thirds with one section incorporating production and office, a second that includes the kitchen, bar, and indoor tasting area, and a third with covered indoor-outdoor seating and restrooms. The building includes many features and design cues relating to rural barn architecture.
- *Outdoor Events Space.* Plans include an outdoor events lawn and semi-covered patio that can accommodate 176 people. Design for the spaces is consistent with the original concept plan, and the proposed retention pond has increased in size based on more detailed stormwater analysis.
- *Four-Sided Architecture.* Standards for Old Hilliard require the incorporation of design details on all four sides of the building. The production space on the eastern end of the building purposely includes no windows because light and temperature change can impact the winemaking process. Faux windows with trellis and planting box system have been incorporated into that portion of the north elevation. The east elevation facing Grant Street includes a decorative barn door and faux haymow door to coordinate with the rural barn architecture of the building. The south elevation includes bump-outs in the general location of the kitchen and restrooms as added elements. The Code specifically requires elevations facing public streets to include 60% window coverage unless approved by the Commission. While not meeting the window standard, the proposed design can accommodate future installation of windows.
- *Architectural Materials.* The proposed building and events area will utilize a variety of high-quality building materials that include the following:

Roof Material – black metal	Fabral “Extra Dark Bronze P51”
Exterior Walls – crème colored stone	ProVia Arctic Precision Fit (Glacier Palette)
Exterior Siding – metal with oak pattern/color	Longboard “Dark Antique Oak”
Bumpouts – black metal panels with wood finish	MOZ Skinz Charwood
Fence posts – black metal	Feeney “Matte Black”

- *Pedestrian Connectivity.* The proposed site layout includes a 9-foot-wide sidewalk along the Franklin Street right-of-way that will link The Junction and events space to Grant Street. The sidewalk has been extended by 2 feet (and paved portion of parking spaces shortened) so that vehicles will have a 2-foot overhang and not impede pedestrian movement on the sidewalk. A pedestrian connection will also be made across the Franklin Street right-of-way to the entrance area of the Cultural & Arts Center.
- *Winery/Events Center Parking.* Parking Code requires a total of 46 on-site spaces. The Code allows the Commission to further reduce the required level of parking, as well as to approve shared parking arrangements or other parking configurations that meet the general intent of the Code. The development includes the incorporation of 30 public spaces along Franklin Street, the installation of a private lot with approximately 11 spaces adjacent to the winery and the incorporation of 6 additional spaces within the existing municipal lot providing a total of 47 spaces. At the request of staff, one space has been removed to maintain food truck access and a second space has been removed at the winery entrance to allow landscaping that can break up the length of parking and visually identify the main entrance. The proposal continues to meet the intent of the parking code to provide shared parking as approved by the Commission in 2022:

Proposed Wine Bar / Events Area Parking			
Use	Requirement	Standard	Spaces Required
Production Area	1,830 square feet UFA	1 per 800 sf	2.29 spaces
Restaurant/Covered Patio	2,137 square feet UFA	1 per 50 sf	42.74 spaces
Uncovered Patio	50 seats	1 per 3 seats	25.33 spaces
Events Area	126 seats	1 per 3 seats	33.33 spaces
		GROSS SPACES REQUIRED>	104 spaces
Old Hilliard	Parking Reduction	50% reduction	(-) 52 spaces
Bicycle	Parking Reduction	1 per 4 bike spaces	(-) 6 spaces
		NET SPACES REQUIRED	46
		SPACES PROVIDED	47

- *The Junction Parking.* Parking for the winery/events area includes coordination with The Junction at 5460 Franklin Street. Analysis of the Parking Code for the mix of uses requires a total of 21 spaces. Construction of the food truck plaza and the relocation of the dumpster will leave the site with a total of 23 spaces.

The Junction - 5460 Franklin Street – Shared Parking			
Use	Requirement	Standard	Spaces Required
Office	1,200 square feet UFA	1 per 300 sf	4.0 spaces
Co-Work Space	1,740 square feet UFA	1 per 300 sf	5.8 spaces
Restaurant/Bar	1,521 square feet UFA	1 per 50 sf	30.42 spaces
Golf Simulator	1 per 3 occupants	1 per 3 occupants	5.67 spaces
		GROSS SPACES REQUIRED>	46 spaces
Old Hilliard	Parking Reduction	50% reduction	(-) 23 spaces
Bicycle	Parking Reduction	1 per 4 bike spaces	(-) 2 spaces
		NET SPACES REQUIRED	21
		SPACES PROVIDED	23

- *Public Spaces.* The site is directly adjacent to 193 municipal spaces and other similar uses within Old Hilliard have been granted approval with no on-site parking required. Plans include the creation of 36 additional spaces that will be available to the public. The proposed mix of uses will also appropriately coordinate the following:
 - The One9 at The Junction emphasizes winter use for the golf simulators.
 - Sexton’s Pizza emphasizes carry-out uses to minimize parking impact.
 - Proposed outdoor space will not be utilized during cold weather months for events.
 - Co-working space within The Junction has limited impacts on parking.
 - Inclusion of the winery production provides activity to the area as a destination point while minimizing parking impacts.
 - DORA activities are purposely focused on pedestrian activity throughout this entire portion of Old Hilliard.
- *Traffic Analysis.* Plans include a traffic analysis that determined that the proposed uses (given location and peak hour trips) will have no significant impact on area roads. That study was completed assuming no on-site parking provision and was provided with the original parking concept approved by the Commission.
- *Bicycle Amenities.* The proposed development will include 12 bicycle spaces along Grant Street and an additional 12 bicycle spaces at the access point to the path on the school site that links with the Heritage Trail. These amenities result in the reduction of 6 vehicular parking spaces required by the Code.

Placement within public right-of-way and property will require an installation/maintenance agreement prior to construction.

- *Outdoor Food Truck Court.* Installation of the pedestrian plaza and outdoor food court along the south end of The Junction will help to create a comprehensive pedestrian area between the buildings with access to the Heritage Trail. The proposed design will accommodate food truck service to complement the proposed uses.
- *Service Structures.* Plans include the relocation of dumpsters for The Junction to parking spaces behind the Hilliard Civic & Cultural Arts Center. The proposed location will place service structures in a less prominent location away from outdoor dining and pedestrian space. An installation/maintenance agreement for its placement on city property will be necessary prior to construction. A second service structure will be in the private parking lot of the winery adjacent to the proposed building. Screening will match fencing proposed around the perimeter of the outdoor events space.
- *Signage.* The site includes frontage on two rights-of-way and is entitled to two identification signs. By Code the applicant is permitted 48 square feet on Grant Street and 52 square feet on Franklin. The applicant has proposed two wall signs that comply with Code. Additional entrance signs are provided for the outdoor events area to identify entry points and generally meet the intent of the Code.

[END OF REPORT | PZ-23-11]

Vice Chair Schneck asked about the proposed fencing and the requirements within Old Hilliard; Mr. Talentino provided material samples to the Commission for review and stated that the Commission has the authority to approve the fence.

Cole Antle representing Westwood Collective stated that he read the report and had nothing to add to the staff presentation; Mr. Uttley complimented the architecture and noted that it would be a compliment to Old Hilliard.

Without further discussion or public input, Vice Chair Schneck made a motion to approve an Old Hilliard District Plan under the provisions of Hilliard Code Section 1115 for a 3,840-square-foot winery building with 2,340 square feet of outdoor dining, food truck space and events lawn with the following five conditions:

- 1) That all proposed mechanicals are properly screened per Code and the plans conform to the provisions of Hilliard Code Section 1123.10;
- 2) That the design and location of all bicycle racks installed within public rights-of way and public land are subject to review and approval by the City Engineer;
- 3) That parking spaces along the Franklin Street right-of-way are integrated into the design as public parking;
- 4) That addressing for the building is provided in accordance with the requirements of the Norwich Township Fire Department; and
- 5) That all agreements between the City and applicant necessary for the installation and maintenance of proposed improvements within public rights-of-way or municipal property are obtained prior to construction.

Mr. Uttley seconded the motion.

Status:	Approved (6-0) with five conditions.
Mover:	Vice Chair Bevan Schneck
Second:	William Uttley
Ayes:	Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley

CASE 8: PZ-23-12 – OLD HILLIARD MERCANTILE – 5303 NORWICH STREET, SUITE 400 (formerly 4055 Main Street, Suite 400)

PARCEL NUMBER: 050-000188, 050-000084

APPLICANT: Old Hilliard, LTD., PO Box 1471, Hilliard, OH 43026; Jeremy Whitham, Old Hilliard Mercantile, 5303 Norwich Street, Suite 400, Hilliard, OH 43026.

REQUEST: Review and approval of a Conditional Use request under the provisions of Hilliard Code Chapter 1123 for a 756-square foot yoga studio within an 8,750-square foot retail building on ±0.99-acre.

[Mr. Talentino gave the staff report.]

BACKGROUND:

The site is 0.294-acre located on the western corner of Main Street and Norwich Street in Old Hilliard. The site is zoned OH-MD, Old Hilliard Mixed Use District, which allows for a wide range of residential and commercial uses. The one-story building is approximately 9,900 square feet in area and includes four tenant spaces with a mix of retail uses. The property also includes a plaza space along Main Street. On July 14, 2022, the Planning and Zoning Commission approved a plan for exterior awnings, lighting, and colors. The Commission also approved a comprehensive signage plan that included wall signs, projecting signs and A-frame signs for each tenant space on December 12, 2022.

The applicant is now requesting approval of a conditional use to permit a 765-square-foot area for indoor commercial recreation for Suite 400 of the building.

COMMISSION ROLE:

Conditional Uses differ from permitted uses in that they may have a greater impact on the surrounding area and thus require special review and approval. The Commission is to ensure that the proposal will be compatible in this location. In considering the application, the Commission may impose such requirements and conditions as the Commission may deem necessary for the protection of adjacent properties and the public interest using the following review criteria as provided in Section 1123.03.

- That the proposed use will be consistent with the intent and purposes of the zoning code and the Comprehensive Plan and is compatible with the character of the general vicinity.
- That the proposed use complies with applicable requirements of the zoning code, except as specifically altered in the approved conditional use.
- That the proposed use and site layout will not impede the orderly development of the surrounding property for uses permitted in the district. Due consideration will be given to the location and height of proposed buildings and structures, location and type of proposed fences or walls, location and screening of parking areas, and the location and type of proposed landscaping.
- That the area and proposed use will be adequately served by essential public facilities and services, as applicable, such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewer. The applicant or landowner will be required to install public utilities, streets or other public infrastructure as required by the city, state or other agencies to applicable specifications that are necessitated by the conditional use development. Dedication of said public infrastructure may be required.
- That the proposed use will not involve uses, activities, processes, materials, equipment or conditions of operation detrimental to any persons, property, or the general welfare by reason of excessive traffic, noise, smoke, fumes, glare, odor or other characteristic not comparable to permitted uses.

- The location and scale of the use, the nature and intensity of the proposed operations, the site layout and the relation of the proposed use to surrounding streets will not cause undue traffic congestion or hazards beyond that which would be normally expected based on the existing pattern of uses and the planned character reflected in the city's Comprehensive Plan.

Following a recommendation on the conditional use from the Commission, the application will be forwarded to City Council for a final decision.

STAFF RECOMMENDATION:

Staff finds that the proposal, as amended in the conditions listed below, is consistent with the provisions of the Zoning Code. Based on this finding, staff recommends approval of the proposed conditional use with the following three conditions:

- 1) That the plans are revised to demonstrate conformance to the building code requirements concerning mixed-use assembly spaces including ingress, egress, and the number of bathrooms;
- 2) That the site has not less than 14 off-street parking spaces for any combination of permitted and conditional uses; and
- 3) That a zoning certificate demonstrating conformance to the conditions listed above is obtained prior to the operation of the exercise studio.

CONSIDERATIONS:

- The proposed tenant space is approximately 2,592 square feet and is located at the north corner of the four-tenant building. This tenant space has a Norwich Street entrance. It is currently used as a retail business.
- The proposal is to create a 765-square-foot studio for yoga and other indoor recreation/exercise activities with the balance of the tenant space being used for retail. The proposed studio space is considered an assembly space and must meet the Building Code requirements concerning ingress, egress, maximum occupancy, the number of bathrooms, etc.
- Required parking for the overall site is 13 spaces based on 6,491 square feet of usable floor area and one parking space per 250 square feet of usable floor area for retail uses (In the Old Hilliard District that number may be further reduced by 50 percent if convenient on-street parking is available and pedestrian connections are maintained). Required parking for the overall site with the addition of the proposed yoga studio is 14 spaces based on one space per 250 square feet of usable floor area for retail uses (11 spaces) plus one space for every 3 persons allowed within the maximum occupancy load for the indoor recreation area (3 spaces).
- The site has 15 existing parking spaces in the adjacent private lot. A total of 13 on-street parking spaces are also located adjacent to the site along Norwich Street and Main Street.

[END OF REPORT | PZ-23-12]

Jeremy Whitham, the applicant, said that he read the staff report and agreed with the staff recommendation.

There was no additional discussion or public input; Ms. Nixon made a motion (seconded by Mr. Gutknecht) to approve a Conditional Use request under the provisions of Hilliard Code Chapter 1123 for a 756-square foot yoga studio within an 8,750-square foot retail building on ±0.99-acre with the following three conditions:

- 1) That the plans are revised to demonstrate conformance to the building code requirements concerning mixed-use assembly spaces including ingress, egress, and the number of bathrooms;
- 2) That the site has not less than 14 off-street parking spaces for any combination of permitted and conditional uses; and

- 3) That a zoning certificate demonstrating conformance to the conditions listed above is obtained prior to the operation of the exercise studio.

Status:	Approved (6-0) with three conditions.
Mover:	Tracey Nixon
Second:	Eric Gutknecht
Ayes:	Chairman Jay Muether, Vice Chair Bevan Schneck, Eric Gutknecht, Chris Lewie, Tracey Nixon, Tom Pannett, William Uttley

DISCUSSION ITEMS / COMMITTEE COMMUNICATIONS

Mr. Uttley reported on the Arts Commission and indicated that they were interviewing candidates for available positions on the board. He noted that the artwork for the traffic boxes is proceeding.

Ms. Nixon noted that the groundbreaking for the City’s new wellness campus is tomorrow at 10 am. She said that there would be a touch-a-truck and other activities for the event. She commented that there are members from the committee that are leaving to take positions on other commissions and that student members were graduating and would be leaving.

Ms. Clodfelder updated the Commission, at the request of Mr. Lewie, and indicated that the comments provided by the Commission and general public have been considered. She said that Council had a very robust discussion at its last review and that the updated version of the Plan would be before the Committee of the Whole on April 24th for a potential vote.

ADJOURNMENT – 8:16 PM

With no additional business, Vice Chairman Schneck motioned to adjourn the meeting at 8:16 p.m.

CERTIFICATION:

Carson Combs, Planning Manager
April 13, 2023

[END OF MINUTES | April 13, 2023]

STAFF REPORT

Planning & Zoning Commission

City Hall • 3800 Municipal Way • Hilliard, Ohio 43026
and Live-Streaming on YouTube



Thursday, May 11, 2023 | 7:00 pm

CASE 1: PZ-23-8 – MARRAKESH MARKET – 3193 HILLIARD ROME ROAD

PARCEL NUMBER: 050-002969

APPLICANT: 543 Company, c/o Melissa Kelly, P.O. Box 869, Lima, OH 45802; c/o Shafiullah Syed, 3193 Hilliard Rome Road, Hilliard, OH 43026.

REQUEST: Review and approval of a sign variance under the provisions of Hilliard Code Section 1129.08 to permit window signage to exceed 10 percent of the window area.

UPDATE:

This application was heard by the Commission at its April 13, 2023, regular meeting. At that time the Commission expressed concern that the proposed window coverage was too excessive since the signage constituted advertising of products and that an alternative was necessary for further consideration. At the request of the applicant, the Commission postponed the case to provide additional time for the applicant and staff to develop an alternative for consideration.

BACKGROUND:

The site is +/- 6.47 acres located at the northwest corner of Hilliard Rome Road and Tinapple Road. The site is zoned B-2, Community Business District, and consists of 4 shopping center buildings occupied by a variety of tenants. The site borders 3 residential neighborhoods to the west, east (across Hilliard Rome Rd.), and south. The neighborhoods to the east and west are both within the City of Columbus. The neighborhood to the south is Hyde Park, which is in Hilliard. To the north, across Hilliard Rome Road, is Cross Creek Park.

In March 2020, the City enacted a temporary modification to the sign code in an effort to aid and support businesses during the COVID-19 pandemic. The temporary modification allowed businesses to have additional temporary signage as well as window signage. The modification was lifted on November 30, 2022, and the City's standard code requirements outlined in Chapter 1129 were reinstated. Upon the lifting of the modification, the City's Code Enforcement officers inspected businesses city-wide to ensure Code compliance. It was determined that the applicant, Marrakesh Market, had window signage exceeding the 10 percent allowance.

The Commission has denied applications for window signage that exceeds Code on June 14, 2012, (12-0014LC) and November 12, 2015 (15-0217LR). Both cases were substantial departures from the Code. In contrast, the Commission has approved variances for window signage proposals on February 13, 2020, (19-0479LC) and August 12, 2021, (PZ-21-30) for minor departures from the code that included 11% and 15% window coverage, respectively.

The applicant is now requesting a sign variance from the Planning and Zoning Commission to permit existing window signage that is approximately 11% of the overall window area. The original request in April totaled approximately 16.6%.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Code Section 1129.08. Specifically, the Code provides for the granting of variances to the Sign Code under the review criteria as outlined by Section 1129.08(d):

- Whether the property will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- Whether the variance is substantial;
- Whether the essential character of the neighborhood would be substantially altered or whether adjoining property owners would suffer substantial detriment as a result of granting the variance;
- Whether the variance would adversely affect the delivery of governmental services;
- Whether the property owner purchased the property with knowledge of the zoning restrictions;
- Whether the property owner's predicament feasibly can be obviated through some method other than variance; and
- Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.

STAFF RECOMMENDATION:

Staff finds that the proposed alternative meets the general intent of the Code. While there can be beneficial use of the property without the proposed variance, the request as modified since the last meeting is not substantial and is a compromise requested by the Commission. Staff finds that the signage constitutes specific advertisement of retail products and is not a general graphic/image requiring closer adherence to Code limits. Based on these findings, staff recommends approval of the proposed window sign variance with one condition:

- 1) That no additional increase in the area of window signage is permitted without approval by the Planning and Zoning Commission.

CONSIDERATIONS:

- **Window Sign Requirements.** City Code Section 1129.03 states the following regarding window signage:
 - a. "A business may have window signs equal to or less than ten percent (10%) of the square footage of all windows for that business ("window area"). Windows in doors that are intended to be used for customer entrances shall be included in the calculation of window area, but are not included in the ten percent limitation. Windows in all doors that are not used nor intended to be used for customer entrance, including but not limited to, bay doors, dock doors, delivery doors and back doors, are excluded in the calculation of window area and window signs are not permitted thereon. In addition, windows made with spandrel glass (or similar non-vision material) are excluded in the calculation of window area. Signs are not permitted on spandrel glass windows.
 - b. Signs shall be limited to the ground floor or first floor windows only unless a use is located in the second or higher stories of a building and the use has no first-floor occupancy.
 - c. One window sign may be neon-lit, but if so, the lighted portion of the neon sign must fit within an area no greater than two square feet in size."
- **Definition.** Section 1105.08 defines a window sign as follows: "Any permanent or temporary signs, posters, symbols and other types of identification or information about the use or premises directly attached to or painted on the glass part of a door and/or on the window of a building or erected within six feet of a door or window inside the building with a printed side facing the door or window." Based on the current Code definition, if the proposed graphic was placed more than 6 feet within the window, it would not be considered as signage.

- **Existing Conditions.** Marrakesh Market operates in a tenant space with approximately 512 square feet of window surface area, which would allow for 51.2 square feet of cumulative window signage. In April the original request included approximately 85 square feet of window signage (33.8 square feet beyond Code maximum). Most of the window signage consists of direct advertisements of individual products and/or brand logos. Since the last Commission review, the window signage has been reduced to approximately 57 square feet of window signage (6 square feet beyond Code maximum).
- **Purpose of the Sign Code.** Section 1129.01 (a) of the City’s Sign Code states “The regulations of this chapter are intended to protect and promote the public health, safety, convenience, comfort, prosperity, and general welfare of the residents of the City of Hilliard; to maintain and improve the appearance of the community; to conserve community character; to prevent traffic hazards; to provide safe conditions for pedestrians; and to promote economic development by regulating the construction, alteration, repair, maintenance, size, location, and number of signs. It is further determined that to allow signs of excessive number and size in the City would unduly distract pedestrians and motorists, create potentially dangerous traffic conditions, and reduce the effectiveness of signs needed to direct the public. The regulations of this chapter are intended to provide reasonable identification for businesses and other uses within the community; **but are not intended to serve as a means of advertising.**” Staff finds that a different level of scrutiny should be provided for window signage that directly advertises the business or products versus those that provide non-specific graphics as a means of decoration.

[END OF REPORT | PZ-23-8]



WINDOW SIGNAGE – APRIL MEETING



CURRENT WINDOW SIGNAGE
(AREAS 3 & 4 REMOVED = 11%)



05/02/2023 14:22

CURRENT WINDOW SIGNAGE
(AREAS 3 & 4 REMOVED = 11%)



syed@edimatrix.com

From: syed@edimatrix.com
Sent: Friday, February 24, 2023 11:05 AM
To: 'jtalentino@hilliardohio.gov'
Subject: FW: Marrakesh International market - 3193 Hilliard Rome Rd.
Attachments: Labeled Signs 3193 Hilliard Rome Rd..pdf

From: Forest Runnels <FRunnels@hilliardohio.gov>
Sent: Tuesday, February 21, 2023 4:09 PM
To: syed@edimatrix.com
Cc: Kristie Shaffer <kshaffer@hilliardohio.gov>; Melissa Kelly <KellyM@nwoss.com>
Subject: RE: Marrakesh International market - 3193 Hilliard Rome Rd.

Good afternoon Syed,

I apologize for the delay in response for the window signage. I was out of office from last Thursday through yesterday. I took a look at the images you sent, and it looks like Marrakesh is still over the window signage allowance. The attached document labels the remaining window signage as each number indicates signs (and windows) of identical size.

Each sign labeled "1" in the image is 7.525 square feet.
Each sign labeled "2" in the image is 6.125 square feet.
Each sign labeled "3" in the image is 5.6875 square feet.
The sign labeled "4" in the image is 7.875 square feet.

I wanted to address that there was a small miscalculation in my original email. The total window surface area for Marrakesh is actually 512.1 square feet instead of 504.59 square feet. Therefore, Marrakesh has an allowance of 51.21 square feet of window signage.

With the images you showed, Marrakesh still has approximately 82.34 square feet, so they will need to reduce their signage by 31.13 square feet. You can remove any combination of the above labeled signs as long as at least 31.13 square feet is removed. For example, you could remove two "1" signs, two "3" signs, and one "2" sign. This would remove 32.55 square feet, which would be greater than the 31.13 square feet needed, so that would be fine.

You don't have to use this combination, but it is an acceptable example.

Please either have the signage removed/reduced in accordance with this email, or apply for a signage variance through the Planning and Zoning Commission by the end of the day on Friday (2/24/2023).

Thank you,

Forest Runnels, CCEO
Zoning Inspector
City of Hilliard
Office: 614-334-2458 ext. 732
frunnels@hilliardohio.gov
3800 Municipal Way
Hilliard, OH 43026

CASE 2: PZ-23-14 – 3637LAC PROPERTY LLC – 3637 LACON ROAD

PARCEL NUMBER: 050-002812 & 050-002862

APPLICANT: 3637Lac Property LLC, 3637 Lacon Road, Hilliard, OH 43026; c/o Patrick Thornton, 1101 Auburn Avenue, Cleveland, OH 44113.

REQUEST: Review and approval of a conditional use under the provisions of Hilliard Code Section 1123.03, 1123.04 for building material and lumber supply and 1123.17(c) for outdoor storage exceeding 10 percent of the total area of the site on 4.8 acres.

BACKGROUND:

The proposed site includes two parcels totaling 4.761 acres located at the northwest corner of Lacon Road and Edgewyn Avenue. The site and properties to the north, east and west are zoned M-1, Restricted Industrial District. Properties to the south on the other side of Edgewyn Avenue are residences zoned R-3, Moderate Density Residential District as part of the Beacon Subdivision. The site is the location of the former Bruner Corporation and includes two buildings located at 3637 Lacon Road (Parcel #050-002812), as well as the industrial building located at 4510 Edgewyn Avenue (Parcel #050-002862). On December 22, 2022, a Code Enforcement letter regarding general property maintenance was sent regarding complaints about the properties. A final notice was sent on March 29, 2023.

The applicant is requesting conditional use approval for the purposes of outdoor storage of materials/products in excess of the 10% maximum site area allowed by the Code and for a construction use (building material and lumber supply) within the M-1 District.

COMMISSION ROLE:

Conditional Uses differ from permitted uses in that they may have a greater impact on the surrounding area and thus require special review and approval. The Commission is to ensure that the proposal will be compatible in this location. In considering the application, the Commission may impose such requirements and conditions as the Commission may deem necessary for the protection of adjacent properties and the public interest using the following review criteria as provided in Section 1123.03:

- That the proposed use will be consistent with the intent and purposes of the zoning code and the Comprehensive Plan and is compatible with the character of the general vicinity.
- That the proposed use complies with applicable requirements of the zoning code, except as specifically altered in the approved conditional use.
- That the proposed use and site layout will not impede the orderly development of the surrounding property for uses permitted in the district. Due consideration will be given to the location and height of proposed buildings and structures, location and type of proposed fences or walls, location and screening of parking areas, and the location and type of proposed landscaping.
- That the area and proposed use will be adequately served by essential public facilities and services, as applicable, such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewer. The applicant or landowner will be required to install public utilities, streets or other public infrastructure as required by the city, state or other agencies to applicable specifications that are necessitated by the conditional use development. Dedication of said public infrastructure may be required.
- That the proposed use will not involve uses, activities, processes, materials, equipment or conditions of operation detrimental to any persons, property, or the general welfare by reason of excessive traffic, noise, smoke, fumes, glare, odor or other characteristic not comparable to permitted uses.
- The location and scale of the use, the nature and intensity of the proposed operations, the site layout and the relation of the proposed use to surrounding streets will not cause undue traffic congestion or

hazards beyond that which would be normally expected based on the existing pattern of uses and the planned character reflected in the city's Comprehensive Plan.

Following a recommendation on the conditional use from the Commission, the application will be forwarded to City Council for a final disposition. If approved, the applicant may then proceed with civil plan approval and applicable building permits for the improvements. A zoning certificate is required prior to operation for the change in use.

STAFF RECOMMENDATION:

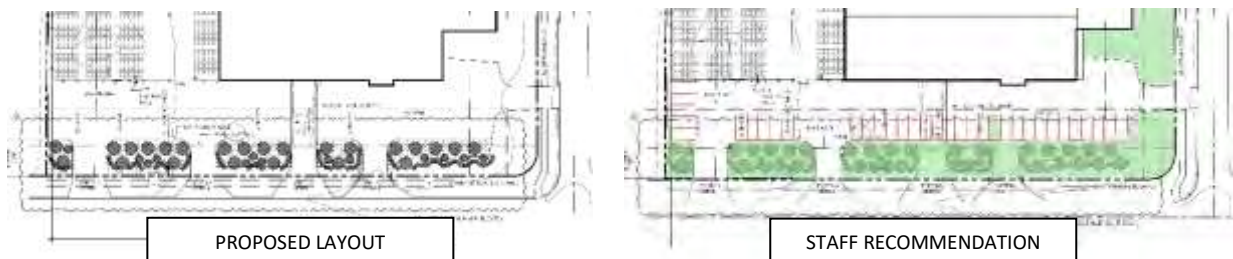
Staff finds that the proposed conditional use will be consistent with the intent and purposes of the Zoning Code, will be compatible with the character of the general vicinity, and will not impede the normal and orderly development and improvement of the surrounding property. Staff finds that the location and scale of the use within the building and the nature and intensity of the proposed operations will not impact adjacent properties or the surrounding area and will address growing property maintenance issues on the site through the proposed improvements. Based on these findings, consistent with the provisions of Code Chapter 1123, staff recommends approval of the proposed conditional use as amended below with the following four conditions:

- 1) That the existing truck ramp and two east curb cuts along Edgewyn Avenue are removed to improve access management and circulation as identified in this report;
- 2) That no outdoor storage is permitted higher than the height of fencing and no storage of loose materials (such as sand or gravel or hazardous materials) are permitted to be stored as required by Section 1123.17(c);
- 3) That a revised lighting plan (including photometrics and details) and a tree preservation/replacement plan that complies with Code are submitted as part of the civil plan review; and
- 4) That final details specifications for the color and thickness/durability of the proposed fence screening is provided, subject to staff approval.

CONSIDERATIONS:

- **Outdoor Storage Criteria.** In addition to the general criteria for conditional uses, Section 1123.17(c) includes the following specific criteria for outdoor storage accessory to an allowed principal use:
 - ✓ Outdoor storage and display shall be arranged to provide safe pedestrian and vehicular circulation and emergency access free of all obstructions.
 - ✓ A drive shall be provided, graded, paved and maintained from the street permitting free access of emergency vehicles at any time.
 - ✓ Sales or outdoor display of merchandise shall not be permitted within required setback areas.
 - ✓ Storage and display areas on parking lots shall not reduce available parking spaces to fewer than required by Code.
 - ✓ No outdoor display or parking serving an outdoor display shall be located within 75 feet of any residential district boundary line or residential use.
 - ✓ Storage of soil, sand, mulch or similar loosely packaged materials shall be contained and covered to prevent blowing onto adjacent properties (outdoor storage of fertilizers, pesticides and other hazardous materials unless packaged in approved containers is prohibited).
 - ✓ A sight-obscuring screen that meets maximum fence height requirements for the zoning district may be required. Outdoor storage may not be piled or stacked higher than the obscuring screen.
 - ✓ Outdoor display and sales areas shall be paved with a permanent, durable and dustless surface and shall be graded/drained to dispose of surface water.
 - ✓ All loading and truck maneuvering shall be accommodated on-site or on a dedicated easement. Maneuvering in the public right-of-way is prohibited.

- ✓ Security lighting may be required. All lighting shall be shielded from residential areas and adhere to the Hilliard Design Manual.
- **Additional Code Criteria.** Code Section 1123.04 also states that reasonable conditions may be imposed on the approval of a conditional land use to achieve the following:
 - (1) Ensure public services and facilities affected by the proposed use or activity will be capable of accommodating increased service and facility loads necessitated by the proposed use.
 - (2) Ensure that the use is compatible with adjacent conforming land uses and activities.
 - (3) Protect natural resources; the health, safety, and welfare; and the social and economic well-being of those who will use the land or activity under consideration, the residents, business owners and landowners immediately adjacent to the proposed use or activity, and the community as a whole.
 - (4) Relate to the valid exercise of the police power and purposes which are affected by the proposed use or activity.
 - (5) Meet the purpose of the zoning code, comply with the standards established in the code for the land use or activity under consideration and comply with the zoning district standards.
- **Land Use.** The applicant is proposing to utilize the site for a construction-related use (building materials) and will have an 8,000-square foot office component. The applicant is proposing to consolidate operations into this site from other locations and is requesting conditional use approval. Code permits outdoor storage up to 10% of the property and then requires conditional use approval for additional storage space. This proposed plan includes 44% of the site (95,656 square feet) for outdoor storage as specified on the submitted plans.
- **Traffic Impacts.** The proposed use will include approximately 30 employees. The applicant expects to generate two inbound and six outbound freight shipments daily by semi, as well as 15-18 car/light truck trips per day. The proposed use is within an industrial area that includes significant truck traffic.
- **Parking.** Code requires a maximum of 81 parking spaces for the proposed office and warehouse use. Based on usable floor area (UFA) the final Code requirement will be less, and the site as currently paved has additional capacity. The outdoor storage area will include the removal of 32 spaces from the north side of the building to be replaced with 28 spaces along Edgewyn Avenue.
- **Access.** The site currently includes a total of three curbcuts along Lacon Road and four curbcuts along Edgewyn Avenue. The proposed outdoor storage yard addresses turning radii and access for semi trucks and emergency vehicles as required by Code. Staff recommends removing the truck ramp and eliminating two curbcuts with one-way circulation to improve access management and to maximize the residential buffer.



- **Code Enforcement.** The parcels proposed for redevelopment have many property maintenance issues pending with Code Enforcement. The proposed conditional uses will result in the removal of the western building at 4510 Edgewyn Avenue and the elimination of two building connectors for the creation of the fenced service yard. Development as proposed will improve the site and address outstanding enforcement issues.
- **Tree Preservation.** Construction of the proposed service yard will remove protected trees within the center of the building. The applicant will be responsible for submitting tree preservation/replacement plans as part

of the civil review for the proposed improvements. Replacement trees should be incorporated in appropriate locations along the Lacon Road frontage.

- **Landscape Buffering.** Existing pavement along Edgewyn Avenue will be removed to implement a 30-foot landscape buffer to screen residents on the south side of the street. The buffer is required by Code to include seven large trees, four small trees and 25 shrubs for every 100 linear feet and will be finalized as part of the civil plan review for the site.
- **Fencing.** A 7-foot chain link fence is proposed to enclose the service yard that complies with Code requirements. The fencing will include screening fabric with green privacy slats to obscure the outdoor storage yard from adjacent properties. Final details for the fencing screening, including color and durability, should be provided as part of the fence permit.
- **Lighting.** Proposed security lighting for the outdoor storage area includes 25-foot tall poles with LED cutoff fixtures. Section 1127.04(b)(10) limits lighting within an industrial district to a maximum height of 20 feet when adjacent to residential districts. The light pole closest to Edgewyn Avenue that illuminates the service yard must be revised to meet Code and an updated lighting plan with photometrics will be necessary as part of the civil plan review.
- **Signage.** No identification signage has been proposed at this time. All signage will comply with Code or be brought back to the Commission for consideration.

[END OF REPORT | PZ-23-14]



Patrick E. Thornton, License #12818 Expiration Date 12/31/2023 05.02.2023

Property Owner Information within 400' of Site

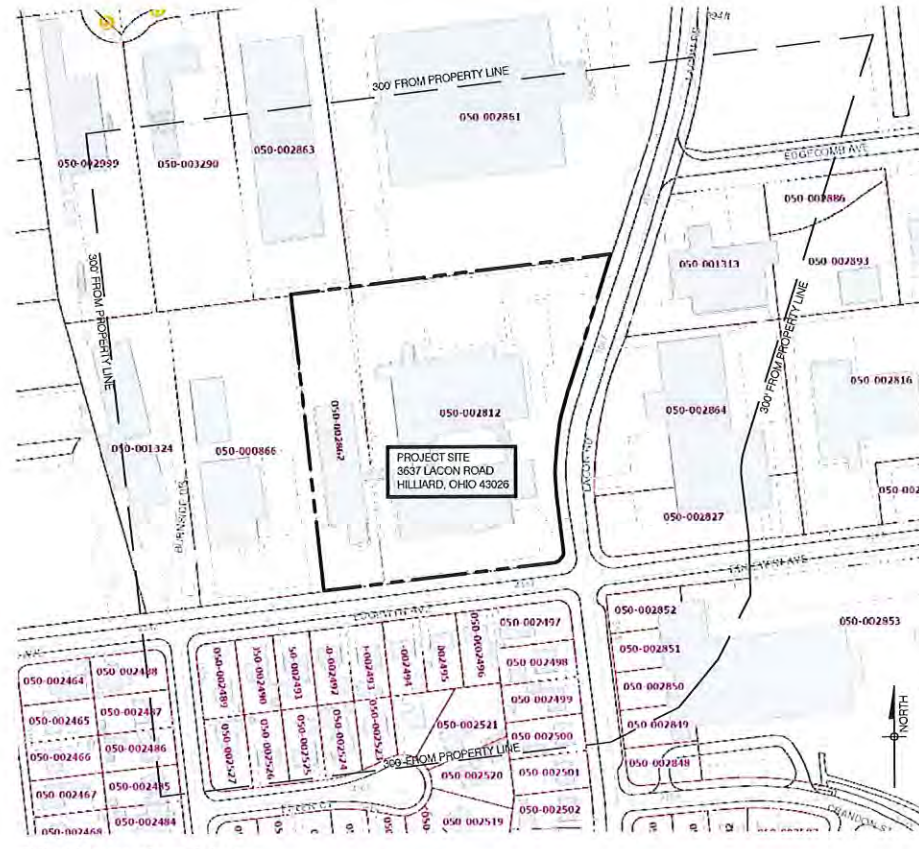
Table with 4 columns: PPN, Street Address, Name, Mailing Address. Lists neighboring property owners and their details.

A MICROSOFT EXCEL FILE WITH THIS DATA IS AVAILABLE UPON REQUEST

Legal Description(s)

PARCEL 1: Situated in the County of Franklin, State of Ohio, and City of Hilliard and bounded and described as follows: Being part of Virginia Military Survey No. 3001... PARCEL 2: Situated in the State of Ohio, County of Franklin and in the City of Hilliard: Being part of the Virginia Military Survey No. 3001...

Conditional Use Application at 3637 Lacon Road Hilliard, Ohio



Site Location Map Not to Scale

Purpose

Conditional Use Application and Level 'B' development plan submittal.

- The purpose of this submittal is two-fold: 1. Development plan approval for alterations to the existing site 2. Conditional Use approval for outdoor storage areas

Improvements include the following:

- 1. The complete removal of the existing building on Parcel # 050-002862 (4510 Edgewyn Avenue) and the associated connector structure east of that building. 2. The removal of the westernmost north-south connector structure between the two buildings at Parcel # 050-002812 (3637 Lacon Road). 3. Infill of the footprint of the above referenced buildings with heavy-duty paving. 4. Omitted - 5-2-2023 (revision 2) 5. Omitted - 5-2-2023 (revision 2) 6. The removal of paving on the south edge of the site to accommodate compliant buffer and its replacement with planted area to form a zoning code compliant buffer area. 7. The installation of a fence enclosing and securing the perimeter of the site, from the north east corner of the north building counterclockwise around the perimeter of the site to the southwest corner of the south building. The enclosed exterior area will be utilized for outdoor storage of retail construction materials. The fence will include one sliding secure access gate at the northeast corner of the north building and one sliding secure access gate at the southwest corner of the south building. The entire fence will be equipped with privacy components. 8. The installation of landscape plantings in the new buffer along Edgewyn Avenue to comply with zoning and planning requirements for landscape buffers and screening. 9. New stormwater structures at the removed building footprint, tied into the existing stormwater system.

This application respectfully seeks site development plan approval (pending engineering and building department approvals) and conditional use approval for outdoor storage of construction materials in an M-1 zoning district.

Complete engineering and architectural drawings will be prepared and submitted for approval upon completion and approval of the application process. An ALTA site survey will also be completed.

Existing utilities are not intended to be altered, except as necessary to provide new stormwater collection at the footprint of the building being removed.

Site grading will not be altered, except at the area of the footprint of the building being removed, so as to promote drainage towards the new catch basins.

Traffic Impact

Anticipated vehicle trips:

Table showing anticipated vehicle trips: Cars/light trucks (15-18 trips per day), Inbound freight deliveries (2 trips per day), Outbound freight deliveries (6 trips per day).

Employees: 30

Conditional Use Application

3637 Lacon Road Preliminary Development Plan

Title Sheet Administrative Information

Revisions:

Table with 2 columns: Revision number and description (e.g., 2 - 5-2-2023 - Revised, 1 - 4-26-2023 - Revised, 0 - 4-5-2023 - Concept Sub)

Project Number: 91100323 Drawn By: SIX Checked By: PET Date: 4-1-2023

SD-0

Project Team

Applicant

Entity Name: Entity Address: Contact Name: Contact Phone: Contact Email:

Design Professional

Sixmo Inc. 1101 Auburn Avenue, Cleveland, Ohio 44113 Contact: Patrick E. Thornton, AIA | Principal | Architect Phone: 216.767.5400 Extension 100 Email: p.thornton@sixmoae.com

Drawing Index

Table with 2 columns: Drawing ID and Title (e.g., SD-0 TITLE SHEET, SD-1 EXISTING CONDITIONS PLAN, SD-2 SITE DEMOLITION PLAN, SD-3 DEVELOPMENT PLAN)

6

Sixmo Inc.
Architects | Engineers
1101 Auburn Avenue
Cleveland, Ohio 44113
www.sixmoae.com
216.787.5400



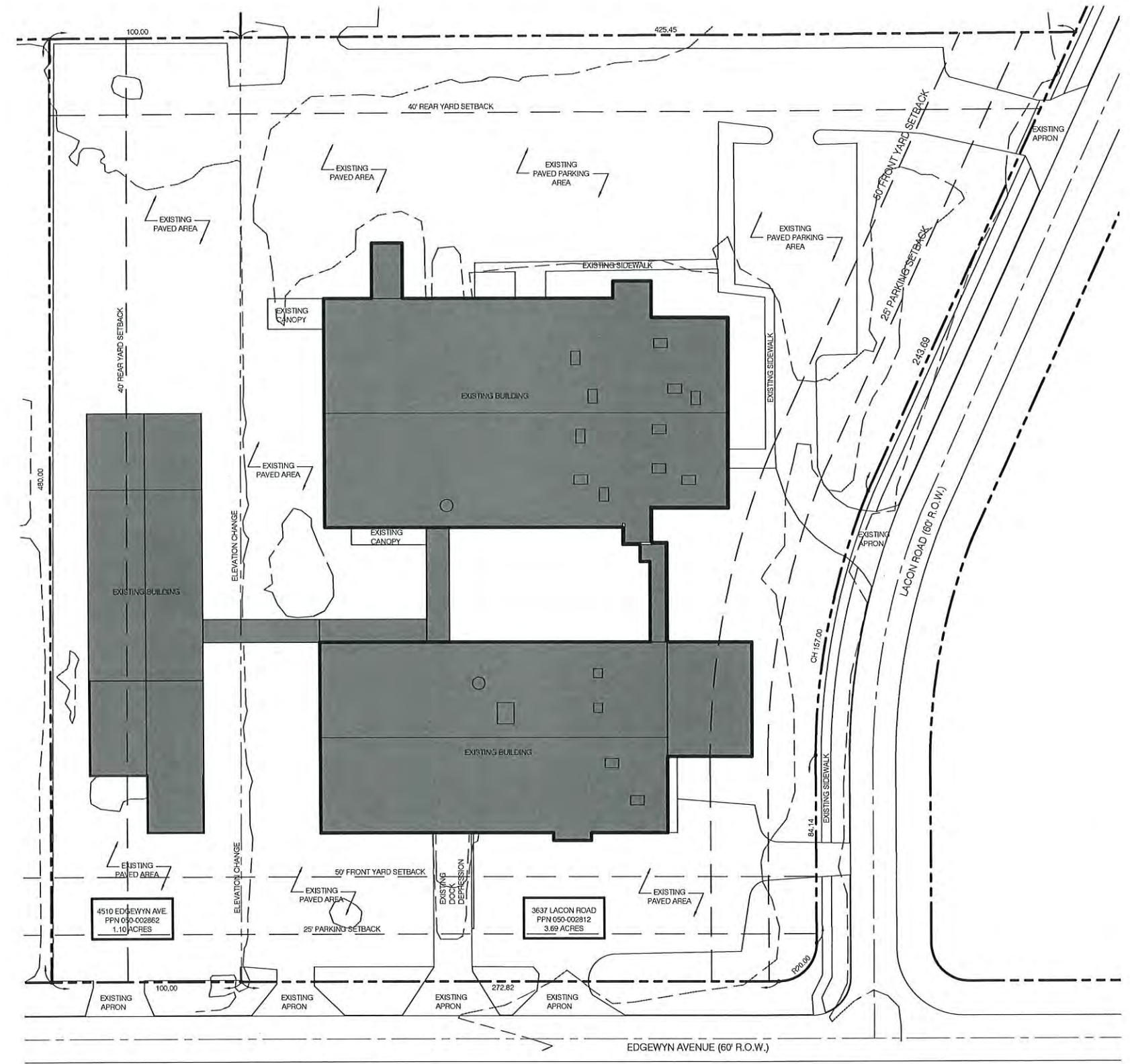
Patrick E. Thornton, License #12818
Expiration Date 12/31/2023
05.02.2023

General Notes

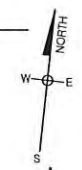
- Field verify all relevant dimensions and conditions prior to construction or fabrication of any systems.

Zoning Information

ZONING CLASSIFICATION: M-1
 ALLOWED USES (TABLE 1113-2)
 BUILDING MATERIAL AND LUMBER SUPPLY - CONDITIONAL
 MINIMUM YARD SETBACKS (TABLE 1113-3a)
 FRONT YARD - MINIMUM BUILDING SETBACK: 50'
 FRONT YARD - MINIMUM PARKING SETBACK: 25'
 SIDE YARD: 20'
 REAR YARD: 40'



Existing Conditions Site Plan



Conditional Use Application

3637 Lacon Road
Preliminary Development Plan

Existing Conditions Plan
Existing Conditions Site Plan, Zoning Information, and General Notes

Revisions:

- 2 05-02-2023 - Revised
- 1 4-26-2023 - Revised
- 0 4-5-2023 - Concept Sub

Project Number: 91100323
 Drawn By: SK
 Checked By: PET
 Date: 4-1-2023

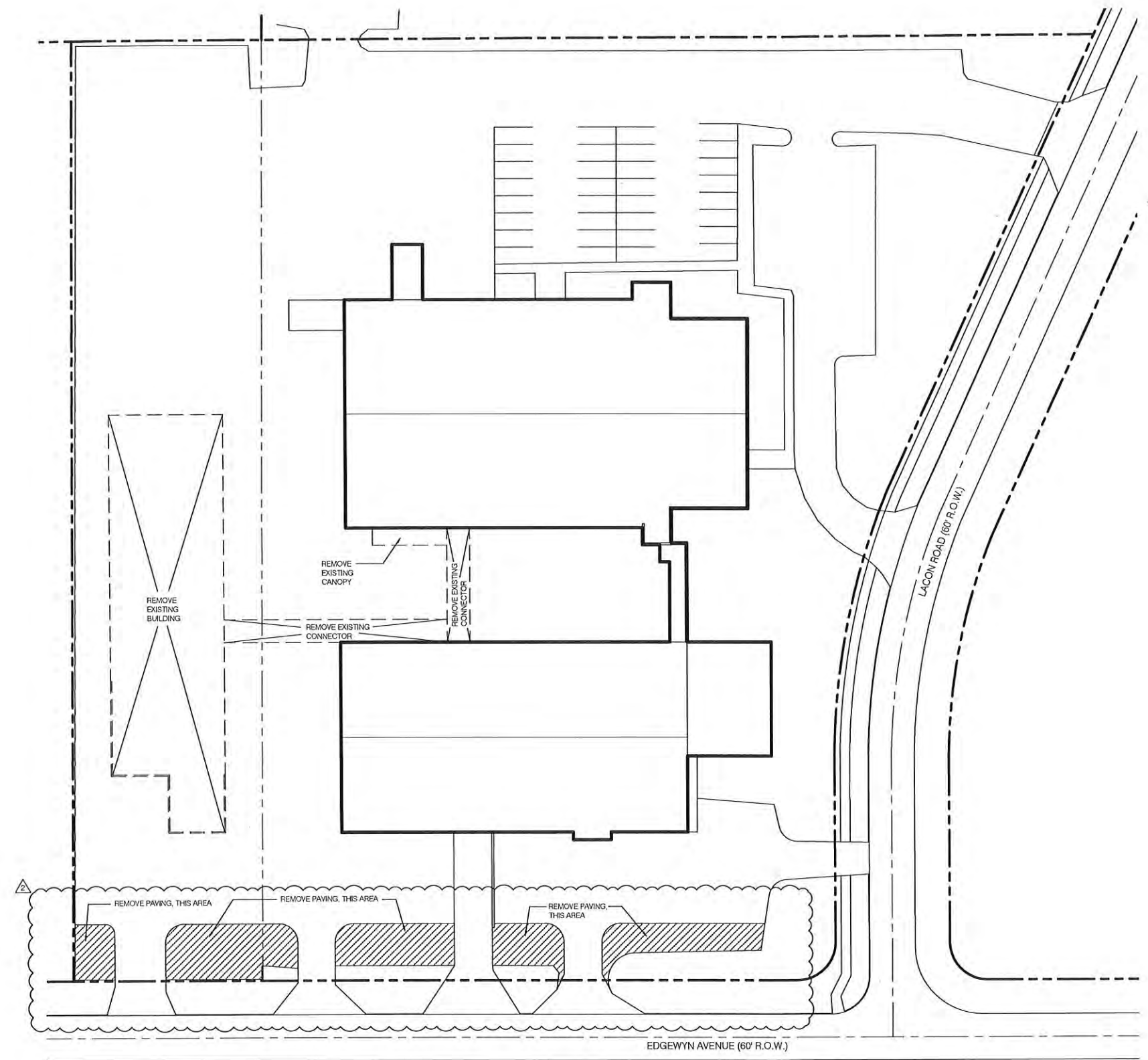
SD-1

S
Sixmo Inc.
Architects | Engineers
1101 Auburn Avenue
Cleveland, Ohio 44113
www.sixmoae.com
216.787.5400

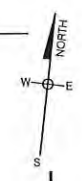
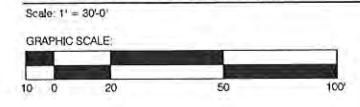
STATE OF OHIO
PATRICK THORNTON
12818
REGISTERED ARCHITECT
Patrick E. Thornton, License #12818
Expiration Date 12/31/2023
Patrick E. Thornton
05.02.2023

General Notes

- 1. Field verify all relevant dimensions and conditions prior to construction or fabrication of any systems.



Demolition Site Plan



Conditional Use Application
3637 Lacon Road
Preliminary Development Plan

Site Demolition Plan
Site Demolition Plan and General Notes

Revisions:

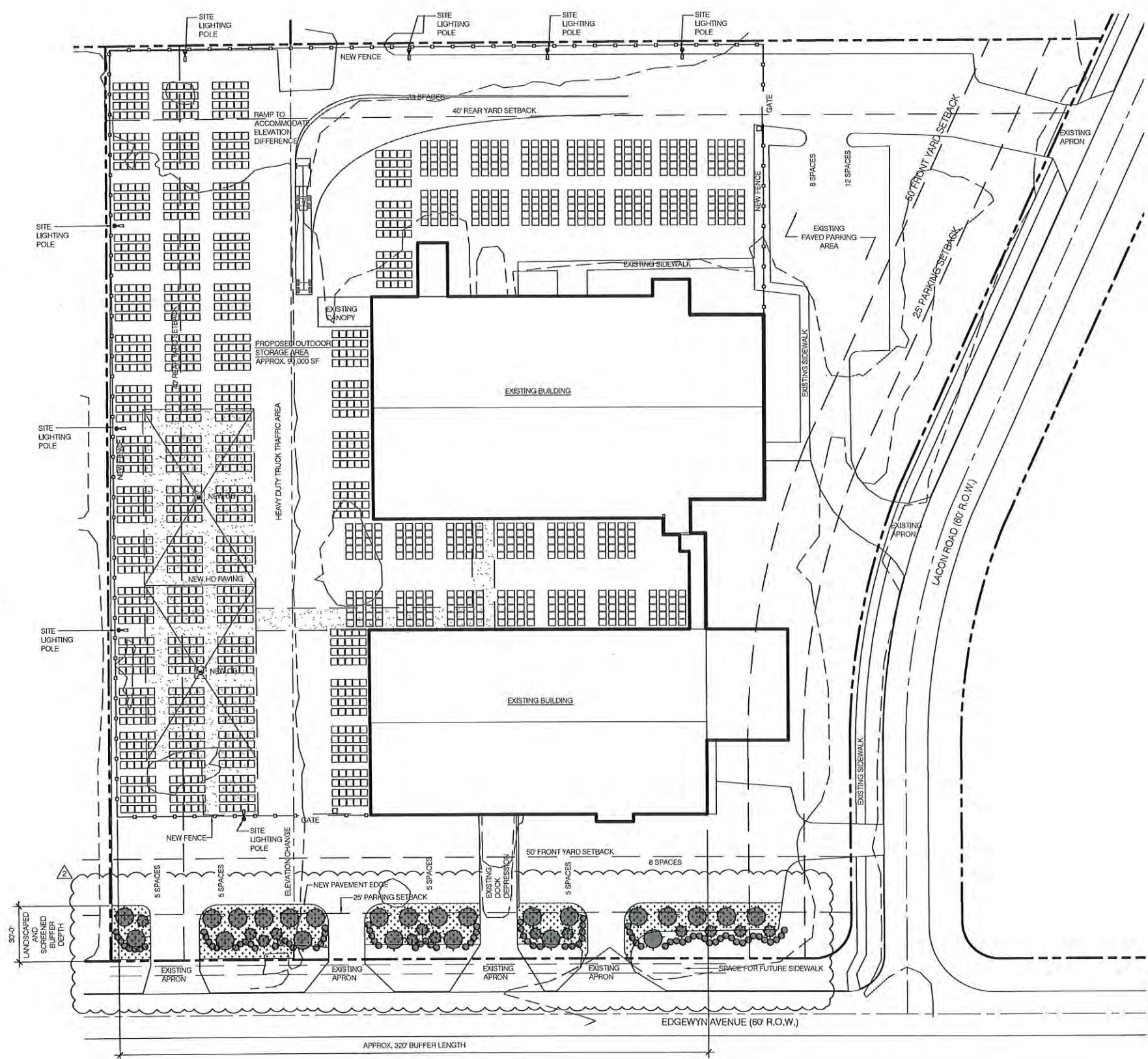
2	5-2-2023 - Revised
1	4-26-2023 - Revised
0	4-5-2023 - Concept Sub

Project Number: 91100323
Drawn By: SIX
Checked By: PET
Date: 4-1-2023

SD-2

S
Sixmo Inc.
Architects I Engineers
1101 Auburn Avenue
Cleveland, Ohio 44113
www.sixmo.com
216.767.5400

STATE OF OHIO
PATRICK THORNTON
REGISTERED ARCHITECT
12818
Patrick E. Thornton, License #12818
Expiration Date 12/31/2023
05.02.2023



Conceptual Development Plan
Scale: 1" = 30'-0"
GRAPHIC SCALE
10 0 20 50 100
NORTH

General Notes

1. Field verify all relevant dimensions and conditions prior to construction or fabrication of any systems.

Legend

- NEW HEAVY-DUTY PAVING, THIS AREA
- NEW GRASS AREA

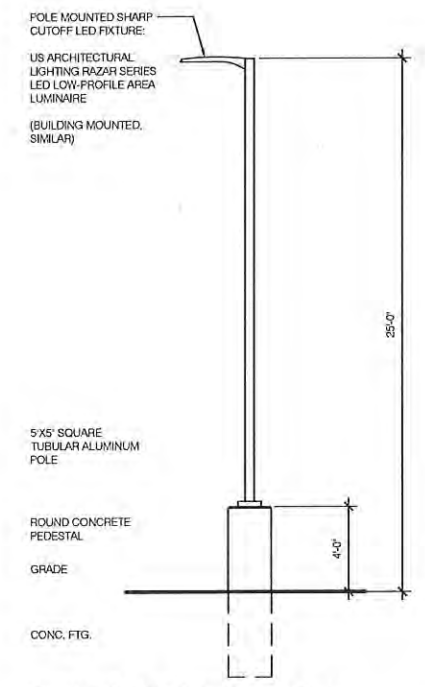
Parking Requirements

RESULTANT PROPERTY:

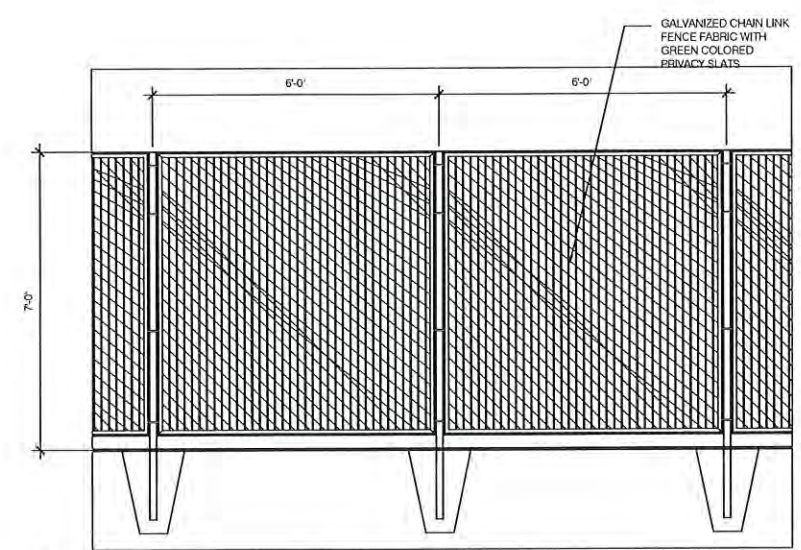
8,000 SF (NET FLOOR AREA) OF OFFICE SPACE	
42,750 SF (NET FLOOR AREA) OF WAREHOUSE	
1 SPACE PER 300 SF OF OFFICE	= 27 SPACES
1 SPACE PER 600 SF OF WAREHOUSE	= 54 SPACES
TOTAL SPACES REQUIRED	= 81
TOTAL SPACES PROVIDED	= 81

Buffer Requirements

SUBJECT PARCEL ZONING CLASSIFICATION: M-1
'INDUSTRIAL TYPE 1' PER TABLE 1125-6
ADJACENT USE (ACROSS EDGEWYN ONLY): R-3 (SINGLE FAMILY HOMES)
'RESIDENTIAL TYPE 1' PER TABLE 1125-6
REQUIRED BUFFER TYPE (PER TABLE 1125-6): TYPE D
BUFFER REQUIREMENTS:
MINIMUM DEPTH WITH NO LANDSCAPING / SCREENING: 60' (N/A)
MINIMUM DEPTH WITH LANDSCAPING / SCREENING: 30'
LANDSCAPING / SCREENING REQUIREMENTS:
7 LARGE TREES PER 100 LINEAR FEET
4 SMALL TREES (MIN 50% EVERGREEN) PER 100 LINEAR FEET
25 SHRUBS PER 100 LINEAR FEET
MINIMUM SCREEN HEIGHT: 6'
BUFFER FRONTAGE - APPROXIMATELY 320 LINEAR FEET
23 LARGE TREES REQUIRED
13 SMALL TREES REQUIRED
80 SHRUBS REQUIRED
ALL PLANTINGS TO BE SELECTED FROM HILLIARD DESIGN MANUAL SECTION 12.2 ALLOWABLE SPECIES.



Typical Site Lighting Pole
Scale: 1/4" = 1'-0"



Fencing Detail
Scale: 1/2" = 1'-0"

Conditional Use Application
3637 Lacon Road
Preliminary Development Plan

Site Development Plan
Conceptual Development Plan, Notes and Details
Revisions:

2	5-2-2023 - Revised
1	4-26-2023 - Revised
0	4-5-2023 - Concept Sub

Project Number: 91100323
Drawn By: SIX
Checked By: PET
Date: 4-1-2023

April 26, 2023

Mr. Carson Combs
Planning Manager
Hilliard Community Development Department
3800 Municipal Way
Hilliard, Ohio 43026
614.334.2548
ccombs@hilliardohio.gov

Re: PZ-23-14 – 3637 Lacon Road – 3637LAC Property LLC.

Mr. Combs,

This correspondence is intended to accompany a resubmittal / redesign of the above referenced project in order to address the issues brought forth by your department in your correspondence of April 14, 2023. To ease the review process, we have included the content of your above referenced letter in *italic text*, and have provided supplemental information in **bold text**.

- The property in question has numerous pending code violations. Please provide a signed and notarized statement from the grantee, transferee, mortgagee or lessee that acknowledges the receipt of such compliance order/notice of violation that fully accepts responsibility without condition for making corrections required by said compliance order/notice of violation as required by Section 1307.01(e).

Please find attached signed and notarized statement.

- *Please provide a brief narrative that describes the nature of the proposed use and the expected trip generation in # of vehicle trips per day for cars and trucks that will occur, as well as the number of employees.*

The proposed use of the facility is generally described as a Fortune 500 publicly traded building products distributor, including office space, indoor warehousing, and secure outdoor storage.

Vehicle trips – cars/light trucks:15-18 trips per day

Vehicle trips – Trucks: 8 trips per day (inbound freight: 2 trips per day; outbound freight: 6 trips per day)

Employees: 30

This information has also been added to the revised drawings (attached).



- *Please provide a calculation that indicates the percentage of the site that will be used for outdoor storage.*

The total site area: 218,748 sf

Total outdoor storage area: 95,656 sf

Percentage of site dedicated to outdoor storage: 44%

- *Please note that all existing driveway approaches and sidewalks for the site will need to be brought into compliance with the property maintenance code.*

It is the intent of the project to comply with this requirement.

- *The Zoning Code requires a tree survey that denotes all trees on the site that are 6 inches DBH or greater. Any trees to be removed must be replaced in accordance with the Code and be noted in submitted plans.*

It is our intent to comply with this requirement. We have an ALTA survey scheduled for the site, during which trees 6' DBH and greater will be located and identified. Any trees that are found to be within an area of general demolition will be noted and replaced in accordance with the Code. The scope of the project is such that any such tree removal is unlikely or of minor scale, but in any case the project will comply with the Code.

- *The Code permits a maximum fence height of 7 feet, and barbed wire is not permitted. Please also note that fencing is not permitted forward of the front building façade.*

The attached submittal and design have been revised to comply.

- *As this site has a total of seven curb cuts, any curb cuts not essential should be removed on the proposed plans.*

The latest revised (attached) development plan only utilizes essential existing curb cuts. No new cuts are proposed.

- *Site plans should be modified to remove any outdoor storage located forward of the building façade along Edgewyn Avenue due to its location facing a residential neighborhood. Pavement should either be removed or parking considered for existing paved areas.*

The attached submittal and design have been revised to comply.

- *Please consider parking lot landscaping, street trees and in installation of a sidewalk along Edgewyn Avenue that would bring the site into compliance with that aspect of the Zoning Code.*

These items have been considered along Edgewyn Avenue. At this time we have reserved space for, and indicated a future sidewalk.

- *Please provide an authorization form from the property owner that authorizes applicable representatives to make decisions on behalf of the property owner as part of the application.*

Architects
Engineers
Code Compliance
City Services

Cleveland Office
1101 Auburn Avenue
Cleveland, Ohio 44113
216-767-5400

Zanesville Office
534 Market Street
Zanesville, Ohio 43701
740-452-7434

Marietta Office
204 Front Street
Marietta, OH 45750
740-809-2400



Please find attached authorization.

Please review this document and feel free to contact me if you have any questions or comments in its regard. I am generally available between 8:00 AM - 5:00 PM EST in our office at 216-767-5400, extension 100, and always available via email at pthornton@sixmoae.com.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Pat E. Thornton'. The signature is fluid and cursive.

Patrick E. Thornton, AIA
Principal
Sixmo, Inc.

**CASE 3: PZ-23-15 – HILLIARD RECREATION & WELLNESS CAMPUS ATHLETIC FIELDS - 6287 COSGRAY ROAD
PARCEL NUMBER: 050-010761 & 050-010764**

APPLICANT: City of Hilliard, c/o Ed Merritt, Recreation and Parks Director, 3800 Veterans Memorial Drive, Hilliard, OH 43026.

REQUEST: Review and approval of a conditional use under the provisions of Hilliard Code Section 1123.03 & 1123.04 and the Hilliard Recreation & Wellness Center PUD Development Text for athletic fields on 79.0 acres, and temporary signage under the provisions of Hilliard Code Section 1129.08.

BACKGROUND:

The site consists of four parcels totaling approximately 134.236 acres. It is located on the south side of Scioto Darby Road at the southern terminus of Cosgray Road, to the west of Hilliard Municipal Park, to the north of Heritage Lakes subdivision, and on the east side of Alton Darby Road.

On April 26, 2010, Council adopted an ordinance (No. 10-10) creating the Alton Commons PUD. On May 14, 2015, the Commission approved a 6-month extension of the Alton Commons PUD Concept Plan. On November 26, 2015, the Alton Commons PUD Concept Plan expired due to a lack of construction. On January 10, 2023, the Big Darby Accord Advisory Panel recommended approval of a PUD Concept Plan on 166.42 acres for a new recreation and wellness center, commercial, office, and park uses, a stream restoration project for the Clover Groff Ditch, and the construction of the Cosgray Road extension through the site. On January 12, 2023, the Planning and Zoning Commission forwarded a positive recommendation to Council concerning the proposed PUD Concept Plan. On April 13, 2023, Council adopted a resolution (23-R-06) approving the PUD Concept Plan for the Hilliard Recreation and Wellness Campus. The applicant is now requesting approval of a conditional use to permit new athletic fields in Subarea 2.

COMMISSION ROLE:

The Commission is to review the proposed conditional use for conformance to the provisions of Hilliard Code Sections 1123.03 and 1123.04 and the Hilliard Recreation & Wellness Center PUD Development Text, and then forward a recommendation to City Council. The Commission shall forward its recommendation to Council that the conditional use be approved as requested, or approved with conditions, or not approved. The Commission is to review the proposed temporary signage for conformance to the provisions of Hilliard Code Section 1129.08/

STAFF RECOMMENDATION:

Staff finds the proposed conditional use is consistent with the provisions of Hilliard Code Sections 1123.03 and 1123.04 and the Hilliard Recreation & Wellness Center PUD Development Text. Staff finds the proposal to be consistent with the Land Use and Development Policies of the BDAWMP. Based on these findings, staff recommends that the Commission forwards a positive recommendation to Council concerning the proposal with the following 3 conditions:

- 1) That not less than 27 acres of natural open space will be provided within Subarea 2;
- 2) That light trespass onto any residential property shall be not more than 0.3 footcandles when measured at grade 10 feet beyond the property line; and
- 3) That the site complies with the provisions of the Hilliard Storm Water Design Manual and the Ohio EPA Construction General Permit.

CONSIDERATIONS:

- **Site Context.** To the east is Hilliard Municipal Park zoned S-1, Support Facilities. To the south are single-family dwellings within Heritage Lakes subdivision and portions of Heritage Lakes Golf Course zoned PUD. To the west are single-family estate lots and Agape Community Fellowship church within Norwich Township. To the north, across Scioto Darby Road are commercial properties within Darby Town Center zoned B-5, and a commercial nursery zoned L-B-4, Highway or Regional Business with a Limited Overlay and R-R, Rural Residential.
- **Road Improvements.** Three roundabouts will be constructed along the new Cosgray Road extension including one at the intersection of Scioto Darby Road and Cosgray Road. Approximately 20 percent of the site will consist of areas for active recreation. The PUD Concept Plan states that 50 percent of the site will be open space and not less than 22 percent of the site will be natural open space.
- **Big Darby Accord Watershed Master Plan Issues.** Section 3.1.1 of the BDAWMP states: “Increased development westward into the planning area as well as planned future development areas identified in this plan will require additional park land and facilities, including active recreation fields for soccer and other organized sports...Generally, the location of facilities should maximize access and be centrally located to neighborhood centers.” Section 4.3 of the BDAWMP lists active recreational uses limited to multi-purpose fields, and playgrounds as a conditional use.
- **Proposed Conditional Use.** Athletic fields and playgrounds are conditional uses in Subarea 2. The proposed plans show 27 soccer fields in the southern portion of Subarea 2, including 2 synthetic fields, 22 turf fields, and 5 future fields. A 2,300-square-foot building with bathrooms and storage areas is located immediately south of the parking lot. A future concessions area is also indicated as an option. Trash receptacles are shown in the northeast corner of the parking lot.
- **Access, Parking & Lighting.** Access to the proposed soccer park is via two full-service access points on the Cosgray Road extension. Fifteen pole-mounted light fixtures are shown along the access drive. A total of 621 parking spaces are shown. Parking lot lighting may be a maximum of 35 feet in height and athletic field lighting may be a maximum of 90 feet in height. Parking lot lighting consists of 32 pole-mounted fixtures with a maximum height of 25 feet. Lighting for the proposed building includes 4 pole-mounted fixtures and 6 wall-mounted fixtures. Lighting for the two turf fields consists of 6 pole-mounted fixtures with a maximum height of 80 feet. Light trespass onto any residential property is limited to 0.3 footcandles when measured at grade 10 feet beyond the property line.
- **Open Space.** Approximately 27.15 acres of natural open space will be provided within Subarea 2. [Approximately 68.5 acres of the overall Hilliard Recreation & Wellness Campus site should be natural open space (consistent with the area of Tier 1 land shown on the BDAWMP General Land Use Plan) which means approximately 17.43 acres of natural open space will be needed in Subarea 1.]
- **Multi-Use Paths.** A 12-foot-wide asphalt multi-use path is shown along the southern boundary of the site, and along the west side of the Clover Groff Run. It will be located not less than 30 feet from the Stream Corridor Protection Zone. It will connect to the 10-foot-wide path along the east and south sides of the Cosgray Road extension. An 8-foot-wide path will extend from each of the two access drives into the site.

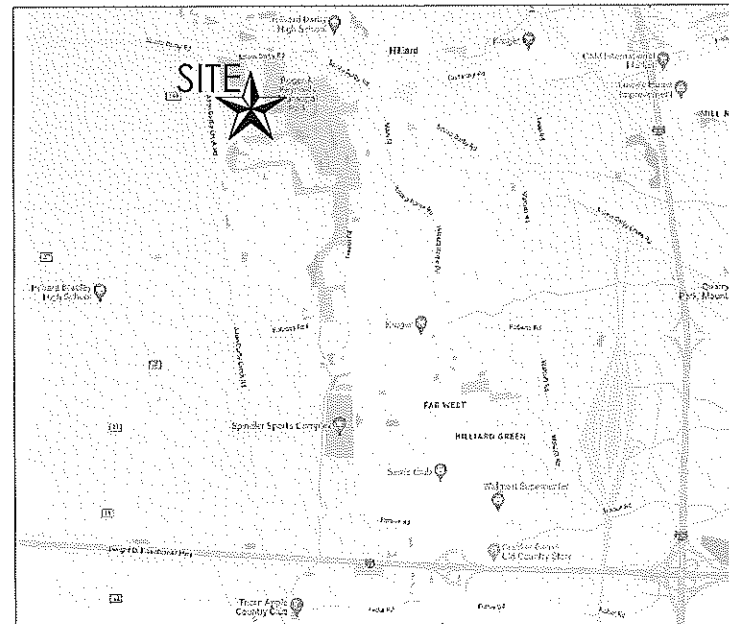
[END OF REPORT | PZ-23-15]

Hilliard Athletic Complex

6371 Scioto Darby Road, Hilliard OH 43026

Site Compliance

April 7, 2023



NORTH
VICINITY MAP
NOT TO SCALE

PREPARED FOR:
The City of Hilliard
3800 Veterans Memorial Drive
Hilliard OH 43026



OWNER'S REPRESENTATIVE
McCarthy Consulting, LLC
McCarthy Consulting, Inc.
84 West Riverglen Drive, Worthington OH 43085
614.846.7111

LANDSCAPE ARCHITECT

EDGE PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
330 WEST SPRING STREET, SUITE 350
COLUMBUS, OHIO 43215
614.486.3343
www.edgeja.com

SHEET INDEX	
Cover	
Site Layout Plans	C2.00 - C2.02, CA2.00
Site Planting Plans	L2.01 - L2.12

SITE DATA TABLE	
Current Zoning	PUD
Total Area - Athletic Complex	+/-67.77 Acres
Impervious Area (Off Street Parking)	231,886 SF
Impervious Area (Private Drive)	50,911 SF
Impervious Area (Building)	4,900 SF

PARKING DATA TABLE	
Proposed Use	Outdoor Recreation
Minimum Parking Required	N/A
Total Parking Provided	641 Spaces (561 w/o Alternate Lot)
Bicycle Parking Provided	24 Spaces
ADA Parking Provided (Van/Total)	4 Van Spaces / 14 Total Spaces

PLANTING DATA TABLE		
	Required	Provided
Code Section 1125.04 Building Coverage Tree Requirements .5" Caliper / 500 sf (4,900 sf Total)	10" Caliper Total	54" Caliper Total {18} 3" Trees Surrounding Pavilion
Code Section 1125.05 Vehicular Use Area Requirements Perimeter Plantings Fronting Private Drive 2 Trees + 30 Shrubs / 100 LF (768 LF)	16 Trees 231 Shrubs	16 Trees 195 Shrubs 30' Wide Bioretention Mix
Interior Landscape	1 Trees + 4 Shrubs / Single Island 2 Trees + 8 Shrubs / Double Island	1 Tree / Single Island Minimum 2 Trees + 8 Shrubs / Double Island
Code Section 1125.06 Buffering Requirements	N/A	

CIVIL



MS Consultants, Inc.
2221 Schrock Road, Columbus OH 43229
614.898.7100

ARCHITECT / STRUCTURAL
CIVIL / MEP:



Osports
130 East Chestnut Street, Suite 401, Columbus OH 43215
614.556.4272

IRRIGATION DESIGN



Century Equipment
4199 Leap Road, Hilliard OH 43026
614.771.9995

CONSTRUCTION MANAGER



Ruscilli Construction Co., Inc.
5815 Wall Street, Dublin OH 43017
614.876.9484



EDGE PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
330 W. SPRING STREET, SUITE 350
COLUMBUS, OH 43215
614.486.3343
www.edgela.com

MCCARTHY CONSULTING, LLC
84 W. RYERLEEN DRIVE
WORHINGTON, OH 43085
PHONE: 614.846.7111

MS CONSULTANTS, INC.
2221 SCHRACK ROAD
COLUMBUS, OH 43229-1547
PHONE: 614.898.7100

OSPORTS
130 E. CHESTNUT STREET, SUITE 401
COLUMBUS, OH 43215
PHONE: 614.556.4272

CENTURY EQUIPMENT
4199 LEAP ROAD,
HILLIARD, OH 43026
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6371 SCIOTO DARBY ROAD
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PROJECT NO. 21176.0

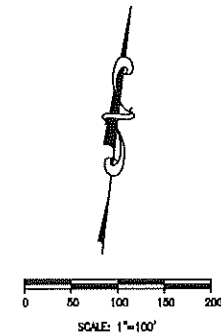
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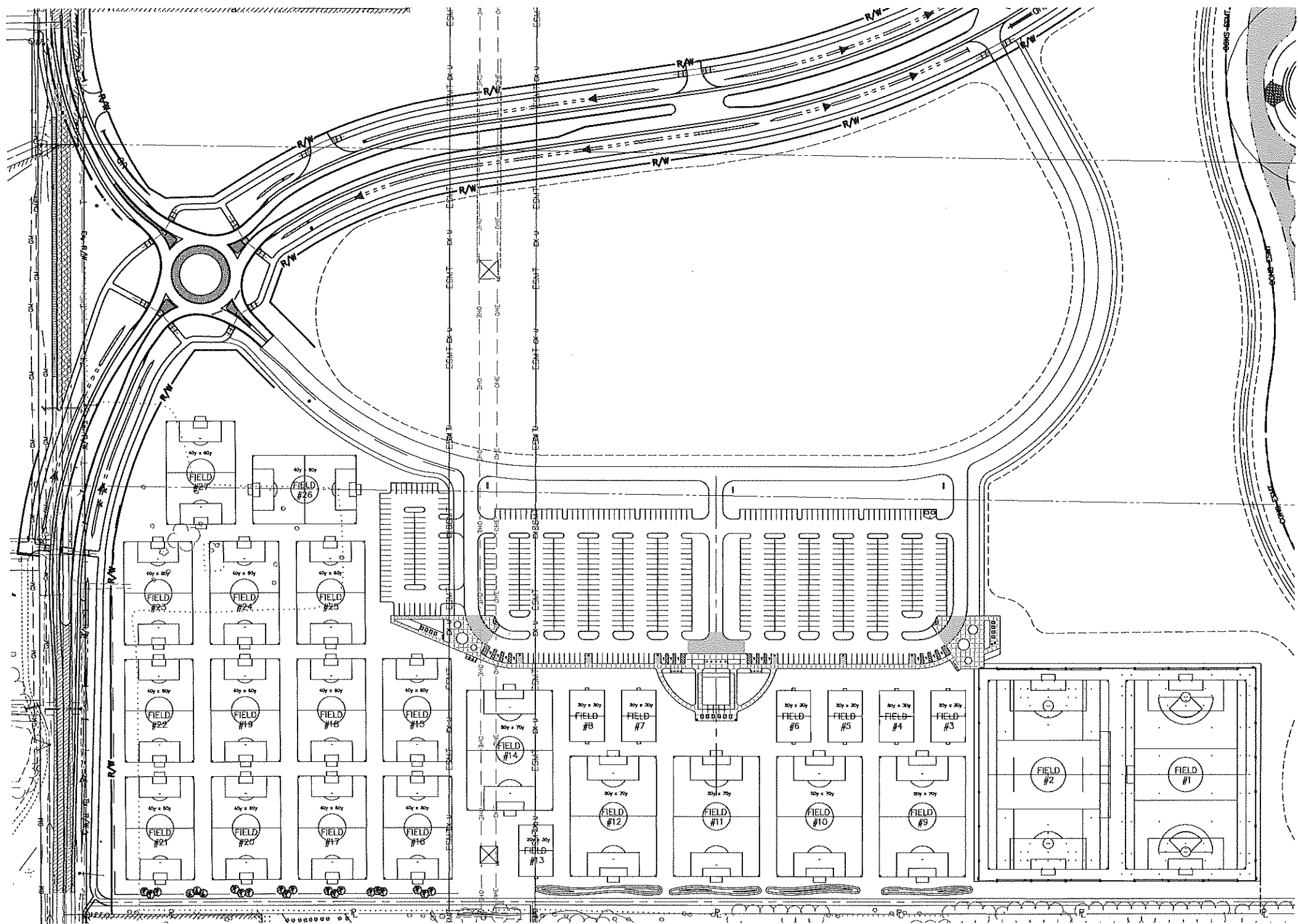
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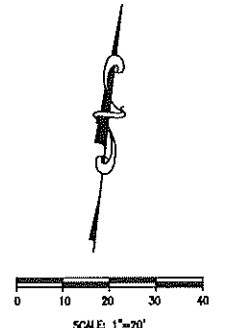
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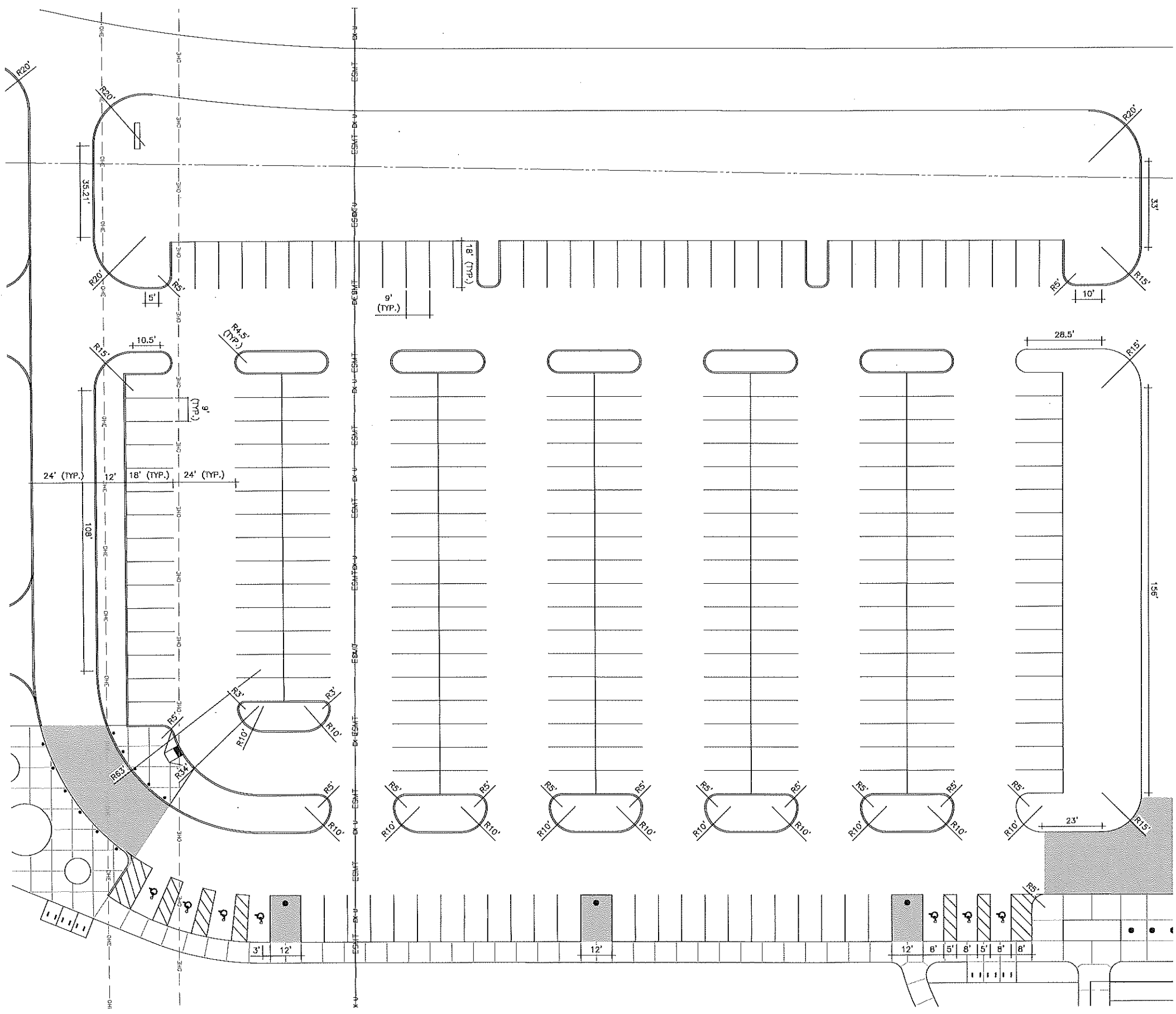
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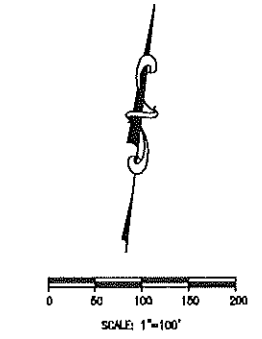
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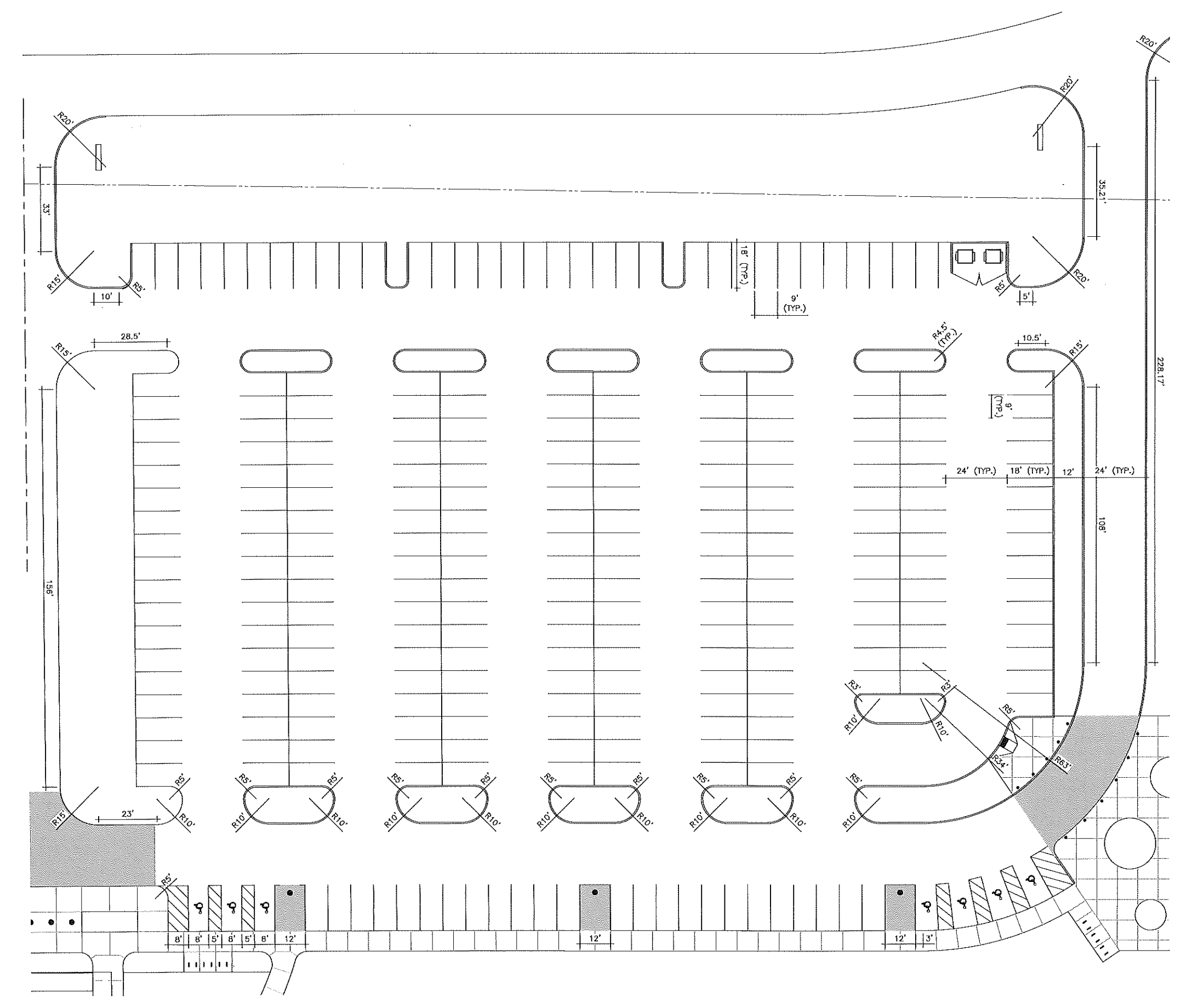
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ATHLETIC COMPLEX

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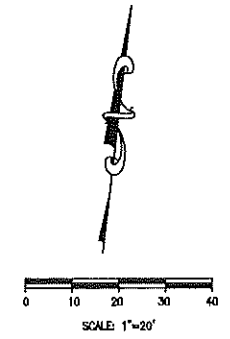
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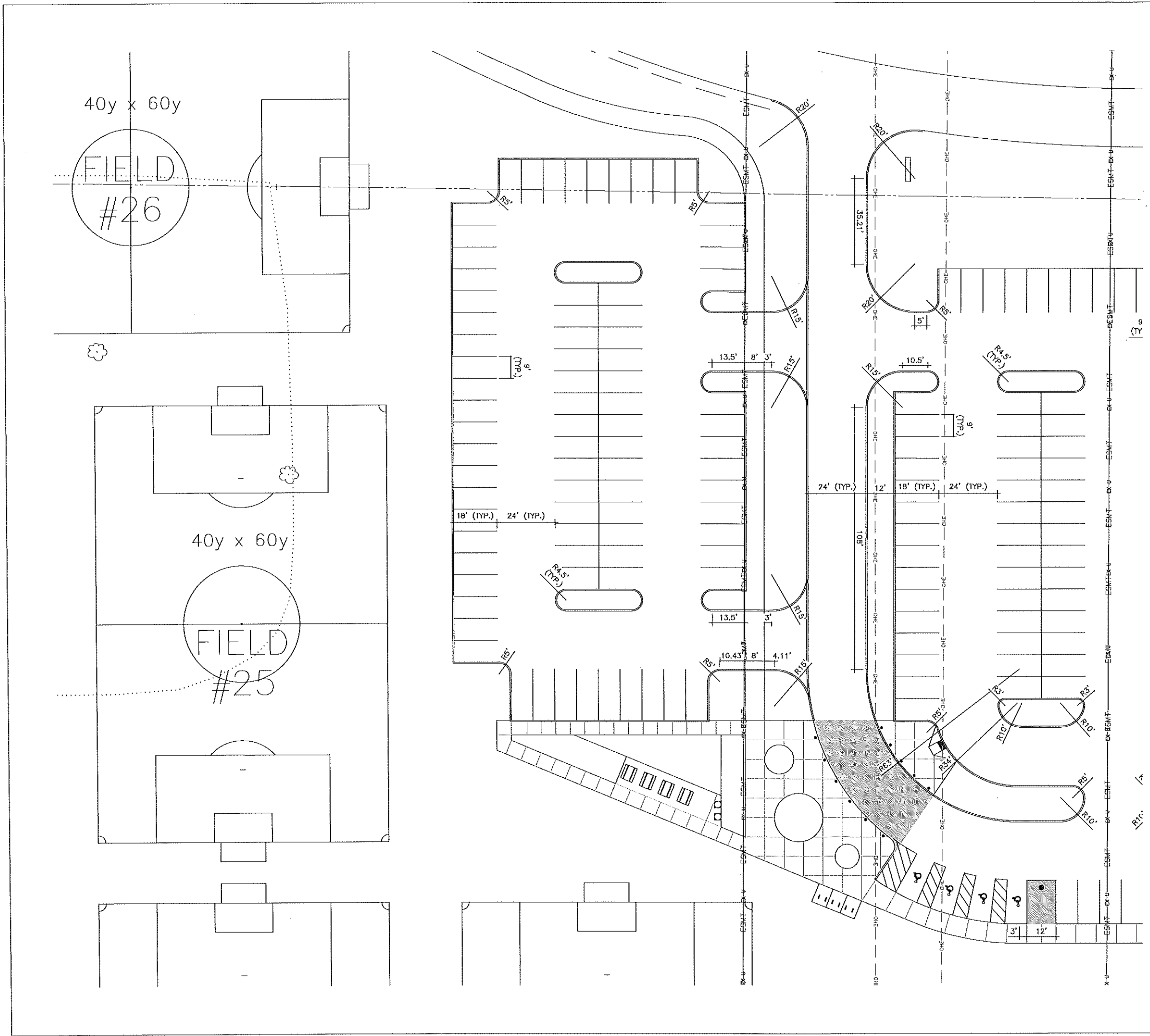


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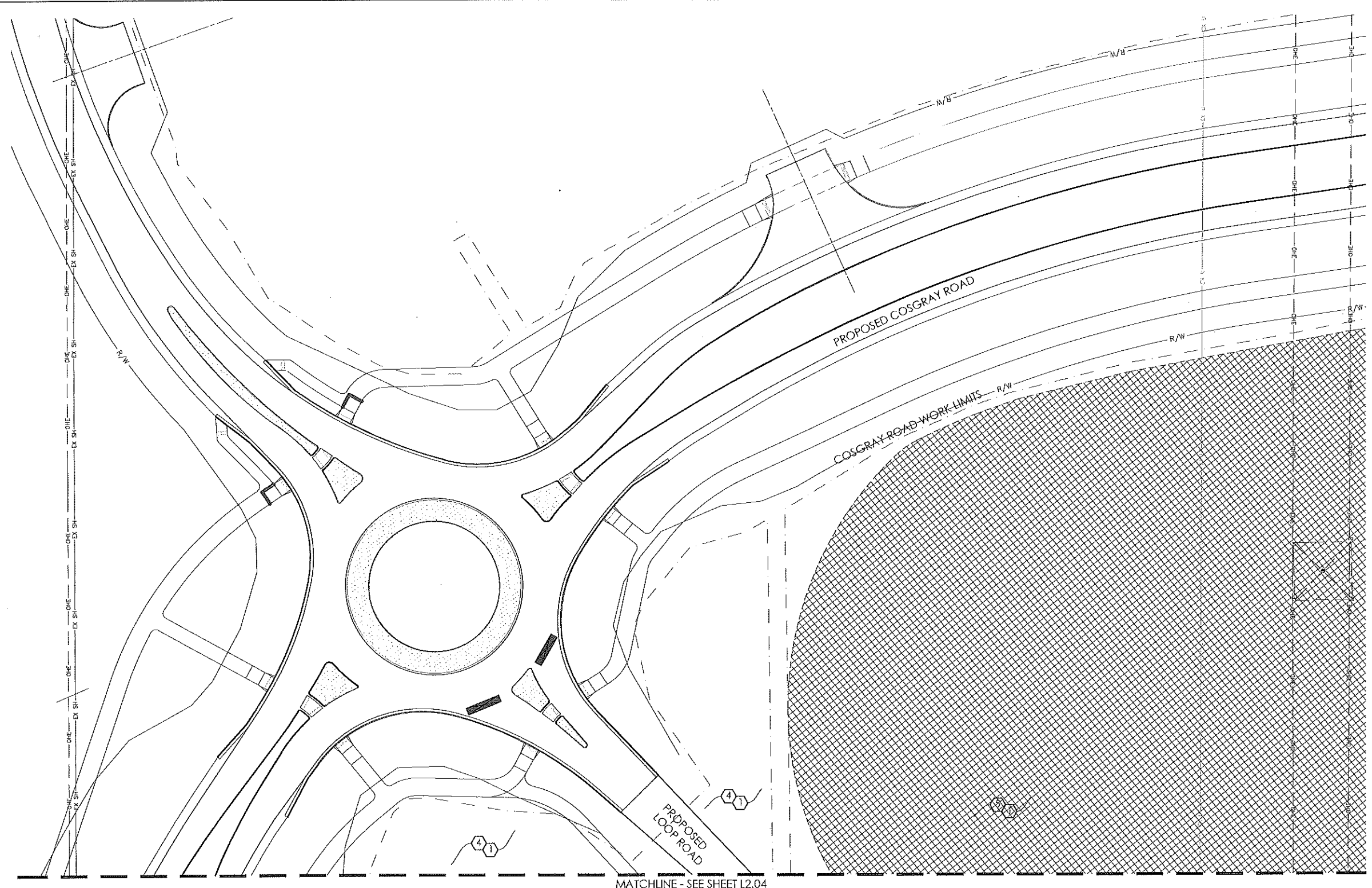
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PLANTING PLAN

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L2.01



MATCHLINE - SEE SHEET L2.04

GENERAL NOTES:

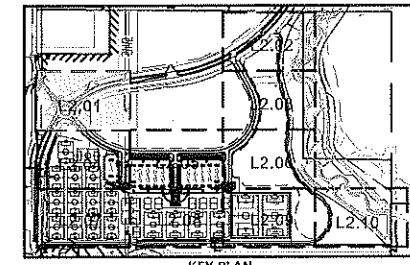
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- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEED ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
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- SEE SHEET L2.12 FOR PLANT MATERIALS SCHEDULE AND PLANTING DETAILS.

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- GRASS SEED B. SEE SPECIFICATIONS.
- GRASS SEED C. SEE SPECIFICATIONS.
- FILL WITH SHREDDED HARDWOOD MULCH, 3" DEPTH.
- GRASS MATRIX. SEE SHEET L2.

LEGEND

- GRASS SEED A: GENERAL TURF AREA SEED MIX
- GRASS SEED B: NO-MOW SEED MIX
- GRASS SEED C: BIO RETENTION SEED MIX
- GRASS MATRIX



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PHONE: 614.771.9995

ATHLETIC COMPLEX
PROJECT NAME
6371 SCIOTO DARBY ROAD
HILLIARD, OH 43026

CITY OF HILLIARD
3800 VETERANS MEMORIAL DRIVE
HILLIARD, OHIO 43026

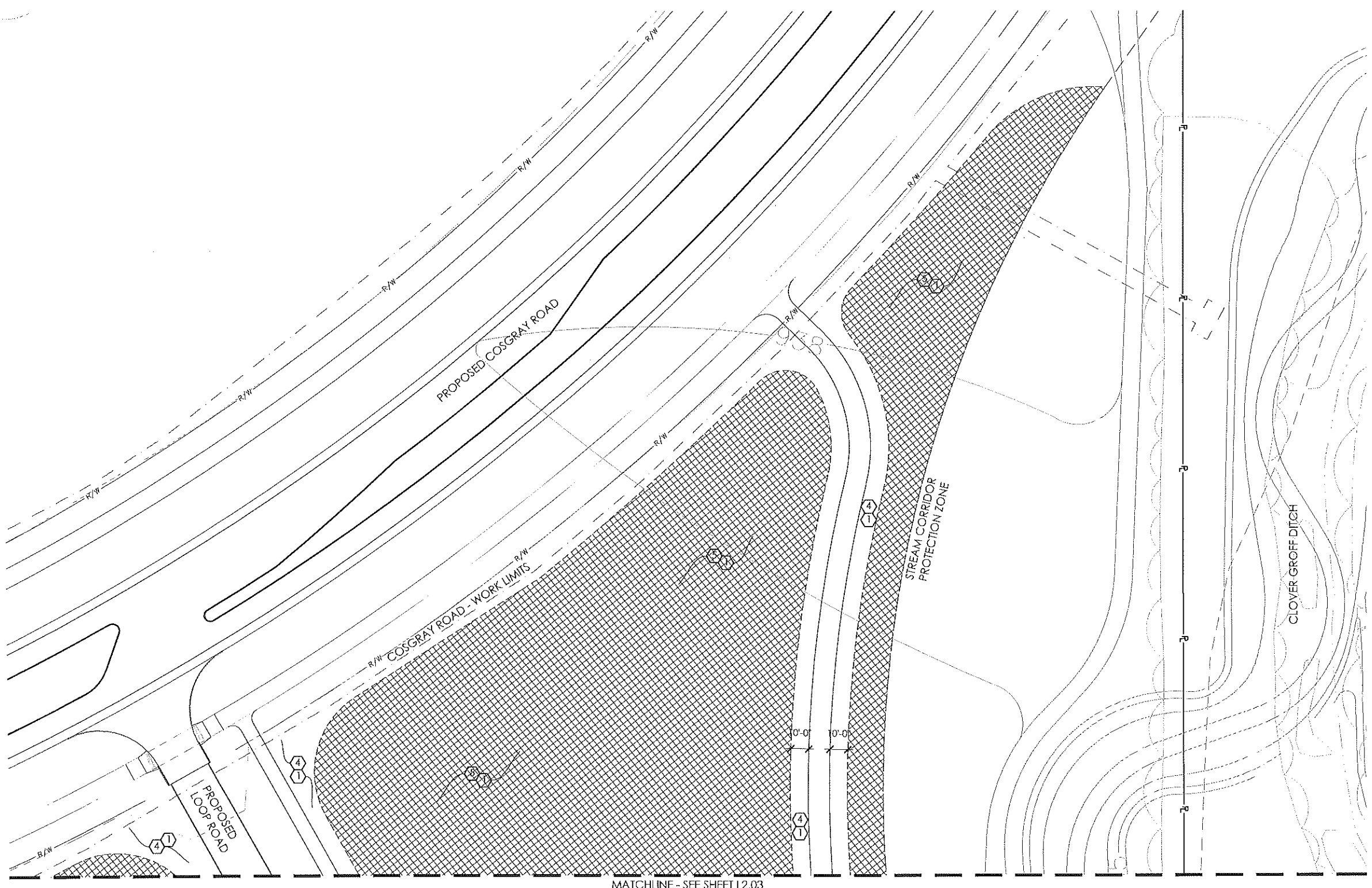
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L2.02



MATCHLINE - SEE SHEET L2.03

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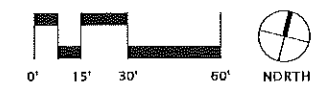
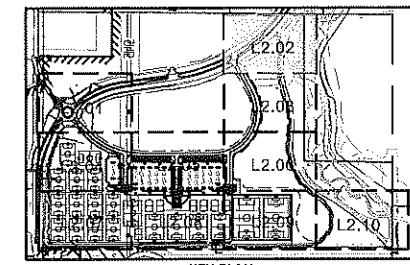
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- GRASS SEED C. SEE SPECIFICATIONS.
- FILL WITH SHREDDED HARDWOOD MULCH, 3" DEPTH.
- GRASS MATRIX. SEE SHEET L2.

LEGEND

- GRASS SEED A: GENERAL TURF AREA SEED MIX
- GRASS SEED B: NO-MOW SEED MIX
- GRASS SEED C: BRO RETENTION SEED MIX
- GRASS MATRIX



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PROJECT NAME
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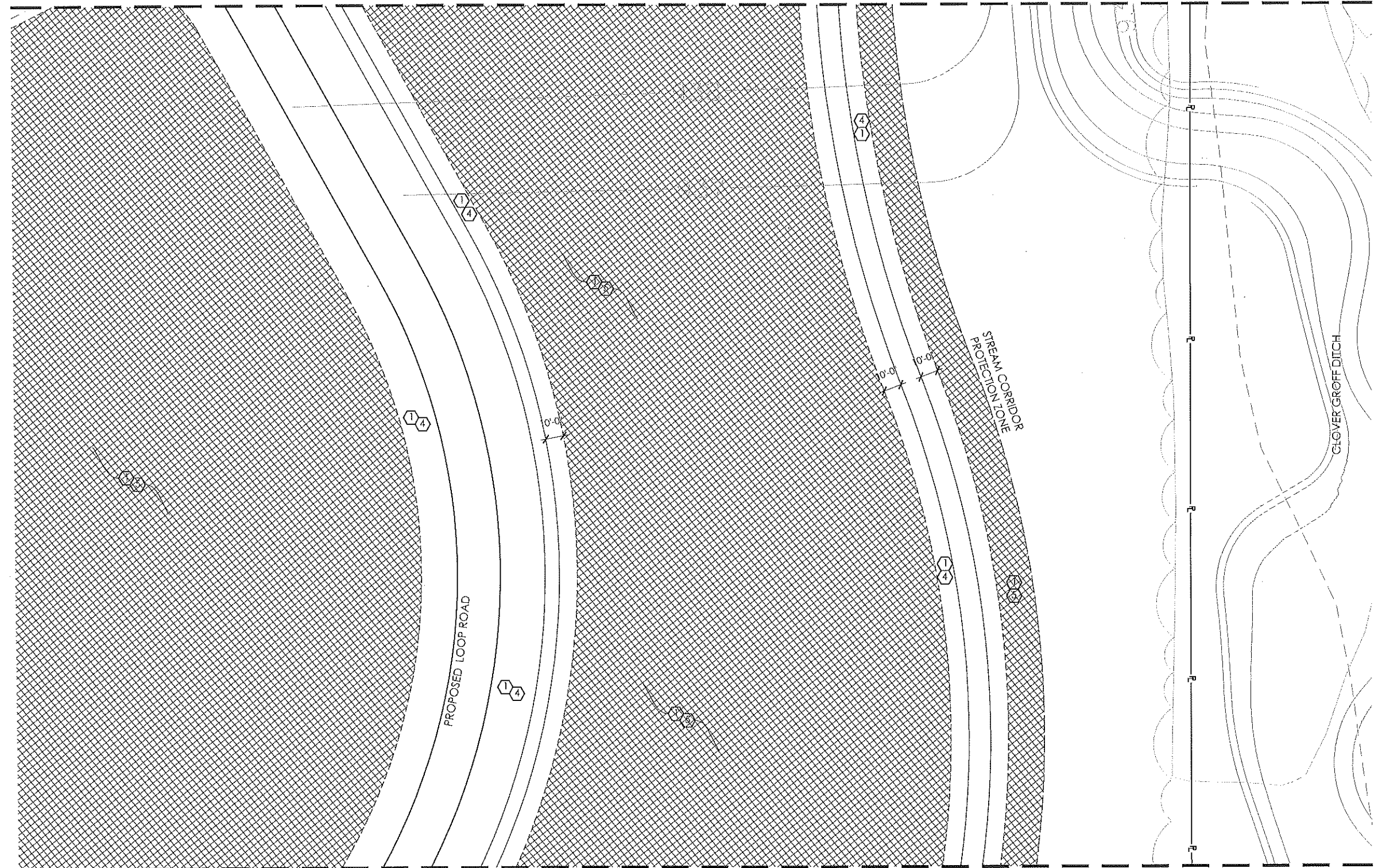
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MATCHLINE - SEE SHEET L2.02

MATCHLINE - SEE SHEET L2.06



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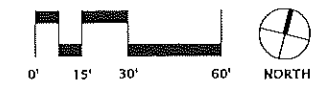
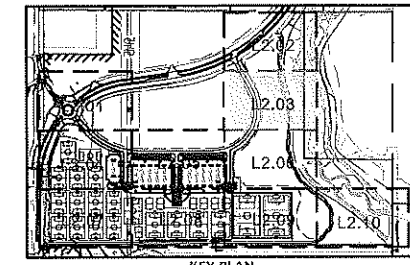
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- GRASS MATRIX, SEE SHEET L2.

LEGEND

- GRASS SEED A: GENERAL TURF AREA SEED MIX
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- GRASS MATRIX



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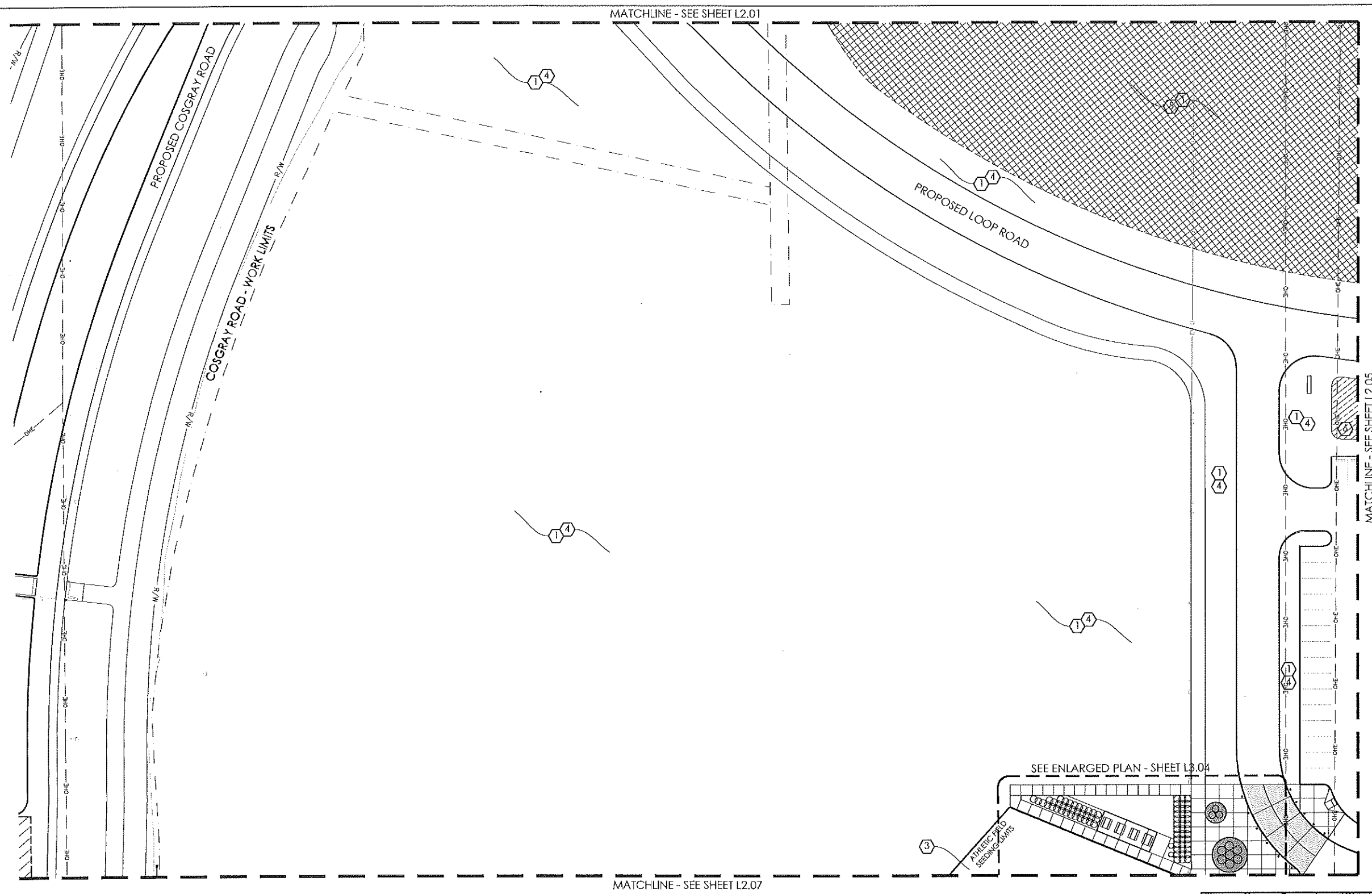
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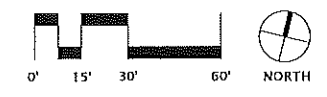
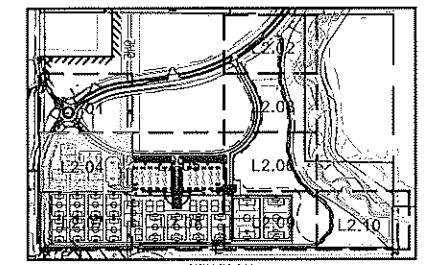
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LEGEND

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ATHLETIC COMPLEX

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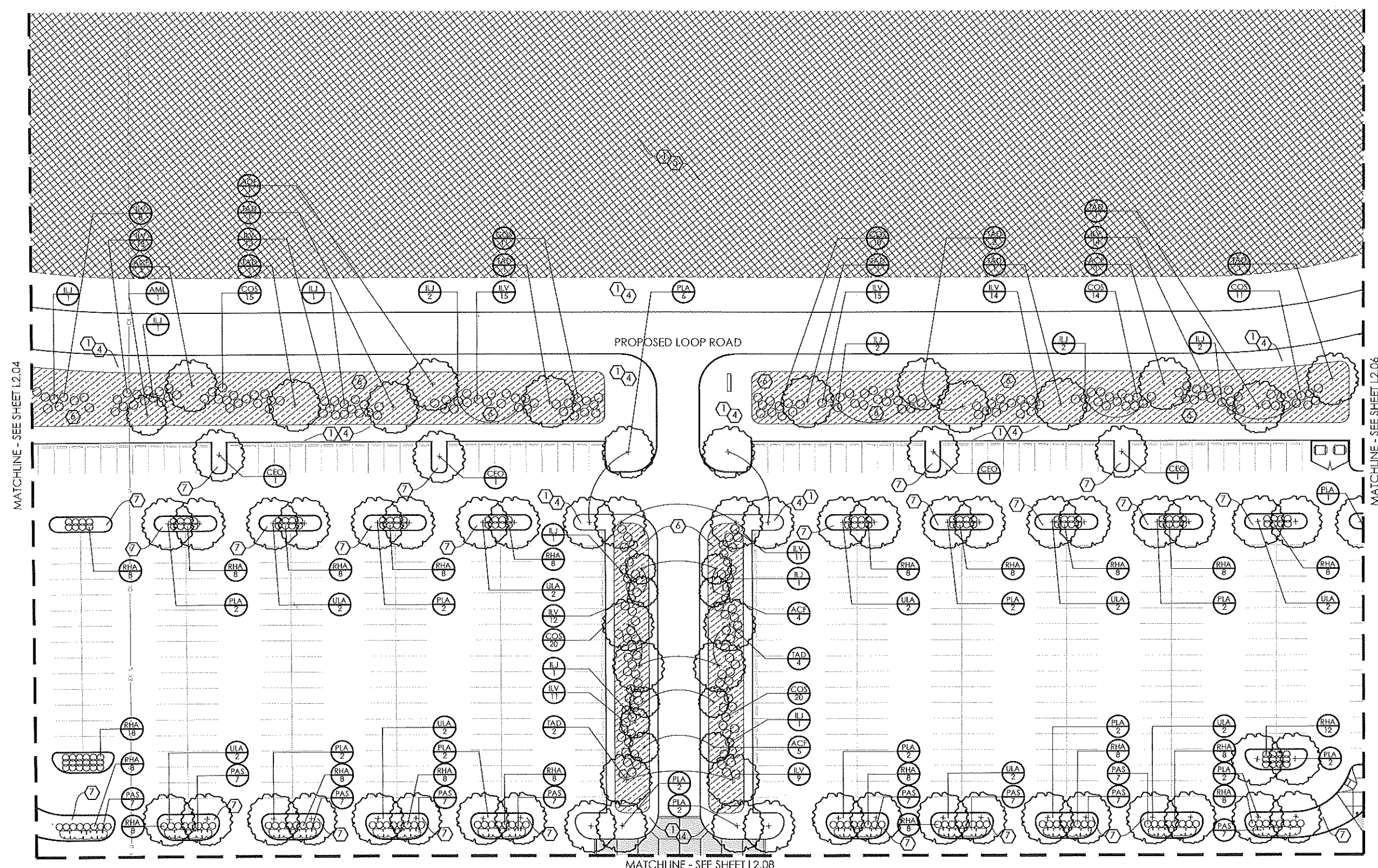
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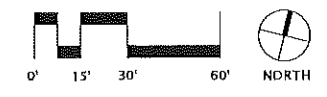
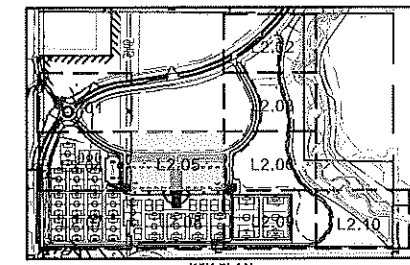
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- GRASS SEED B, SEE SPECIFICATIONS.
- GRASS SEED C, SEE SPECIFICATIONS.
- FILL WITH SHREDDED HARDWOOD MULCH, 3" DEPTH.
- GRASS MATRIX, SEE SHEET L2.

LEGEND

- GRASS SEED A: GENERAL TURF AREA SEED MIX
- GRASS SEED B: NO-MOW SEED MIX
- GRASS SEED C: BRO RETENTION SEED MIX
- GRASS MATRIX



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PHONE: 614.556.4272

CENTURY EQUIPMENT
4199 LEAP ROAD,
HILLIARD, OH 43026
PHONE: 614.771.9995

ATHLETIC COMPLEX

PROJECT NAME
6371 SCIOTO DARBY ROAD
HILLIARD, OH 43026



CLIENT
3800 VETERANS MEMORIAL DRIVE
HILLIARD, OHIO 43026

PROJECT NO. 21176.0

Date: 01/31/2023

Issued for: GMP 3

REVISIONS

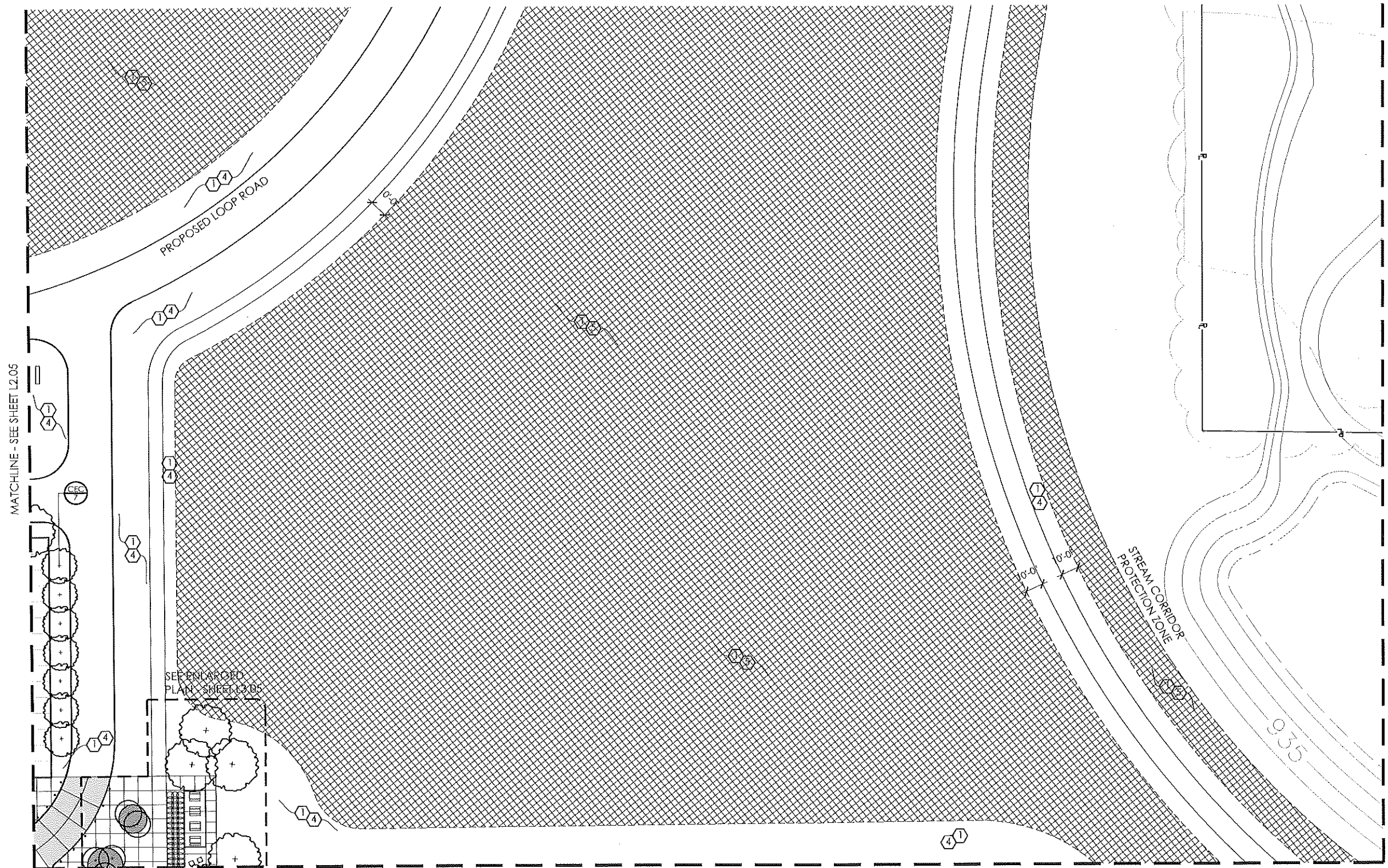
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ENLARGED
PLANTING PLAN

PRELIMINARY
NOT FOR CONSTRUCTION

L2.06

SEAL



GENERAL NOTES:

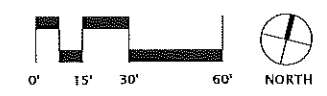
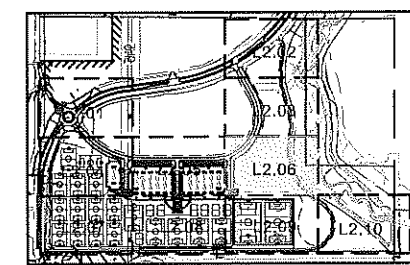
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9. SEE SHEET L2.12 FOR PLANT MATERIALS SCHEDULE AND PLANTING DETAILS.

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- ⑤ GRASS SEED B. SEE SPECIFICATIONS.
- ⑥ GRASS SEED C. SEE SPECIFICATIONS.
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- ⑧ GRASS MATRIX. SEE SHEET L2.

LEGEND

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ATHLETIC COMPLEX

PROJECT NAME
6371 SCIOTO DARBY ROAD
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HILLIARD, OHIO 43026

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Sheet Title
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Sheet Number
L2.07

MATCHLINE - SEE SHEET L2.04

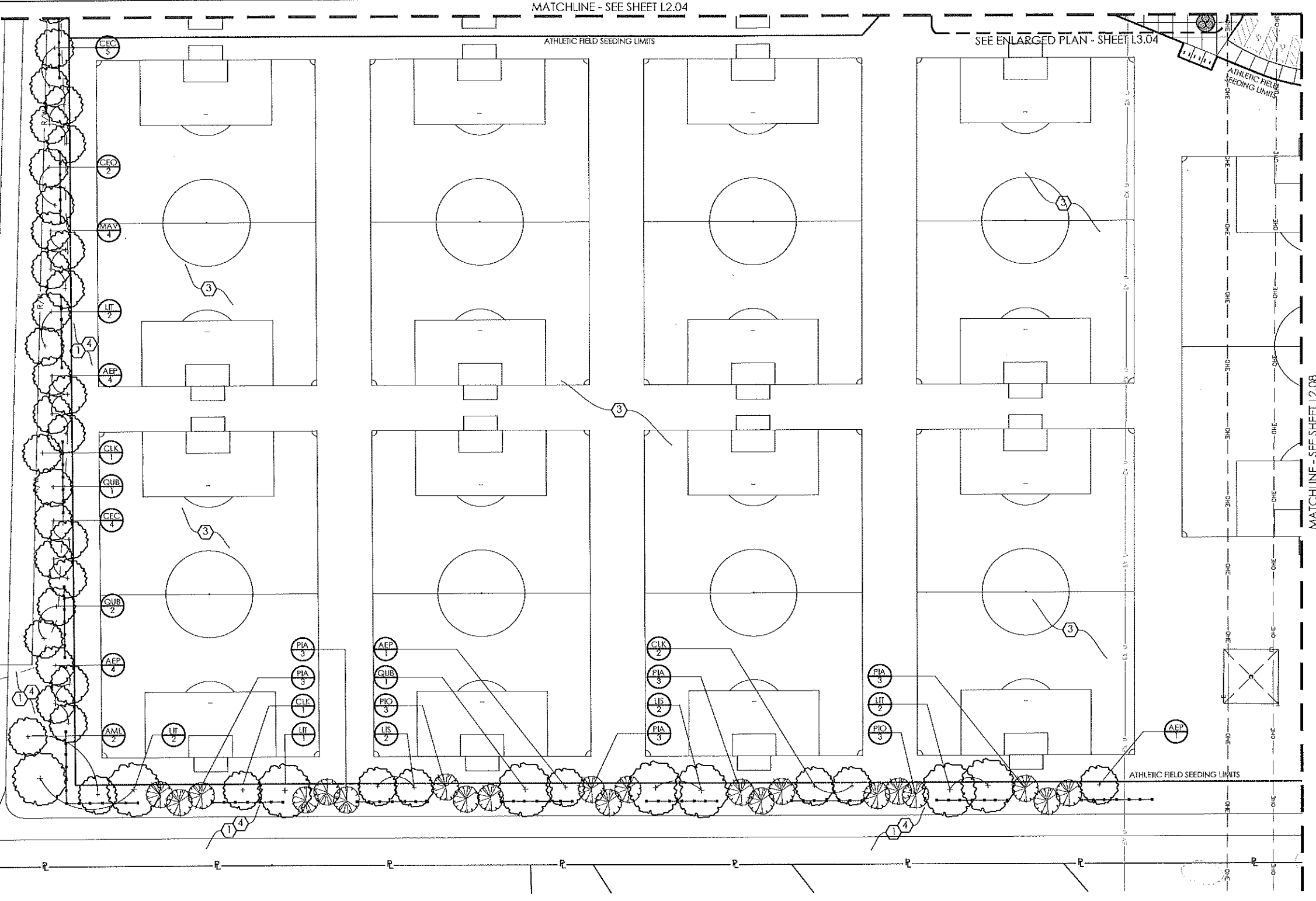
ATHLETIC FIELD SEEDING LIMITS

SEE ENLARGED PLAN - SHEET L3.04

ATHLETIC FIELD SEEDING LIMITS

MATCHLINE - SEE SHEET L2.08

PROPOSED COSGRAY ROAD



GENERAL NOTES:

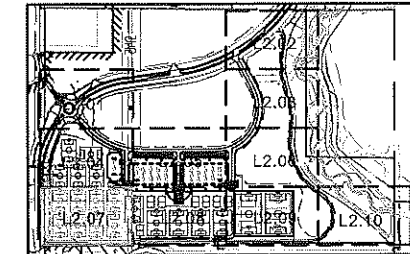
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LEGEND

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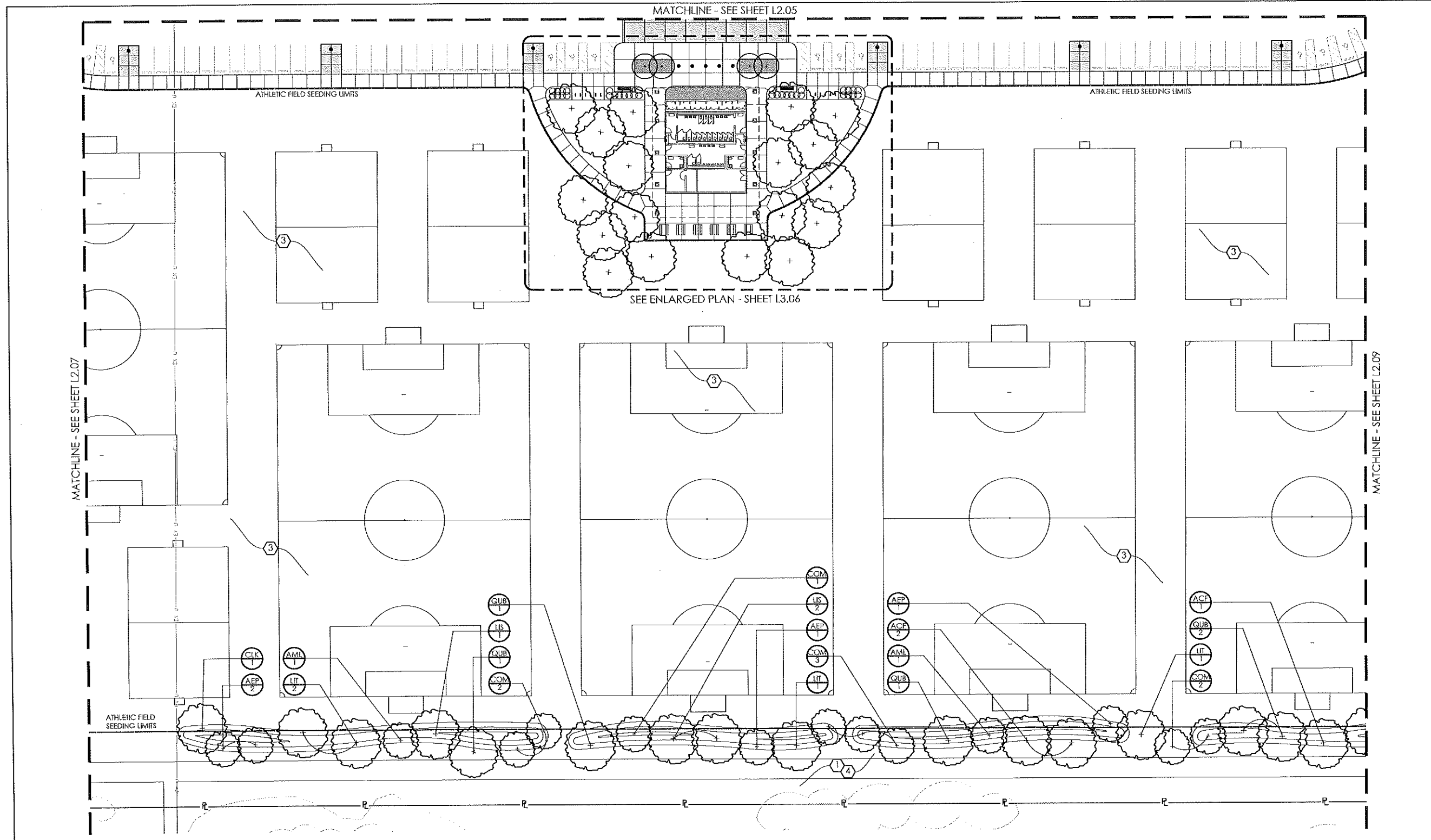
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ENLARGED PLANTING PLAN

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L2.08
Sheet Number

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GENERAL NOTES:

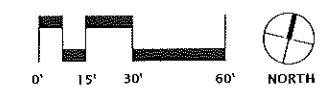
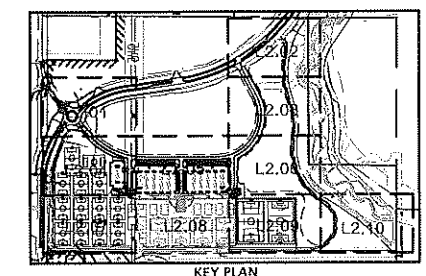
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LEGEND

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ATHLETIC COMPLEX

6371 SCIOTO DARBY ROAD
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3800 VETERANS MEMORIAL DRIVE
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PROJECT NO. 21176.0

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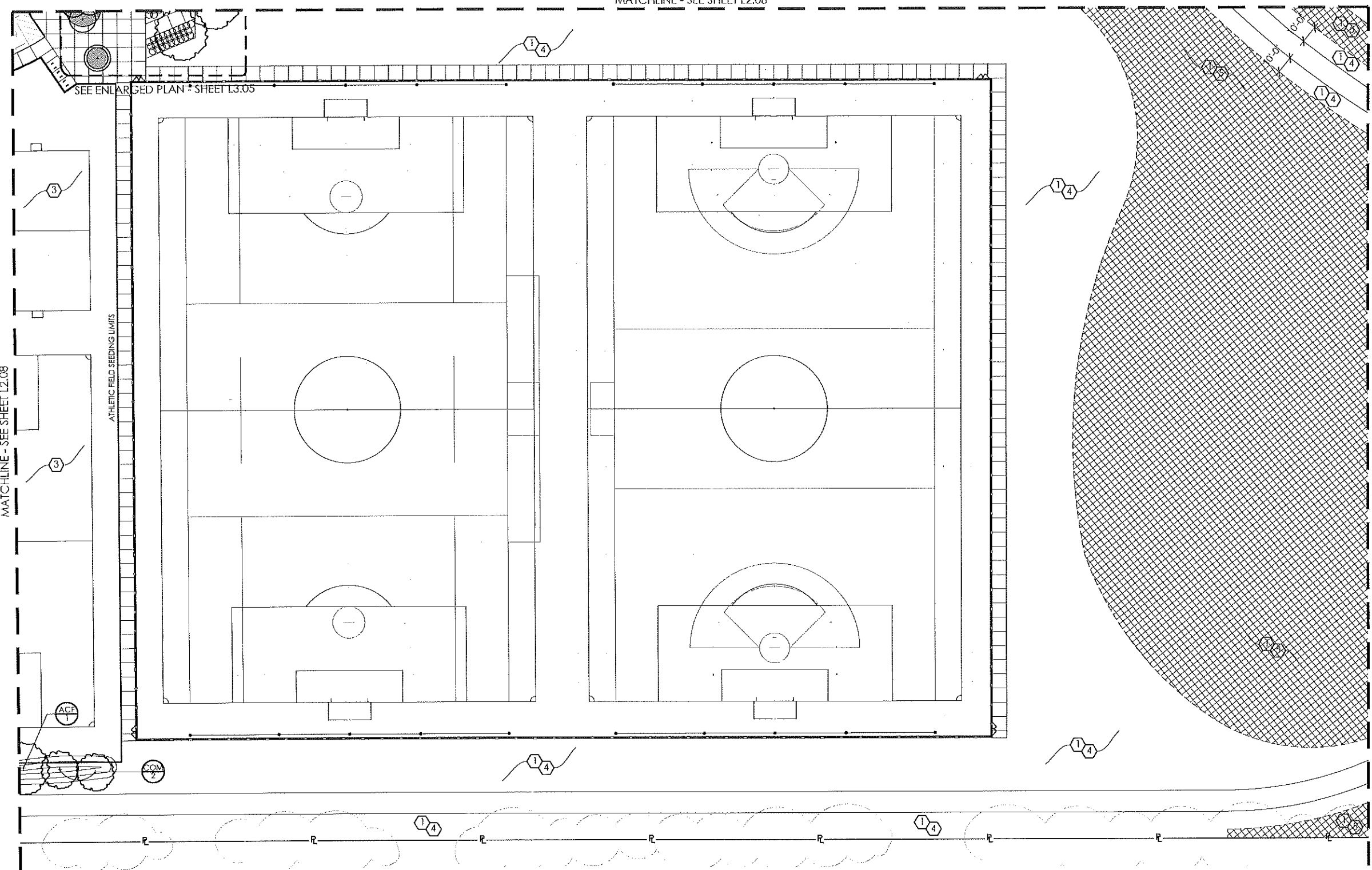
MATCHLINE - SEE SHEET L2.06

SEE ENLARGED PLAN - SHEET L3.05

MATCHLINE - SEE SHEET L2.08

ATHLETIC FIELD SEEDING LIMITS

MATCHLINE - SEE SHEET L2.10



GENERAL NOTES:

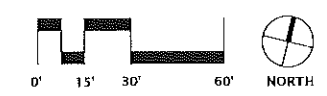
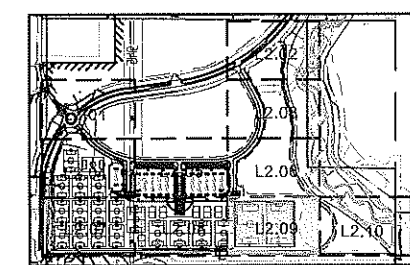
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LEGEND

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CENTURY EQUIPMENT CONSULTANTS
CENTURY EQUIPMENT
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ATHLETIC COMPLEX

PROJECT NAME
6371 SCIOTO DARBY ROAD
HILLIARD, OH 43026



CLIENT
3800 VETERANS MEMORIAL DRIVE
HILLIARD, OHIO 43026

PROJECT NO. 21176.0
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Street Number
L2.10

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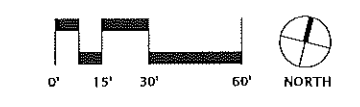
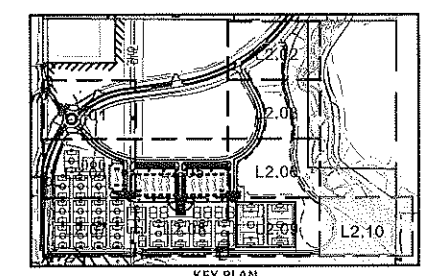
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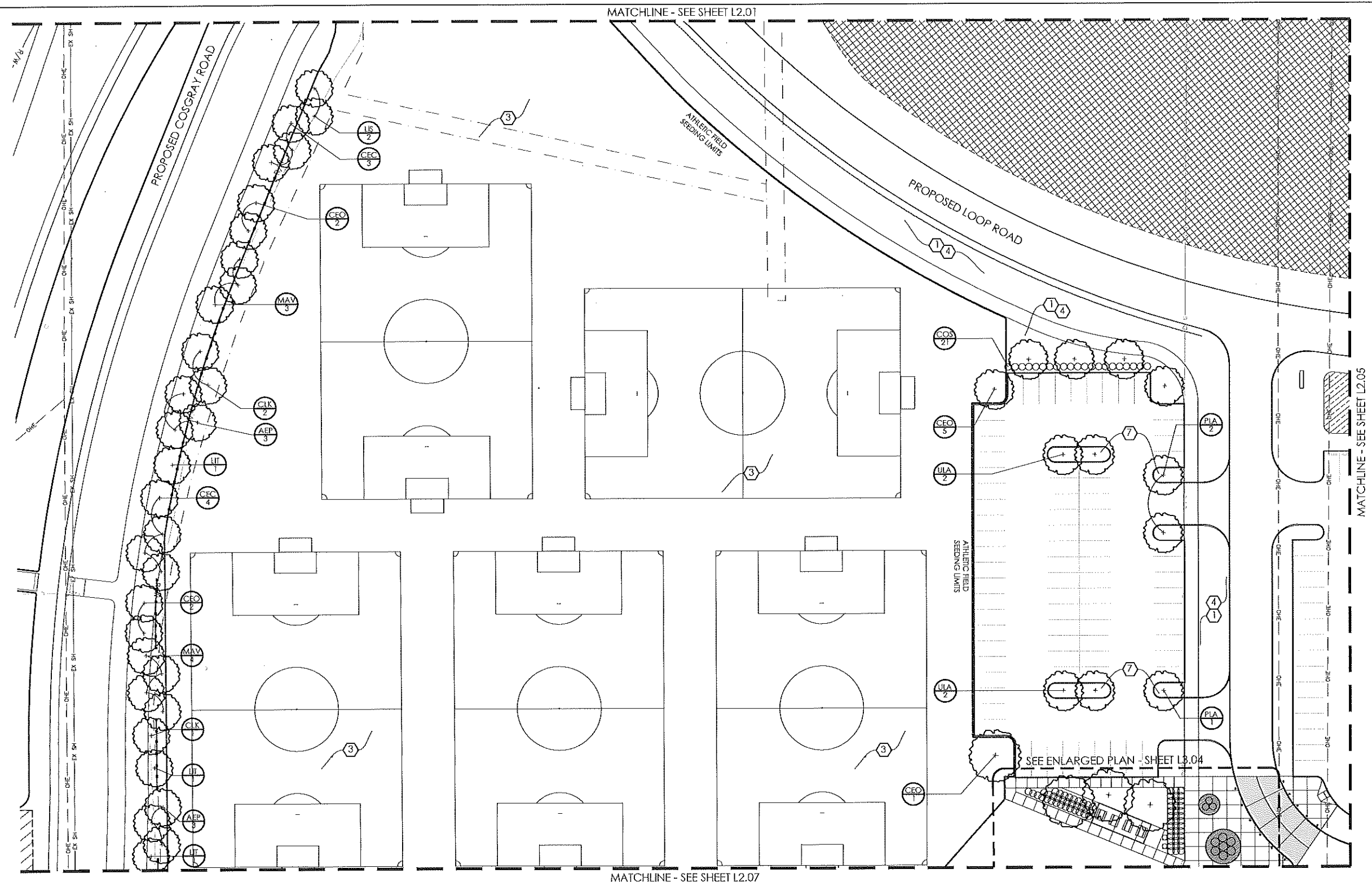
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Sheet Title
ALTERNATE PLANTING PLAN

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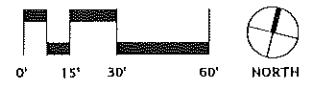
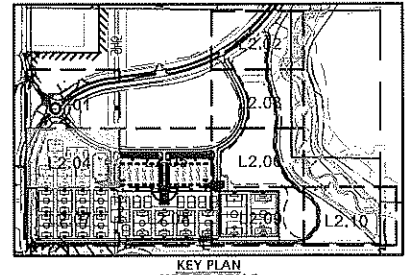
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 8. GRASS MATRIX, SEE SHEET L2.

- LEGEND**
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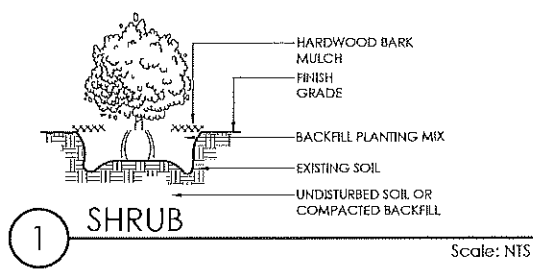
PLANT MATERIALS LIST NOTE: CONTRACTOR RESPONSIBLE FOR ALL PLANT QUANTITIES SHOWN ON PLAN.

QTY.	ABV.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SHADE TREES						
14	AEP	RED BUCKEYE	Aesculus pavia	3" Cal.	B&B	
8	AML	ALLEGHENY SERVICEBERRY	Amelanchier laevis	7 - 8' Hgt.	B&B	Multi Stem
22	ACF	FREEMAN MAPLE	Acer x. freeman	3" Cal.	B&B	
19	CEC	EASTERN REDBUD	Cercis canadensis	7 - 8' Hgt.	B&B	Multi Stem
6	CEO	PRARIE PRIDE HACKBERRY	Celtis occidentalis 'Prairie Pride'	3" Cal.	B&B	
5	CLK	AMERICAN YELLOWWOOD	Cladostis kentukea (Julea)	3" Cal.	B&B	
10	COM	CORNELIANCHERRY DOGWOOD	Cornus mas	7 - 8' Hgt.	B&B	Multi Stem
7	LIS	SWEETGUM	Liquidambar styraciflua	3" Cal.	B&B	
23	LIT	TULIPTREE	Liriodendron tulipifera	3" Cal.	B&B	
8	MAV	SWEETBAY MAGNOLIA	Magnolia virginiana	7 - 8' Hgt.	B&B	Multi Stem
31	PLA	LONDON PLANE TREE	Platanus x acerifolia 'Exclamation'	3" Cal.	B&B	
13	QUB	SWAMP WHITE OAK	Quercus bicolor	3" Cal.	B&B	
15	TAD	BALD CYPRESS	Taxodium distichum 'Distichum'	3" Cal.	B&B	
18	ULA	PRINCETON ELM	Ulmus americana 'Princeton'	3" Cal.	B&B	
EVERGREEN TREES						
15	PIA	NORWAY SPRUCE	Picea abies	10' - 12' Hgt.	B&B	
6	PIO	SERBIAN SPRUCE	Picea omorika	10' - 12' Hgt.	B&B	
SHRUBS						
16	ILJ	RED SPRITE WINTERBERRY HOLLY	Ilex verticillata 'Red Sprite'	5 Gal., 24" Hgt.	Cont.	
140	ILV	WINTER RED HOLLY	Ilex verticillata	5 Gal., 24" Hgt.	Cont.	
169	COS	REDOSIER DOGWOOD	Cornus sericea	5 Gal., 24" Hgt.	Cont.	
13	HQP	PEEWEE OAKLEAF HYDRANGEA	Hydrangea quercifolia 'Pee Wee'	5 Gal., 24" Hgt.	Cont.	
302	RHA	GRO-LOW SUMAC	Rhus aromatica 'Gro-Low'	5 Gal., 18" Sprd.	Cont.	
PERENNIALS / GROUNDCOVER/ VINES						
70	PAS	SHENANDOAH SWEGHGRASS	Panicum 'Shenandoah'	1 Gal.	Cont.	
GRASS MATRIX (GM) - EVENLY DISTRIBUTE						
773	GM	BLUE GRAMA	Bouteloua gracilis	1 Gal.	Cont.	12" O.C.
773	GM	CHAMELEON LITTLE BLUESTEM	Schizachyrium scoparium 'Chameleon'	1 Gal.	Cont.	12" O.C.

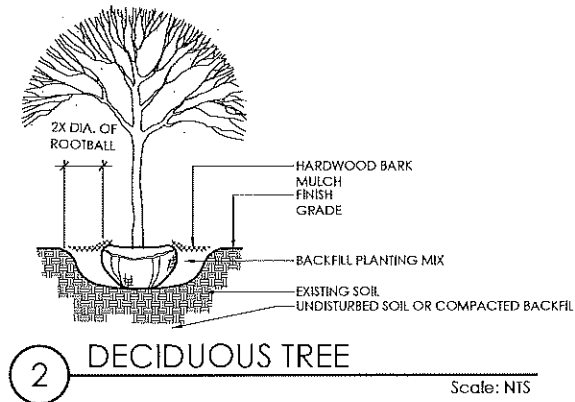
PLANT MATERIALS LIST - ALTERNATE NOTE: CONTRACTOR RESPONSIBLE FOR ALL PLANT QUANTITIES SHOWN ON PLAN.

QTY.	ABV.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SHADE TREES						
7	AEP	RED BUCKEYE	Aesculus pavia	3" Cal.	B&B	
7	CEC	EASTERN REDBUD	Cercis canadensis	7 - 8' Hgt.	B&B	Multi Stem
10	CEO	PRARIE PRIDE HACKBERRY	Celtis occidentalis 'Prairie Pride'	3" Cal.	B&B	
3	CLK	AMERICAN YELLOWWOOD	Cladostis kentukea (Julea)	3" Cal.	B&B	
4	LIS	SWEETGUM	Liquidambar styraciflua	3" Cal.	B&B	
5	LIT	TULIPTREE	Liriodendron tulipifera	3" Cal.	B&B	
7	MAV	SWEETBAY MAGNOLIA	Magnolia virginiana	7 - 8' Hgt.	B&B	Multi Stem
3	PLA	LONDON PLANE TREE	Platanus x acerifolia 'Exclamation'	3" Cal.	B&B	
4	ULA	PRINCETON ELM	Ulmus americana 'Princeton'	3" Cal.	B&B	
SHRUBS						
21	COS	REDOSIER DOGWOOD	Cornus sericea	5 Gal., 24" Hgt.	Cont.	

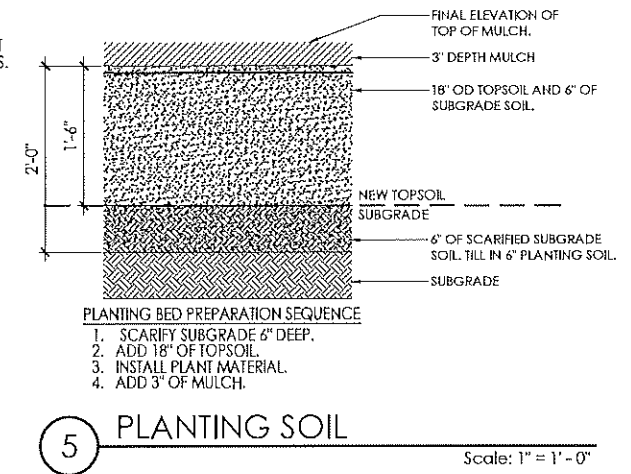
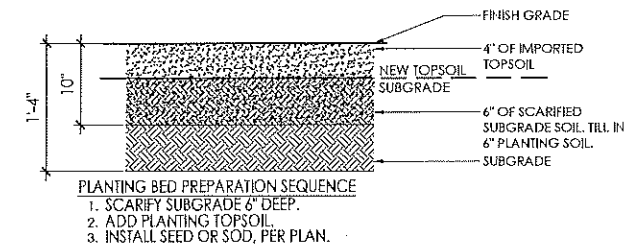
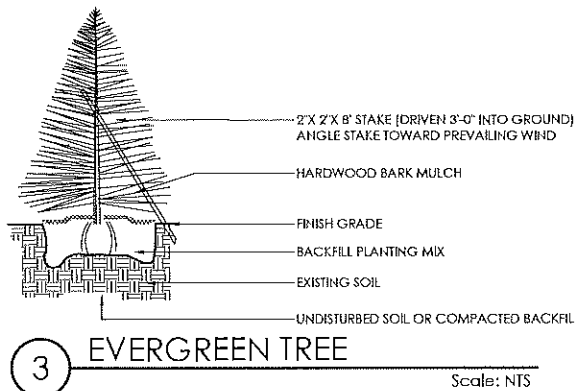
NOTES:
1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISH GRADE.
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL.
REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.



NOTES:
1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISH GRADE.
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL CUT TOP 1/3 OF WIRE BASKET FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.



NOTES:
1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISH GRADE.
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL CUT TOP 1/3 OF WIRE BASKET FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.



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HILLIARD
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PROJECT NO. 21176.0
Date: 01/31/2023
Issued for: GMP 3

REVISIONS

PLANT SCHEDULE & PLANTING DETAILS

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Sheet Number **L2.12**

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PROJECT NAME
 CLIENT

PROJECT NO. J20211936.000

Date: 01/31/2023

Issued for: GMP 3

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TAG	ISSUED	DATE

ELECTRICAL SYMBOL LEGEND AND NOTES

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E001

LIGHTING SYMBOL LEGEND

SYMBOL	DESCRIPTION
ZZZ / #, #, #	ROOM LIGHTING CIRCUIT TAG. ALL FIXTURES IN ROOM/SPACE TO BE CIRCUITED TO PANEL "ZZZ" / CIRCUIT NUMBER(S) "#, #, #" AS INDICATED, UNLESS OTHERWISE NOTED.
X / y / #	RECESSED LUMINAIRE. "X" INDICATES TYPE; "Y" INDICATES SWITCHING; "F" BRANCH CIRCUITING. SEE LUMINAIRE SCHEDULE.
X / y / #	SURFACE MOUNTED LUMINAIRE. "X" INDICATES TYPE; "Y" INDICATES SWITCHING; "F" BRANCH CIRCUITING. SEE LUMINAIRE SCHEDULE.
NL	LUMINAIRE WITH INTEGRAL EMERGENCY BATTERY PACK OR WIRED TO EMERGENCY CIRCUIT (LIFE SAFETY). "NL" DENOTES NIGHT LIGHT WITH 24/7 OPERATION. SEE LUMINAIRE SCHEDULE.
NL	LUMINAIRE WITH INTEGRAL EMERGENCY BATTERY PACK OR WIRED TO EMERGENCY CIRCUIT (CRITICAL BRANCH). "NL" DENOTES NIGHT LIGHT WITH 24/7 OPERATION. SEE LUMINAIRE SCHEDULE.
○ / □	RECESSED DOWN LIGHT OR WALL WASH. SEE LUMINAIRE SCHEDULE.
○ / □	SURFACE MOUNTED DOWNLIGHT OR WALL WASH. SEE LUMINAIRE SCHEDULE.
□	LINEAR PENDANT MOUNTED LUMINAIRE. SEE LUMINAIRE SCHEDULE.
⊕	ROUND PENDANT MOUNTED LUMINAIRE. SEE LUMINAIRE SCHEDULE.
♀ / ♂	WALL MOUNTED LUMINAIRE. SEE LUMINAIRE SCHEDULE.
v v v	TRACK LIGHTING LUMINAIRE SYSTEM. SEE LUMINAIRE SCHEDULE.
e	ILLUMINATED EXIT SIGNAGE LUMINAIRE - CEILING MOUNTED. REFER TO PLANS FOR FACING AND CHEVRON CONFIGURATION. SEE LUMINAIRE SCHEDULE.
e	ILLUMINATED EXIT SIGNAGE LUMINAIRE - WALL MOUNTED. REFER TO PLANS FOR FACING AND CHEVRON CONFIGURATION. SEE LUMINAIRE SCHEDULE.
e / e	ILLUMINATED EXIT SIGN LUMINAIRE WITH INTEGRAL EMERGENCY HEAD(S). REFER TO PLANS FOR FACING AND CHEVRON CONFIGURATION. SEE LUMINAIRE SCHEDULE.
⌋	EMERGENCY LIGHTING BATTERY UNIT WITH HEADS AS INDICATED. SEE LUMINAIRE SCHEDULE.
⌋ / ⌋	REMOTE MOUNTED EMERGENCY LIGHTING HEAD (SINGLE OR DOUBLE AS INDICATED ON PLANS). SEE LUMINAIRE SCHEDULE.
xy	SINGLE POLE, 120/277V, 20A TOGGLE SWITCH. "X" INDICATES THE FOLLOWING: 3 THREE WAY 4 FOUR WAY K KEY OPERATED P PILOT LIGHT DS PASSIVE INFRARED LOW VOLTAGE OCCUPANCY SENSOR SWITCH WITH INTEGRAL 0-10V DIMMING DT DUAL TECHNOLOGY LOW VOLTAGE OCCUPANCY SENSOR SWITCH WITH INTEGRAL 0-10V DIMMING OS LOW VOLTAGE DUAL TECHNOLOGY OCCUPANCY SENSOR SWITCH (OS2 = 2 ZONE CONTROL) PI PASSIVE INFRARED LOW VOLTAGE OCCUPANCY SENSOR TS TIMER SWITCH WITH AUDIBLE AND FLICKER TIMEOUT WARNING. MC LOW VOLTAGE MOMENTARY CONTACT SWITCH LV LOW VOLTAGE, RELAY CONTROL TYPE LVA LOW VOLTAGE 1-ZONE ON/OFF ONLY LVB LOW VOLTAGE 1-ZONE ON/OFF WITH DIMMING LVC LOW VOLTAGE 2-ZONE ON/OFF ONLY LVD LOW VOLTAGE 2-ZONE ON/OFF WITH DIMMING LVE LOW VOLTAGE 4-ZONE ON/OFF ONLY LVF LOW VOLTAGE SCENE CONTROL WITH DIMMING LVG LOW VOLTAGE GRAPHIC WALL POD LVH LOW VOLTAGE 3-GANG TOUCH SCREEN Y LOWERCASE LETTER INDICATES SCENE CONTROL OF SPECIFIC LUMINAIRES Z1 LOW VOLTAGE PRIMARY DAYLIGHT HARVESTING ZONE Z2 LOW VOLTAGE SECONDARY DAYLIGHT HARVESTING ZONE
⊗	CEILING MOUNT
⊗	WALL MOUNT
PC	PHOTOCELL MOUNTED ON ROOF FACING NORTH
STD	EMERGENCY GENERATOR TRANSFER DEVICE. SEE DETAILS FOR ADDITIONAL INFORMATION.
LCP	SURFACE MOUNTED LIGHTING CONTROL RELAY PANEL. REFER TO DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
TC	ASTRONOMICAL DIGITALLY CONTROLLED 4 ZONE LIGHTING CONTROL TIME SWITCH - TORK 'DLC400BP' WITH PHOTOCELL; 'EPCZ' AND TIMED OVERRIDE SWITCH; 'SSA200R-24'. COORDINATE INITIAL PROGRAMMING WITH OWNER. PROVIDE INITIAL PROGRAMMING AS REQUIRED.
C	ELECTRICALLY HELD CONTACTOR. REFER TO WIRING DIAGRAMS FOR ADDITIONAL INFORMATION.

ONE-LINE DIAGRAM SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
HEAVY SOLID LINES	DENOTES NEW (N) OR RELOCATED (R) BUSSING, FEEDER, ETC.	MCP	COMBINATION STARTER AND MOTOR CIRCUIT PROTECTOR. STARTER AND MOTOR CIRCUIT PROTECTOR SIZES AS NOTED.
	AUTOMATIC TRANSFER SWITCH. NUMBER OF POLES AND AMPERAGE RATING AS NOTED OR SCHEDULED.	STARTER	COMBINATION STARTER AND FUSED DISCONNECT SWITCH. STARTER, FUSE, AND SWITCH SIZES AS NOTED.
	DRY TYPE TRANSFORMER. KVA, PHASE, PRIMARY AND SECONDARY RATING AS NOTED OR SCHEDULED.	SWITCH	COMBINATION STARTER AND FUSED DISCONNECT SWITCH. STARTER, FUSE, AND SWITCH SIZES AS NOTED.
NAME	PANELBOARD, DESIGNATION AS NOTED. SEE PANELBOARD SCHEDULES FOR ADDITIONAL INFORMATION.	FUSE	THREE PHASE GENERATOR. SIZE AS NOTED OR SCHEDULED.
TRIP FRAME	MOLDED CASE CIRCUIT BREAKER. FRAME AND TRIP SIZES AS NOTED.	STARTER	THREE PHASE MOTOR. HORSEPOWER AS NOTED OR SCHEDULED. "XX" INDICATES MOTOR DESIGNATION.
TRIP FRAME ST	MOLDED CASE CIRCUIT BREAKER WITH SHUNT TRIP OPERATOR. FRAME AND TRIP SIZES AS NOTED.	G	SPACE IN CIRCUIT BREAKER OR FUSED SWITCH DISTRIBUTION PANELBOARD. FRAME SIZE AS NOTED.
SWITCH FUSE	LOW VOLTAGE FUSED DISCONNECT SWITCH. FUSE AND DISCONNECT SWITCH SIZES AS NOTED.	M	DELTA TO WYE CONNECTED WIRING
SWITCH	LOW VOLTAGE DISCONNECT SWITCH. DISCONNECT SWITCH SIZE AS NOTED.	Δ	CONTROL POWER TRANSFORMER (CPT) OR POTENTIAL TRANSFORMER (PT).
FUSE	LOW VOLTAGE FUSE. SIZE AS NOTED.	C	CURRENT TRANSFORMER. SIZE AS REQUIRED.
XX	SPECIALTY EQUIPMENT/DEVICES. "XX" STANDS FOR THE FOLLOWING: SPD SURGE PROTECTIVE DEVICE. GFP GROUND FAULT PROTECTION. C CONTACTOR. M METERING. EPO EMERGENCY POWER OFF PUSHBUTTON. VFD VARIABLE FREQUENCY DRIVE PROVIDED BY DIVISION 23. EC ELEVATOR CONTROLLER PROVIDED BY DIVISION 14.	N	NEUTRAL BUS TO GROUND BUS BONDING.
□	HAND/OFF/AUTO SWITCH.	FUSE	MEDIUM VOLTAGE FUSED DISCONNECT SWITCH. FUSE SIZE AS NOTED.
###	FEEDER DESIGNATION. REFER TO FEEDER SCHEDULE(S) FOR FEEDER SIZE.	FUSE	MEDIUM VOLTAGE FUSE. SIZE AS NOTED.
		SWITCH	LOW VOLTAGE BOLTED PRESSURE FUSED SWITCH. FUSE AND DISCONNECT SWITCH SIZES AS NOTED.

-All Sheet List

Sheet Number	Sheet Name
E001	ELECTRICAL SYMBOL LEGEND AND NOTES
E002	ELECTRICAL SYMBOL LEGEND AND NOTES
E100	SITE LIGHTING PLAN
E100A	SITE LIGHTING CALCULATION PLAN
E101	LOOP ROAD ELECTRICAL LIGHTING PLAN
E101A	LOOP ROAD LIGHTING CALCULATION PLAN
E102	ELECTRICAL SPORTS LIGHTING PLAN
E103	PAVILION LIGHTING PLAN
E200	OVERALL SITE POWER PLAN
E201	ENLARGED SITE POWER PLAN
E202	PAVILION POWER PLAN
E501	TYPICAL LIGHTING CONTROL DETAILS
E502	SITE LIGHTING DETAILS AND DIAGRAMS
E503	SPORTS FIELD LIGHTING DETAILS
E511	POWER DETAILS AND DIAGRAMS
E512	SITE POWER DETAILS
E521	ELECTRICAL GROUNDING RISER AND DETAILS
E601	ELECTRICAL ONE LINE DIAGRAM
E701	ELECTRICAL SCHEDULES
E711	ELECTRICAL PANEL SCHEDULES

OUTLET SYMBOL LEGEND

SYMBOL	DESCRIPTION
+XX / ZZ##	DUPLEX RECEPTACLE, 20 AMPERE, 125 VOLT, 2 POLE, 3 WIRE GROUNDING TYPE, NEMA 5-20R, MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED. "XX" INDICATES MOUNTING HEIGHT OTHER THAN 18". "ZZ##" INDICATES BRANCH CIRCUITING.
+XX / ZZ##	DOUBLE DUPLEX (QUAD) RECEPTACLE, 20 AMPERE, 125 VOLT, 2 POLE, 3 WIRE GROUNDING TYPE, NEMA 5-20R, MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED. REFER TO ABOVE FOR MOUNTING HEIGHT AND CIRCUITING INFORMATION.
+XX / ZZ##	SINGLE RECEPTACLE, 20 AMPERE, 125 VOLT, 2 POLE, 3 WIRE GROUNDING TYPE, NEMA 5-20R, MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED. REFER TO ABOVE FOR MOUNTING HEIGHT AND CIRCUITING INFORMATION.
+XX / ZZ##	SPECIAL PURPOSE RECEPTACLE. REFER TO ABOVE FOR MOUNTING HEIGHT AND CIRCUITING INFORMATION. "X" INDICATES THE FOLLOWING: A XX VOLT, X POLE, X WIRE, XX AMP (NEMA X-XXR) COORDINATE EXACT NEMA CONFIGURATION WITH EQUIPMENT PRIOR TO ROUGH-IN.
ZZ##	CEILING MOUNTED DUPLEX RECEPTACLE, 20 AMPERE, 125 VOLT, 2 POLE, 3 WIRE GROUNDING TYPE, NEMA 5-20R. REFER TO ABOVE FOR CIRCUITING INFORMATION.
ZZ## X	FLOOR MOUNTED RECEPTACLE, 20 AMPERE, 125 VOLT, 2 POLE, 3 WIRE GROUNDING TYPE, NEMA 5-20R. REFER TO ABOVE FOR CIRCUITING INFORMATION. "X" INDICATES THE FOLLOWING: A1 SINGLE GANG WITH SINGLE DUPLEX. SEE DETAIL FOR ADDITIONAL INFORMATION. A2 2-GANG WITH DOUBLE DUPLEX. SEE DETAIL FOR ADDITIONAL INFORMATION. B 2-GANG FLOOR BOX WITH ONE DUPLEX RECEPTACLE AND SINGLE GANG FOR TELECOM. SEE DETAIL FOR ADDITIONAL INFORMATION. C 3-GANG FLOOR BOX WITH ONE DUPLEX RECEPTACLE AND 2-GANGS FOR TELECOM. SEE DETAIL FOR ADDITIONAL INFORMATION. D 6-GANG FLOOR BOX WITH TWO DUPLEX RECEPTACLES AND 4-GANGS FOR TELECOM AND/OR AUDIO-VISUAL. SEE DETAIL FOR ADDITIONAL INFORMATION. E FIRE RATED POKE-THROUGH. SEE DETAIL FOR ADDITIONAL INFORMATION.
ZZ## X	FLOOR BOX OR POKE-THROUGH POWER AND TELECOM DEVICE. REFER TO ABOVE FOR CIRCUITING INFORMATION. "X" INDICATES THE FOLLOWING: B 2-GANG FLOOR BOX WITH ONE DUPLEX RECEPTACLE AND SINGLE GANG FOR TELECOM. SEE DETAIL FOR ADDITIONAL INFORMATION. C 3-GANG FLOOR BOX WITH ONE DUPLEX RECEPTACLE AND 2-GANGS FOR TELECOM. SEE DETAIL FOR ADDITIONAL INFORMATION. D 6-GANG FLOOR BOX WITH TWO DUPLEX RECEPTACLES AND 4-GANGS FOR TELECOM AND/OR AUDIO-VISUAL. SEE DETAIL FOR ADDITIONAL INFORMATION. E FIRE RATED POKE-THROUGH. SEE DETAIL FOR ADDITIONAL INFORMATION.
ZZ## X	DEVICE MOUNTED 8" ABOVE COUNTER. REFER TO ABOVE FOR TYPE AND CIRCUITING INFORMATION.
ZZ## X	JOB SPECIFIC OPTION. REFER TO ABOVE FOR TYPE AND CIRCUITING INFORMATION.
	RECEPTACLES WITH ADDITIONAL SUBSCRIPT DESIGNATES TYPE OR SPECIFIC REQUIREMENTS AS FOLLOWS: G GROUND FAULT CIRCUIT INTERRUPTER TYPE. AC DEVICE MOUNTED 8" ABOVE COUNTER. AV DEVICE MOUNTED ADJACENT TO TELECOMMUNICATION DEVICE. EWC ELECTRIC WATER COOLER (EGCI TYPE, COORDINATE WITH WATER COOLER). E CIRCUITED TO EMERGENCY POWER. IG ISOLATED GROUND. TR TAMPER RESISTANT TYPE. WP WEATHERPROOF "WHILE-IN-USE" (HUBBELL #WP26E) COVER.
⊙	JUNCTION BOX (SIZED AS REQUIRED PER N.E.C. ARTICLE 314).
⊙	FRACTIONAL HORSEPOWER MOTOR STARTER - 120 VOLT, 20 AMP, 1 POLE, PILOT LIGHT, UNLESS OTHERWISE NOTED.

POWER & EQUIPMENT SYMBOL LEGEND

SYMBOL	DESCRIPTION
HALF-TONE LINES	DENOTES BACKGROUND OR EXISTING TO REMAIN (E).
THIN SOLID LINES	DENOTES DEVICES, EQUIPMENT, ETC. EXISTING TO REMAIN (E).
HEAVY SOLID LINES	DENOTES NEW (N) OR RELOCATED (R) DEVICES, EQUIPMENT, ETC.
DASHED LINES	DENOTES DEVICES, EQUIPMENT, ETC. TO BE DISCONNECTED AND REMOVED (D&R).
HEAVY PHANTOM LINES	DENOTES NEW (N) OR RELOCATED (R) CONDUIT, EQUIPMENT, ETC. UNDERGROUND OR BELOW GRADE.
○ — ● — ○	BRANCH CKT TURNING UP, BRANCH CKT TURNING DOWN, BRANCH CKT TURNING UP AND DOWN.
UE / UT	UNDERGROUND, UNDER FLOOR/SLAB DUCT/BANK, DIRECT BURIED CABLE, CONDUIT/CONDUCTOR: UE = TELECOM, UT = ELECTRICAL
H / N	HOME RUN. HASH MARKS INDICATE CONDUCTOR QUANTITY. HASH MARKS DEFINED AS SHOWN. "H" INDICATES SIZE OF CONDUCTORS OTHER THAN 12-AWG. ALL UNMARKED HOMERUNS SHALL CONTAIN (2) #12 AWG & (1) #12 AWG GND IN 3/4" CONDUIT, UNLESS OTHERWISE NOTED.
ZZZ / #, #, #	BRANCH CIRCUITING. "ZZZ" INDICATES PANEL DESIGNATION. "#, #, #" INDICATES CIRCUIT NUMBER(S).
	480Y/277 VOLT, 3-PHASE, 4-WIRE ELECTRICAL DISTRIBUTION TYPE PANELBOARD.
	208Y/120 VOLT, 3-PHASE, 4-WIRE ELECTRICAL DISTRIBUTION TYPE PANELBOARD.
	480Y/277 VOLT, 3-PHASE, 4-WIRE, SURFACE MOUNTED ELECTRICAL PANELBOARD.
	208Y/120 VOLT, 3-PHASE, 4-WIRE, SURFACE MOUNTED ELECTRICAL PANELBOARD.
	DRY-TYPE DISTRIBUTION TRANSFORMER.
AS WP	NON-FUSED DISCONNECT SWITCH. "AS" INDICATES SWITCH SIZE. "WP" INDICATES WEATHERPROOF (NEMA 3R) ENCLOSURE.
AF AS WP	FUSED DISCONNECT SWITCH. "AF" INDICATES FUSE SIZE. "AS" INDICATES SWITCH SIZE. "WP" INDICATES WEATHERPROOF (NEMA 3R) ENCLOSURE.
AT AS WP	FUSED CIRCUIT BREAKER SWITCH. "AT" INDICATES CIRCUIT BREAKER TRIP RATING. "AF" INDICATES FRAME SIZE. "WP" INDICATES WEATHERPROOF (NEMA 3R) ENCLOSURE.
# WP	MAGNETIC MOTOR STARTER MOUNTED IN A NEMA ENCLOSURE. "F" INDICATES STARTER SIZE. "WP" INDICATES WEATHERPROOF (NEMA 3R) ENCLOSURE.
AF AS # WP	COMBINATION STARTER & FUSED DISCONNECT SWITCH. "F" INDICATES STARTER SIZE. "AF" INDICATES FUSE SIZE. "AS" INDICATES SWITCH SIZE. "WP" INDICATES WEATHERPROOF (NEMA 3R) ENCLOSURE.
# WP	COMBINATION VFD STARTER AND DISCONNECT SWITCH. "F" INDICATES STARTER SIZE. "WP" INDICATES WEATHERPROOF (NEMA 3R) ENCLOSURE.

SEAL

Sheet Number

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ATHLETIC COMPLEX

PROJECT NAME
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PROJECT NO. J20211036.000

Date: 01/31/2023

Issued for: GMF 3

REVISIONS

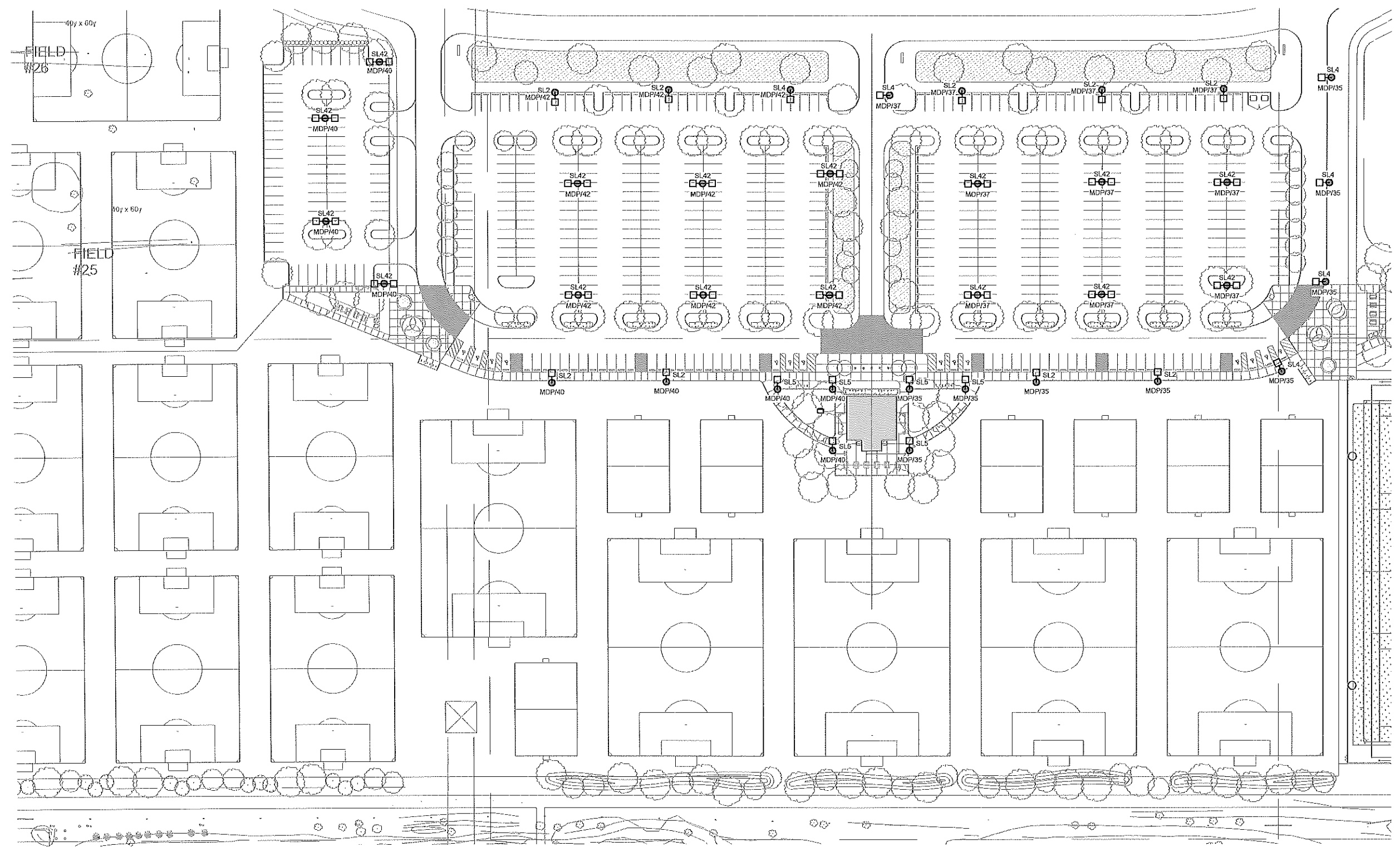
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SITE LIGHTING PLAN

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E100
 Sheet Number

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1 SITE LIGHTING PLAN
 SCALE: 1" = 50'-0"

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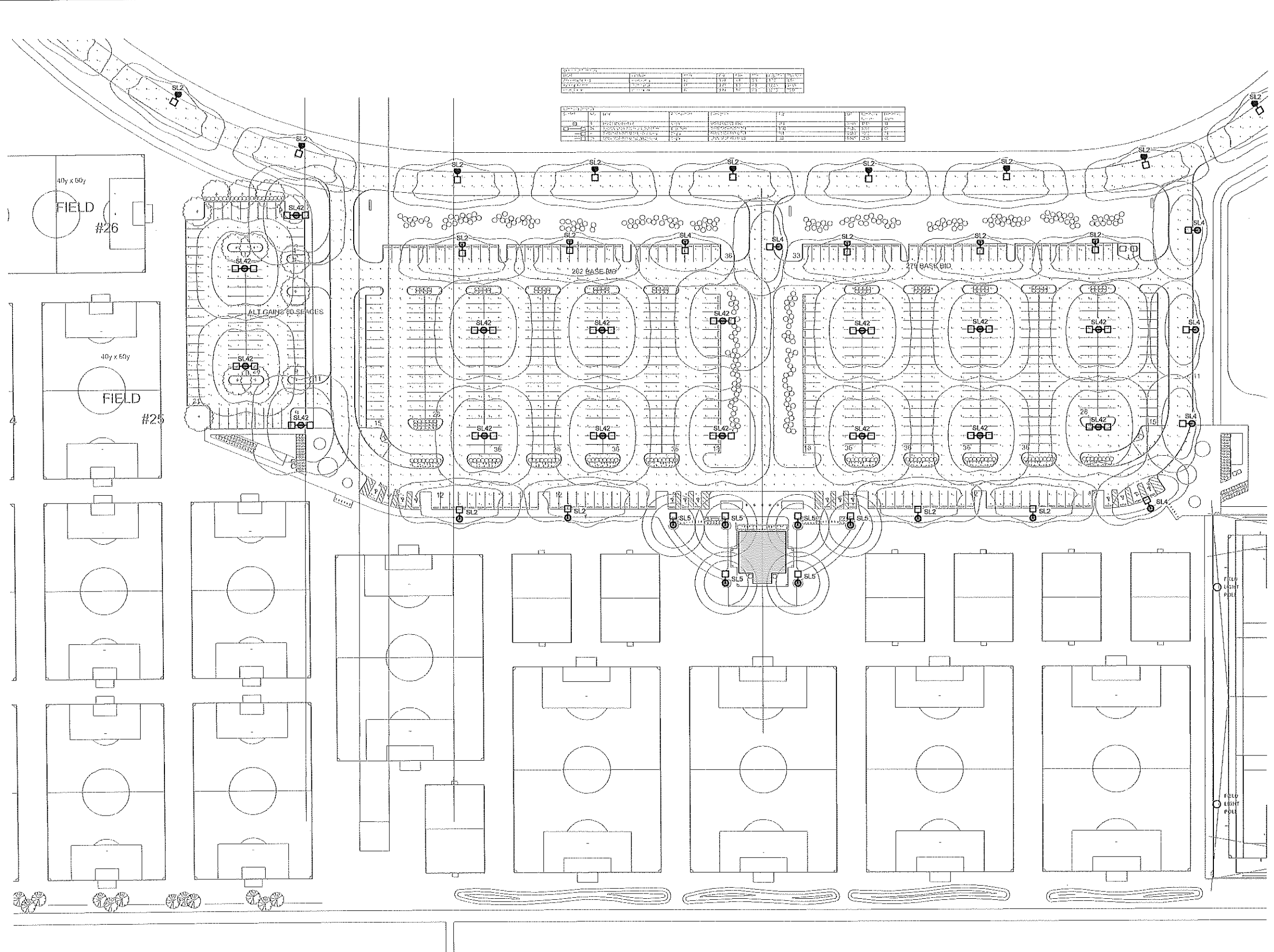
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SITE LIGHTING CALCULATION PLAN

PRELIMINARY
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Sheet Number
E100A



1 SITE LIGHTING CALCULATION PLAN
 SCALE: 1" = 50'-0"

SEAL

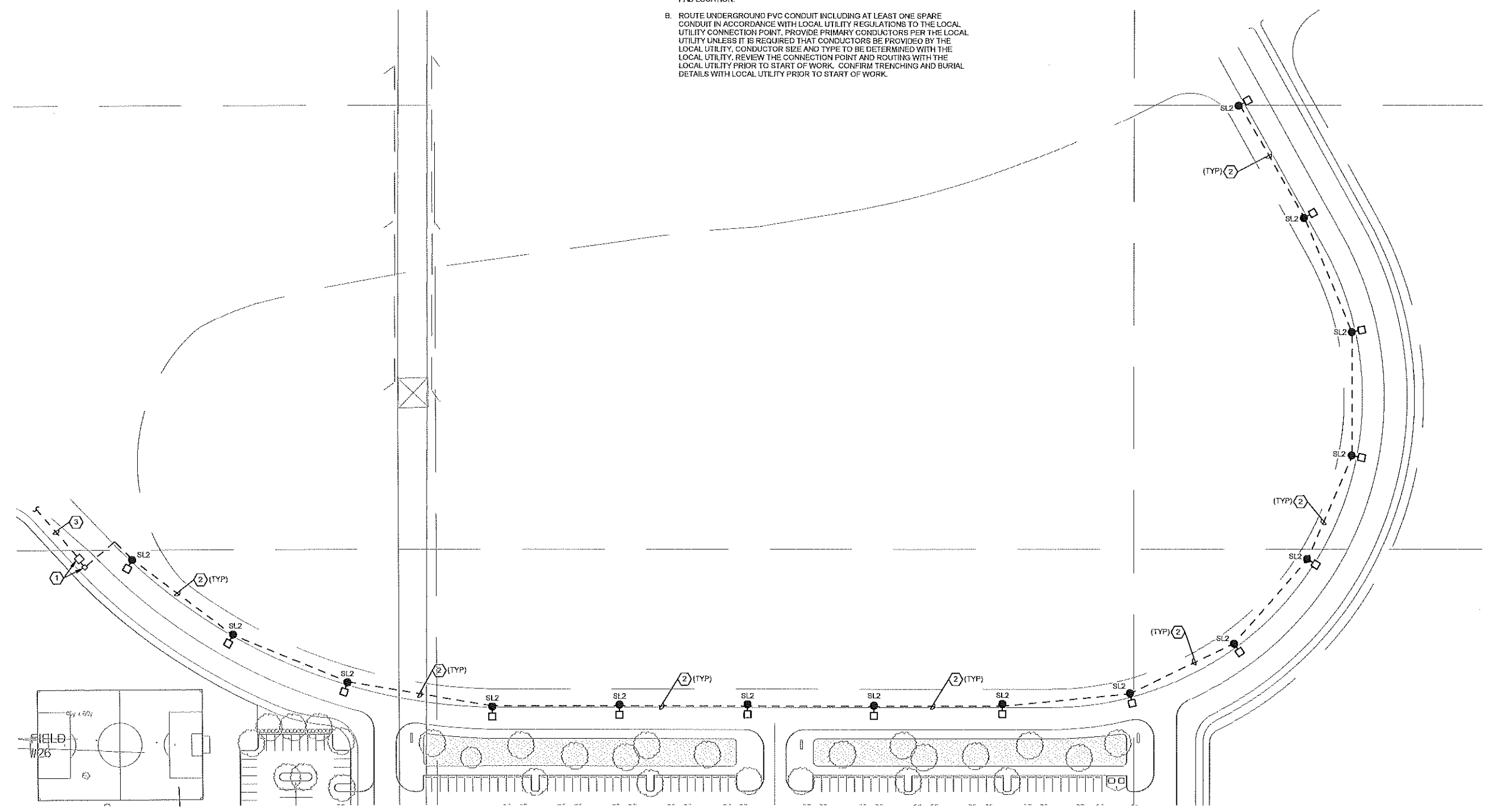
Sheet Number

SITE ELECTRICAL SHEET GENERAL NOTES:

1. ROCK AND/OR ADVERSE SOIL CONDITIONS MAY BE PRESENT ON SITE. THE ELECTRICAL CONTRACTOR SHALL COORDINATE INSTALLATION REQUIREMENTS FOR ALL BELOW GRADE WORK WITH GEOTECHNICAL REPORT, AND SHALL INCLUDE IN HIS BID ANY WORK RELATED TO GEOTECHNICAL CONSIDERATIONS AS IT MAY PERTAIN TO THE INSTALLATION OF ALL SITE ELECTRICAL WORK INCLUDING, BUT NOT LIMITED TO, DUCTBANKS, FOUNDATIONS, FOOTERS, CONCRETE SLABS AND PADS, VAULTS, DIRECT BURIED CABLES OR CONDUITS, SITE LIGHTING POLE BASES, ETC.
2. COORDINATE EXACT LOCATION OF ALL UNDERGROUND ELECTRICAL WORK WITH CIVIL ENGINEERING DRAWINGS AND DOCUMENTS, ALL OTHER SITE UTILITIES, AND SITE CONTRACTOR.
3. ALL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 OR SCHEDULE 80. REFER TO DWG. SERIES E-500'S FOR TYPICAL DIRECT BURIED CONDUIT SECTION.
4. GROUND RODS SHALL BE DRIVEN VERTICALLY. IF ROCK IS ENCOUNTERED, THEN GROUND RODS MAY BE DRIVEN AT A DIAGONAL BUT IN NO CASE SHALL GROUND RODS BE LESS THAN 10'-0" LONG.
5. THE ELECTRICAL CONTRACTOR SHALL INCLUDE IN HIS BID, ALL ELECTRIC UTILITY COMPANY CHARGES FOR PROVIDING SERVICE TO THE BUILDING; INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: TRANSFORMERS, CONCRETE PADS/VAULTS, CABLES, DUCTS, TRENCHING, BACKFILL, CONCRETE ENGASEMENT, METERING, GROUNDING, ALL ANCILLARY EQUIPMENT AND DEVICES, ETC., AND ASSOCIATED LABOR FOR A COMPLETE INSTALLATION PER N.E.C. AND ELECTRIC UTILITY COMPANY REQUIREMENTS. ANY LOCAL UTILITY COMPANY CHARGES FOR PROVISION OF ELECTRICAL SERVICE SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BASE PRICE. AS A MINIMUM, THE INSTALLATION SHALL MEET THE SERVICE AND INSTALLATION REGULATIONS OF THE LOCAL UTILITY.
- A. CONTACT UTILITY COMPANY (AEP) REPRESENTATIVE FOR ALL SERVICE REQUIREMENTS, SPECIFICATIONS, AND EXACT TRANSFORMER AND PAD LOCATION.
- B. ROUTE UNDERGROUND PVC CONDUIT INCLUDING AT LEAST ONE SPARE CONDUIT IN ACCORDANCE WITH LOCAL UTILITY REGULATIONS TO THE LOCAL UTILITY CONNECTION POINT. PROVIDE PRIMARY CONDUCTORS PER THE LOCAL UTILITY UNLESS IT IS REQUIRED THAT CONDUCTORS BE PROVIDED BY THE LOCAL UTILITY. CONDUCTOR SIZE AND TYPE TO BE DETERMINED WITH THE LOCAL UTILITY. REVIEW THE CONNECTION POINT AND ROUTING WITH THE LOCAL UTILITY PRIOR TO START OF WORK. CONFIRM TRENCHING AND BURIAL DETAILS WITH LOCAL UTILITY PRIOR TO START OF WORK.

SHEET KEY NOTES:

1. UTILITY PROVIDED PAD MOUNT MV PRIMARY 480V/3PHASE SECONDARY TRANSFORMER FOR LOOP ROAD STREET LIGHTING. ROUTE SECONDARY WIRING THROUGH 480V, 3PH, 100A RATED PAD MOUNTED METER PEDESTAL WITH PADLOCKABLE DISCONNECT. COORDINATE ALL WORK WITH UTILITY AND CITY OF HILLIARD PRIOR TO BEGINNING WORK.
2. PROVIDE (4) #10, #10 EG IN 1-1/4" TO LOOP ROAD POLE LIGHTS. TAP OFF ALTERNATING PHASES TO PROVIDE 277V, SINGLE PHASE CONNECTION TO POLE LIGHTS. COORDINATE REQUIREMENTS WITH CITY OF HILLIARD PRIOR TO BEGINNING WORK.
3. PROVIDE (2) 5" CONDUITS FROM UTILITY POLE TO NEW PAD-MOUNT TRANSFORMER. EXACT LOCATION OF UTILITY POLE TO BE VERIFIED.
- C. PROVIDE A TRANSFORMER PAD AND/OR VAULT OF THE PROPER SIZE AND MATERIAL TO MEET TO SERVICE AND INSTALLATION REGULATIONS OF THE LOCAL UTILITY. COORDINATE THE TRANSFORMER LOCATION WITH THE LOCAL UTILITY PRIOR TO START OF WORK. PROVIDE A GROUND LOOP AND GROUNDING RODS AS REQUIRED TO MEET THE SERVICE AND INSTALLATION REGULATIONS OF THE LOCAL UTILITY. ALL GROUNDING CONNECTIONS SHALL BE MADE USING AN EXOTHERMIC WELD PROCESS.
- D. PROVIDE TRENCHING FOR PRIMARY CABLES, BACKFILL, SAND & CONDUITS FROM EXISTING POWER COMPANY PRIMARY POLE TO TRANSFORMER. CONDUITS SHALL BE RUN VERTICAL UP POLE TO A HEIGHT AS DETERMINED BY THE UTILITY COMPANY. ALL PRIMARY CABLE & TERMINATIONS SHALL BE PROVIDED BY THE UTILITY COMPANY. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONCRETE WORK, TRENCHING, BACKFILL, ASPHALT PATCHING AND RESEEDING AS PART OF THIS CONTRACT.
- E. PROVIDE ALL SECONDARY SERVICE ENTRANCE TRENCHING, BACKFILL, CONCRETE DUCT BANK, CABLE AND TERMINATIONS FROM UTILITY TRANSFORMER TO SERVICE ENTRANCE EQUIPMENT.
- F. PROVIDE ALL TRANSFORMER SECONDARY CABLE, CABLE LUGS, CONDUIT & DUCTS/BANK AND MAKE ALL FINAL SECONDARY TERMINATIONS. UTILITY COMPANY SHALL MAKE ALL PRIMARY CONNECTIONS.
- G. THE UTILITY COMPANY GROUNDING SYSTEM SHALL BE TESTED. THE MAXIMUM ALLOWABLE IMPEDANCE SHALL BE 25 OHMS TO GROUND. ADDITIONAL GROUND RODS SHALL BE PROVIDED, IF REQUIRED, TO ACHIEVE THIS LEVEL.



1 LOOP ROAD ELECTRICAL/LIGHTING PLAN
SCALE: 1" = 60'-0"

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CITY OF HILLIARD
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HILLIARD, OHIO 43026

PROJECT NO. J20211936.000
Date: 01/31/2023
Issued for: GMP 3

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Sheet Title: **LOOP ROAD ELECTRICAL/LIGHTING PLAN**

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet Number: **E101**

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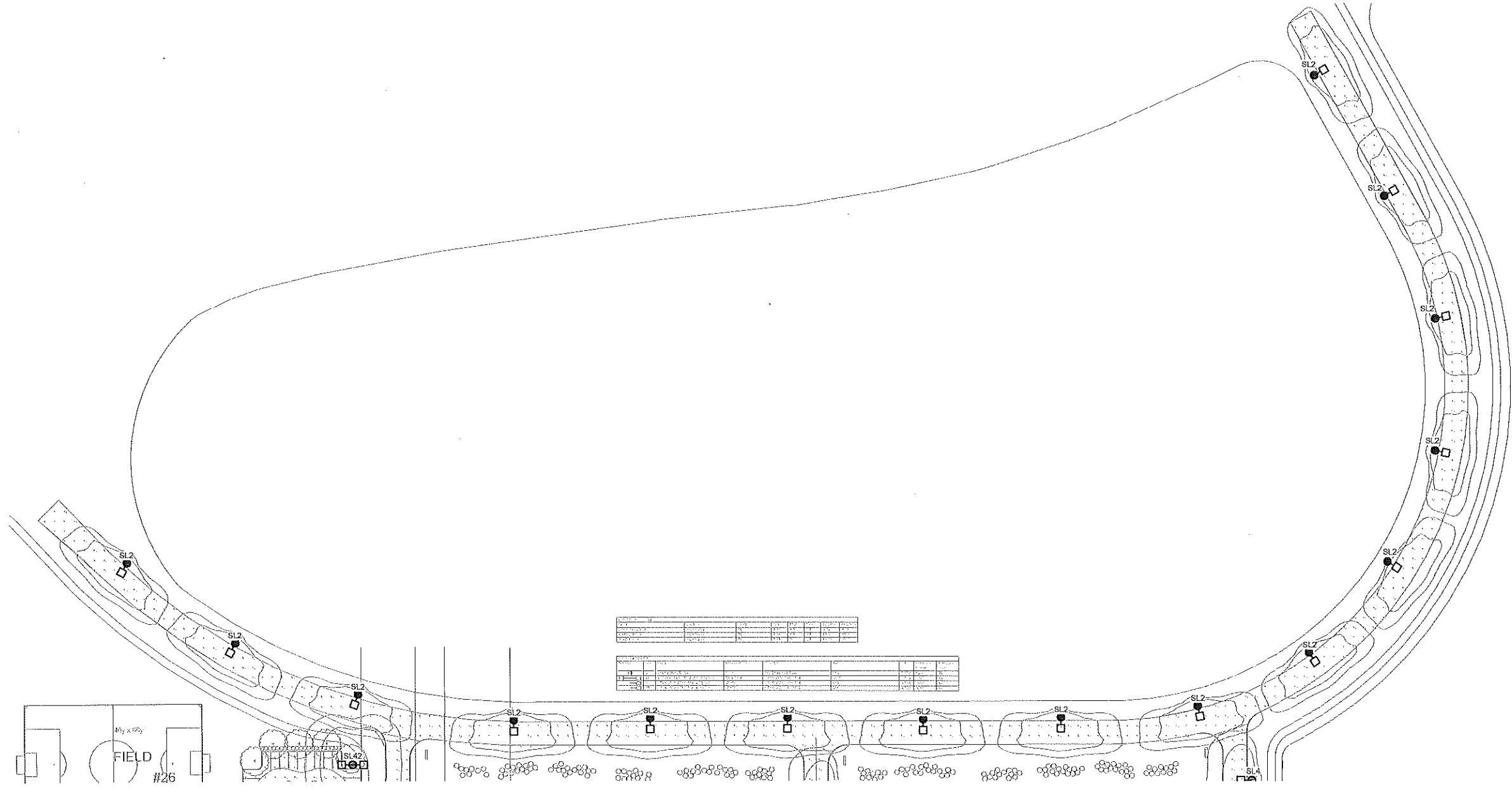
Sheet Title

LOOP ROAD LIGHTING CALCULATION PLAN

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet Number
E101A

SEAL



NO.	DESCRIPTION	DATE

NO.	DESCRIPTION	DATE

1 LOOP ROAD LIGHTING CALCULATION PLAN
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ELECTRICAL/SPORTS LIGHTING PLAN

PRELIMINARY
 NOT FOR CONSTRUCTION

E102

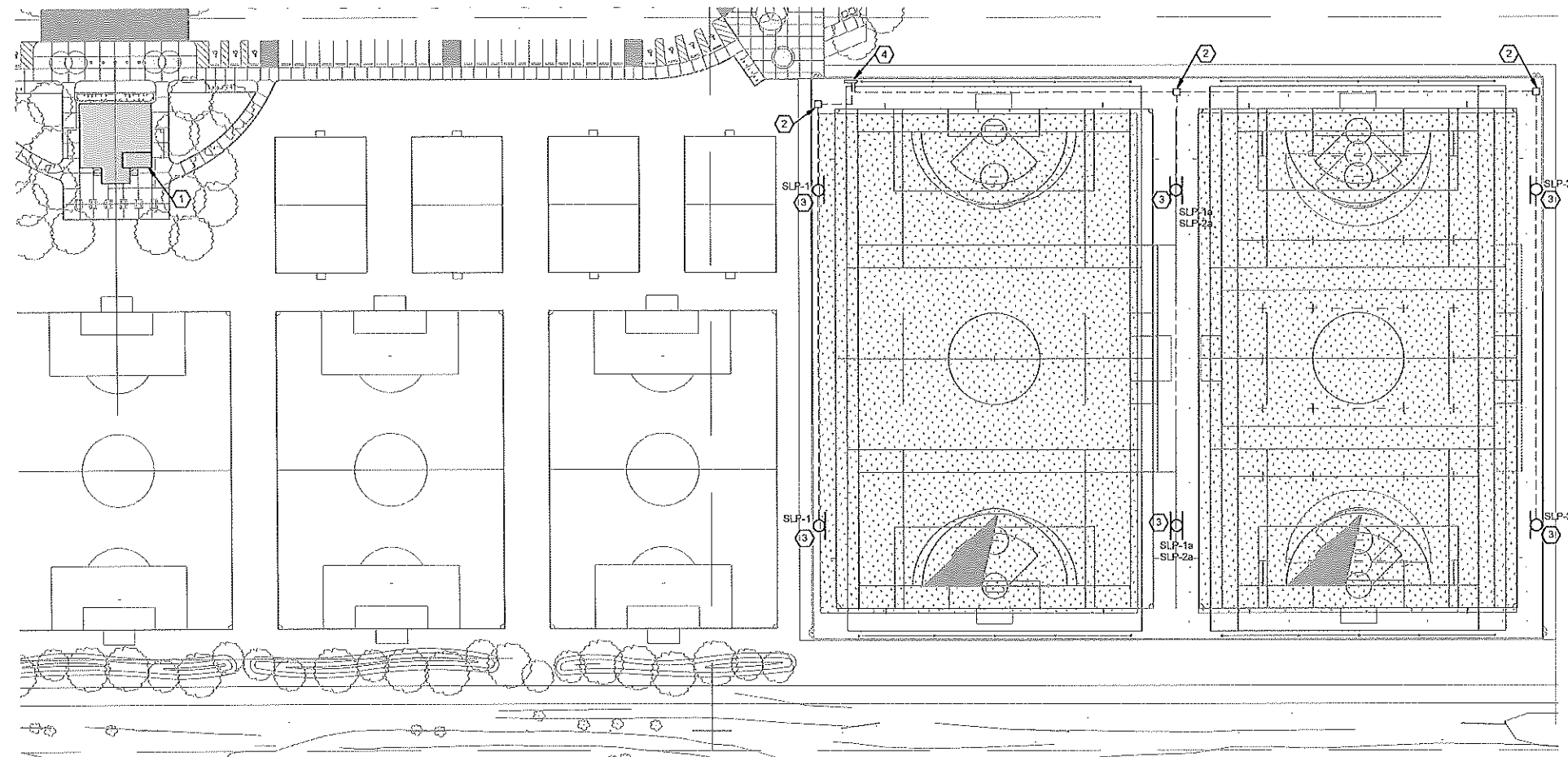
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 - COORDINATE EXACT LOCATION OF ALL UNDERGROUND ELECTRICAL WORK WITH CIVIL ENGINEERING DRAWINGS AND DOCUMENTS, ALL OTHER SITE UTILITIES, AND SITE CONTRACTOR.
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SHEET KEY NOTES:

- APPROXIMATE LOCATION OF MAIN ELECTRICAL ROOM FOR SITE POWER.
- FURNISH AND INSTALL NEW HAND HOLE 18" WITH COVER. MANUFACTURE: SPORTSFIELD SPECIAL TIES PRODUCTS OR APPROVED EQUAL. COMBO BOX CBTS1630, ALUMINUM 18"X30" BOTTOMLESS, STAINLESS STEEL HEX BOLTS WITH 6" MIN. #8 PEA GRAVEL UNDERNEATH. COVER MARKED 'ELEC'.
- FURNISH AND INSTALL NEW GROUND BOX WITH COVER. MANUFACTURE: SPORTSFIELD SPECIAL TIES PRODUCTS OR APPROVED EQUAL. COMBO BOX CBTS1630, ALUMINUM 18"X30" BOTTOMLESS, STAINLESS STEEL HEX BOLTS WITH 6" MIN. #8 PEA GRAVEL UNDERNEATH. COVER MARKED 'ELEC'. PROVIDE DIVIDERS. FIELD VERIFY EXACT LOCATION. SEE DETAIL #2 ON SHEET E-801.
- APPROXIMATE LOCATION OF SPORTS LIGHTING CONTROLS AND FEEDER PANELBOARD 'MDP-S'. FURNISH AND INSTALL NEMA 3R ENCLOSURES. PROVIDE MISCELLANEOUS STEEL AND HARDWARE TO PROPERLY MOUNT THE CONTROLS.



1 SPORTS FIELD LIGHTING PLAN
 SCALE: 1" = 50'-0"

SEAL

Sheet Number

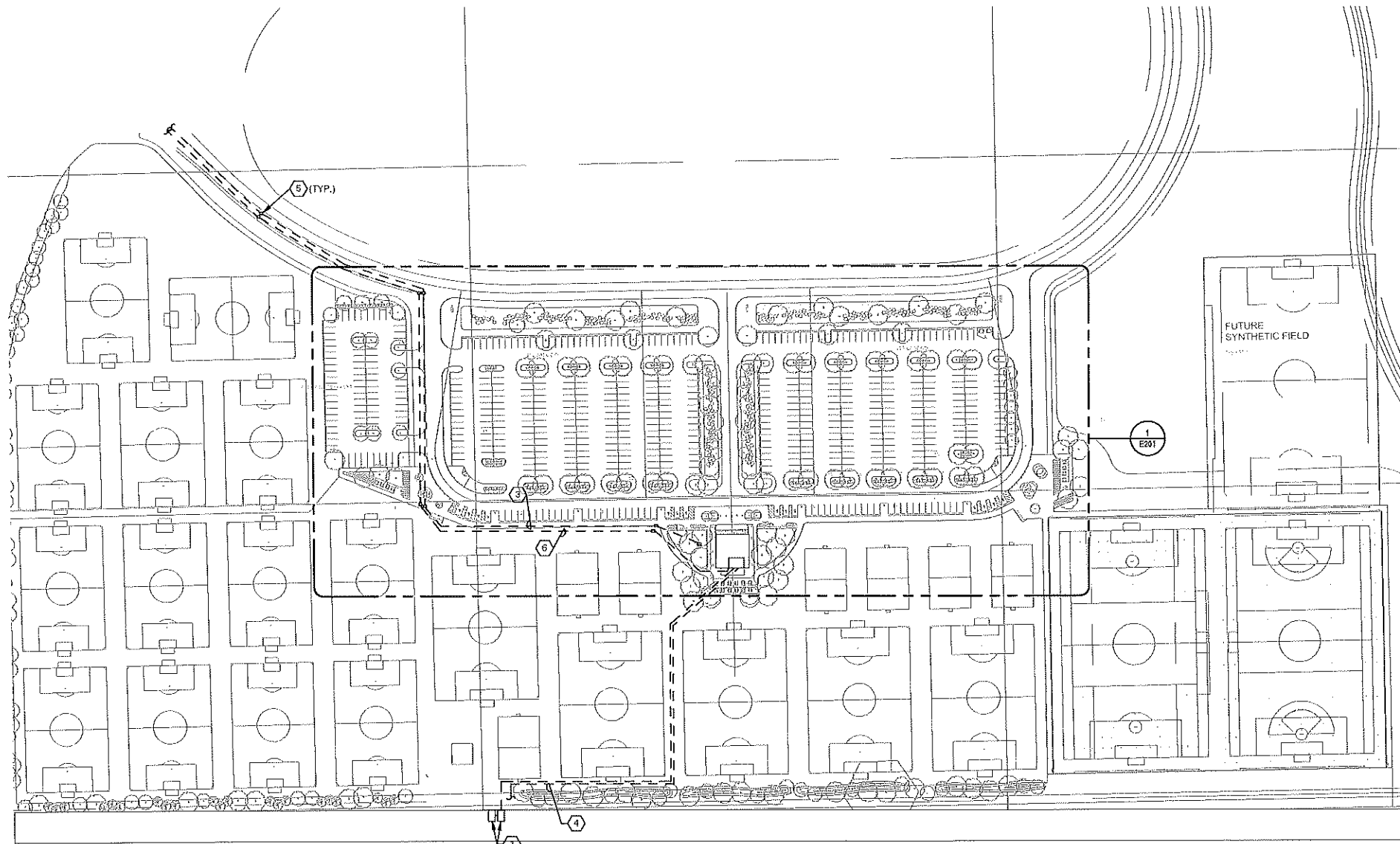
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- F. PROVIDE ALL TRANSFORMER SECONDARY CABLE, CABLE LUGS, CONDUIT & DUCTBANK AND MAKE ALL FINAL SECONDARY TERMINATIONS. UTILITY COMPANY SHALL MAKE ALL PRIMARY CONNECTIONS.
- G. THE UTILITY COMPANY GROUNDING SYSTEM SHALL BE TESTED. THE MAXIMUM ALLOWABLE IMPEDANCE SHALL BE 25 OHMS TO GROUND. ADDITIONAL GROUND RODS SHALL BE PROVIDED, IF REQUIRED, TO ACHIEVE THIS LEVEL.

SHEET KEY NOTES:

1. PROVIDE 120V, 20A POWER TO (2) HOT BOXES. PROVIDE A 5KVA, 480V PRIMARY, 120V SECONDARY TRANSFORMER AND 30A, 2P DISCONNECT SWITCH WITH (2) 20A FUSES IN FIRST HOT BOX, TO FEED BOTH 120V HOT BOX CONNECTIONS. COORDINATE EXACT LOCATION AND CONNECTION REQUIREMENTS WITH CIVIL DRAWINGS AND CONTRACTOR. REFER TO ONE-LINE DIAGRAM ON SHEET E601 FOR MORE INFORMATION.
2. COORDINATE SECONDARY CONDUCTORS WITH PLUMBING, CIVIL, AND OTHER TRADES.
3. PROVIDE (2) 6" CONDUITS FROM UTILITY POLE TO NEW PAD-MOUNT TRANSFORMER. EXACT LOCATION OF UTILITY POLE TO BE VERIFIED. ESTIMATED CONSTRUCTION COST IS \$50K.
4. PROVIDE FEEDER TO LANDSCAPING BOOSTER PUMP. COORDINATE EXACT LOCATION AND CONNECTION REQUIREMENTS WITH CIVIL DRAWINGS AND EQUIPMENT SUPPLIER. REFER TO ONE-LINE DIAGRAM ON SHEET E601 FOR MORE INFORMATION.
5. PROVIDE PULLBOX/HANDHOLE, SIZED PER NEC, EVERY 300 FT OF PRIMARY RUN, OR AT EVERY CONDUIT BEND. COORDINATE EXACT REQUIREMENTS WITH AEP AND TELECOM PROVIDER.
6. PROVIDE (1) 4" CONDUIT WITH PULLSTRING FROM TELECOM CONNECTION POINT TO PAVILION IT ROOM. COORDINATE EXACT ROUTING AND CONNECTION POINT WITH CIVIL DRAWING AND TELECOM PROVIDER.



1 OVERALL SITE POWER PLAN
 SCALE: 1" = 100'-0"

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OVERALL SITE POWER PLAN

PRELIMINARY
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E200
 Sheet Number

EDGE PLANNING ARCHITECTURE & INTERIOR DESIGN
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ENLARGED SITE POWER PLAN

Sheet Title

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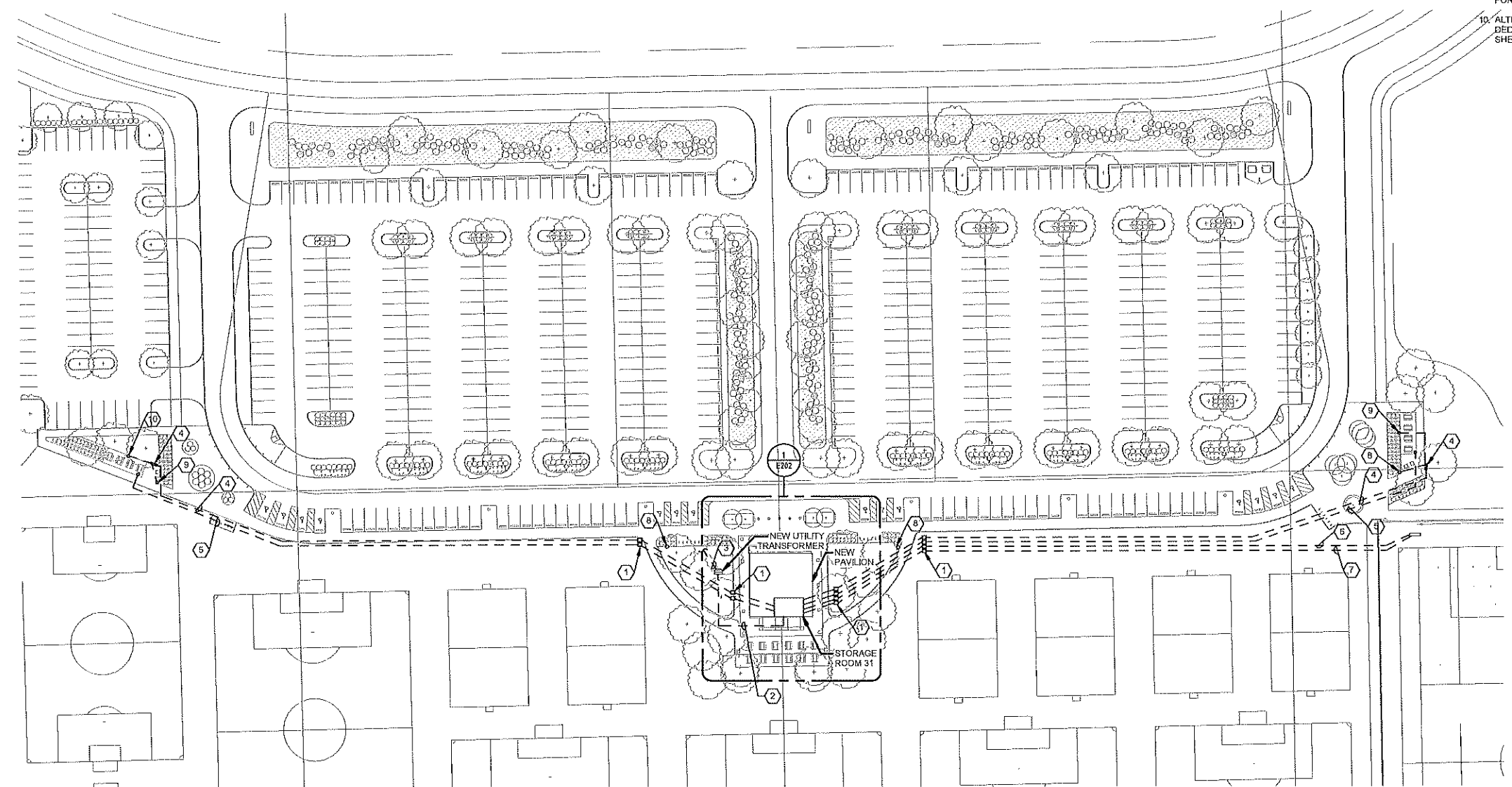
Sheet Number **E201**

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SHEET KEY NOTES:

- PROVIDE PULLBOX/HANDHOLE, SIZED PER NEC, IN LOCATIONS SHOWN. COORDINATE EXACT ROUTING AND LOCATIONS WITH CIVIL DRAWINGS.
- COORDINATE SECONDARY CONDUCTORS WITH PLUMBING, CIVIL, AND OTHER TRADES.
- REFER TO SHEET E200 FOR PROPOSED UTILITY PRIMARY ROUTING.
- PROVIDE POWER TO PAVILIONS. PROVIDE A 5KVA, 480V PRIMARY, 120V SECONDARY TRANSFORMER AND 30A, 5P DISCONNECT SWITCH WITH (3) 20A FUSES TO FEED (3) 120V, 20A CIRCUITS. MOUNT TRANSFORMER AND DISCONNECT SWITCHES ON UNI-STRUT NEAR SHELTER AREA. COORDINATE EXACT CONDUIT ROUTING WITH CIVIL DRAWINGS AND EQUIPMENT LOCATIONS WITH OWNER. REFER TO ONE-LINE DIAGRAM ON SHEET E601 FOR MORE INFORMATION.
- PROVIDE EMPTY 2" CONDUIT WITH PULLSTRING FOR DATA CABLING TO PAVILION BUILDING. BASE-BID: STUB UP NEAR POWER PEDESTAL AND CAP FOR FUTURE USE. ALTERNATE: STUB-UP AT CORNER OF SHELTER. CAP FOR FUTURE USE. COORDINATE STUB-UP LOCATION WITH OWNER AND CIVIL DRAWINGS.
- PROVIDE 480V/3PHASE POWER TO SPORTS FIELD LIGHTING PANEL. REFER TO ONE-LINE DIAGRAM ON SHEET E601 FOR WIRE AND CONDUIT SIZE.
- PROVIDE (2) 2" CONDUITS WITH PULLSTRINGS FROM PAVILION IT ROOM TO SPORTS FIELDS LIGHTING CONTROLS. COORDINATE EXACT STUB-UP LOCATION WITH CIVIL DRAWINGS AND OWNER.
- PROVIDE 2-GANG OUTDOOR POWER PEDESTAL WITH (2) 20A GFCI DUPLEX RECEPTACLES WITH DEDICATED CIRCUITS AND WEATHERPROOF COVER. BASIS OF DESIGN IS LEGRAND XPP2G30C-BK. STUB UP THIRD CIRCUIT NEAR POWER PEDESTAL, CAP FOR FUTURE USE.
- BASE-BID: PROVIDE 2-GANG OUTDOOR POWER PEDESTAL WITH (2) 20A GFCI DUPLEX RECEPTACLES WITH DEDICATED CIRCUITS AND WEATHERPROOF COVER. BASIS OF DESIGN IS LEGRAND XPP2G30C-BK. STUB UP THIRD CIRCUIT NEAR POWER PEDESTAL, CAP FOR FUTURE USE.
- ALTERNATE: PROVIDE (3) GFCIWP RECEPTACLES WITH DEDICATED CIRCUITS MOUNTED ON CENTER POST OF SHELTER.



1 ENLARGED SITE POWER PLAN
 SCALE: 1" = 50'-0"

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ATHLETIC COMPLEX

PROJECT NAME
6371 SCIOTO DARBY ROAD HILLIARD, OH 43026



CLIENT
3800 VETERANS MEMORIAL DRIVE
HILLIARD, OHIO 43026

PROJECT NO. J20211936.000
Date: 01/31/2023
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PAVILION POWER PLAN

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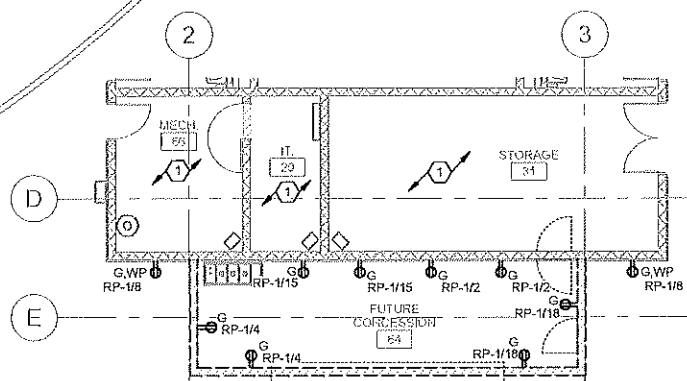
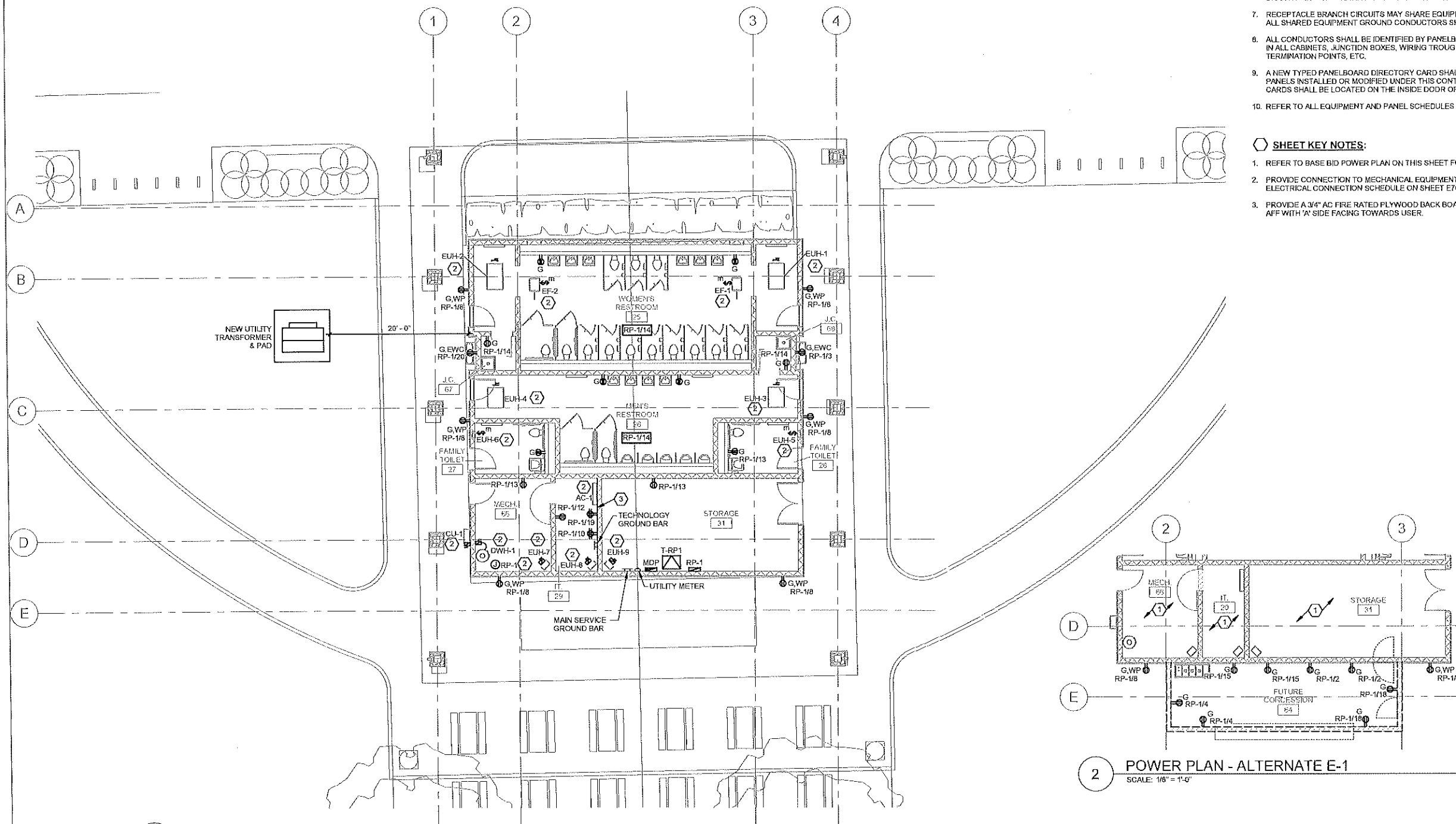
E202
Sheet Number

POWER SHEET GENERAL NOTES:

- EXACT LOCATION OF MECHANICAL, PLUMBING, KITCHEN, FURNITURE SYSTEMS, OWNER FURNISHED EQUIPMENT, ETC. THAT REQUIRE ELECTRICAL CONNECTIONS ARE SHOWN ON THEIR RESPECTIVE DISCIPLINE DRAWINGS. COORDINATE EXACT LOCATIONS WITH RESPECTIVE CONTRACTORS AND/OR VENDORS PRIOR TO ANY ROUGH-INS.
- REVIEW AND COORDINATE WITH ALL TRADES' CONTRACT DOCUMENTS AND CONTRACTORS TO DETERMINE SPECIFIC MOUNTING LOCATIONS FOR EQUIPMENT WITH ELECTRICAL CONNECTIONS. COORDINATE EXACT MOUNTING LOCATIONS WITH THE SPECIFIC TRADE.
- MINIMUM CONDUCTOR SIZE FOR 277 VOLT BRANCH CIRCUITING SHALL BE #12AWG. FOR 277 VOLT BRANCH CIRCUITS WITH HOMERUNS OVER 125 LINEAR FEET A MINIMUM CONDUCTOR SIZE OF #10AWG SHALL BE PROVIDED FROM FIRST JUNCTION BOX TO BRANCH CIRCUIT PANELBOARD. ASSOCIATED EQUIPMENT GROUNDING CONDUCTOR SHALL ALSO BE INCREASED PER N.E.C. ARTICLE 250.122(B) REQUIREMENTS.
- MINIMUM CONDUCTOR SIZE FOR 120 VOLT BRANCH CIRCUITS SHALL BE #12AWG. FOR 120 VOLT BRANCH CIRCUITS WITH HOMERUNS OVER 75 LINEAR FEET, A MINIMUM WIRE SIZE OF #10AWG SHALL BE PROVIDED FROM FIRST JUNCTION BOX TO BRANCH CIRCUIT PANELBOARD. FOR 120 VOLT BRANCH CIRCUITS WITH HOMERUN OVER 150 LINEAR FEET, A MINIMUM WIRE SIZE OF #8AWG SHALL BE PROVIDED FROM FIRST JUNCTION BOX TO BRANCH CIRCUIT PANELBOARD. ASSOCIATED EQUIPMENT GROUNDING CONDUCTOR SHALL ALSO BE INCREASED PER N.E.C. ARTICLE 250.122(B) REQUIREMENTS.
- AT A MINIMUM ALL BRANCH CIRCUITS SHALL CONTAIN 2#12AWG, #12 EG, 3/4" CONDUIT UNLESS OTHERWISE INDICATED.
- ALL BRANCH CIRCUITS SHALL BE RUN WITH AN INDIVIDUAL NEUTRAL WIRE. BRANCH CIRCUITS SHALL NOT SHARE NEUTRAL WIRES.
- RECEPTACLE BRANCH CIRCUITS MAY SHARE EQUIPMENT GROUND CONDUCTORS. ALL SHARED EQUIPMENT GROUND CONDUCTORS SHALL BE #10 AWG MINIMUM.
- ALL CONDUCTORS SHALL BE IDENTIFIED BY PANELBOARD AND CIRCUIT NUMBER(S) IN ALL CABINETS, JUNCTION BOXES, WIRING TROUGHES, ENCLOSURES, SPLICE OR TERMINATION POINTS, ETC.
- A NEW TYPED PANELBOARD DIRECTORY CARD SHALL BE PROVIDED FOR ALL PANELS INSTALLED OR MODIFIED UNDER THIS CONTRACT. NEW DIRECTORY CARDS SHALL BE LOCATED ON THE INSIDE DODR OF ASSOCIATED PANELS.
- REFER TO ALL EQUIPMENT AND PANEL SCHEDULES FOR ADDITIONAL INFORMATION.

SHEET KEY NOTES:

- REFER TO BASE BID POWER PLAN ON THIS SHEET FOR POWER PLAN IN THIS AREA.
- PROVIDE CONNECTION TO MECHANICAL EQUIPMENT. REFER TO EQUIPMENT ELECTRICAL CONNECTION SCHEDULE ON SHEET E701 FOR MORE INFORMATION.
- PROVIDE A 3/4" AC FFE RATED PLYWOOD BACK BOARD. MOUNT BACKBOARD 6" AFF WITH 'A' SIDE FACING TOWARDS USER.



2 POWER PLAN - ALTERNATE E-1
SCALE: 1/8" = 1'-0"

1 POWER PLAN
SCALE: 1/8" = 1'-0"

SEAL

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ATHLETIC COMPLEX

6371 SCIOTO DARBY ROAD HILLIARD, OH 43026



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TYPICAL LIGHTING CONTROL DETAILS

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Sheet Title
Sheet Number
E501

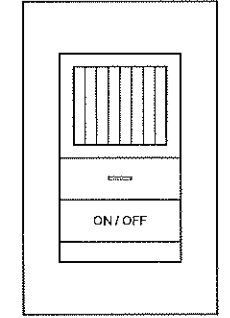
LIGHTING CONTROL DETAIL WIRING LEGEND:

- LINE VOLTAGE - 120V OR 277V
- 0-10V CONTROL - CLASS 2
- - - - - LOW VOLTAGE - CAT. 5e (OR MANUFACTURER REQUIRED CABLING). REFER TO NOTES #7 AND #8.

LIGHTING CONTROL DETAIL NOTES:

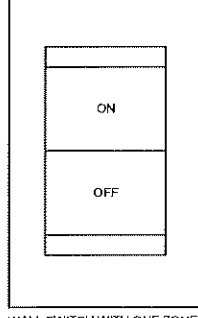
1. ELECTRICAL CONTRACTOR SHALL PROVIDE AT A MINIMUM ONE (1) 4-HOUR TRAINING SESSION FOR LIGHTING CONTROL SYSTEM TRAINING AT THE OWNER'S SITE. PROVIDE ONE (1) ADDITIONAL TRAINING SESSION AT OWNER'S REQUEST.
2. ELECTRICAL CONTRACTOR SHALL HIRE A COMMISSIONING AGENT TO PERFORM FUNCTIONAL TESTING OF THE LIGHTING CONTROL DEVICES AND SYSTEM(S). THE AGENT PERFORMING THE TESTING SHALL BE A PARTY NOT DIRECTLY INVOLVED IN THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE RESPONSIBILITIES OF THE COMMISSIONING AGENT INCLUDE CONFIRMING THAT PLACEMENT, SENSITIVITY, AND TIME-OUT SETTINGS OF OCCUPANCY SENSORS YIELD ACCEPTABLE PERFORMANCE, CONFIRMING THAT TIME SWITCH AND PROGRAMMABLE SCHEDULES HAVE BEEN PROGRAMMED TO TURN LIGHTS OFF, AND CONFIRMING THAT PHOTOSENSOR CONTROLS REDUCE LIGHT LEVELS BASED ON THE AMOUNT OF USABLE DAYLIGHT IN THE SPACE. THE AGENT SHALL PROVIDE DOCUMENTATION THAT THE LIGHTING CONTROLS MEET OR EXCEED ALL DOCUMENTED PERFORMANCE CRITERIA. REFER TO ASHRAE 90.1 SECTION 9.4.4.
3. ELECTRICAL CONTRACTOR SHALL PROVIDE TECHNICAL SUPPORT FOR UP TO TWELVE (12) MONTHS AFTER FINAL INSTALLATION OF LIGHTING CONTROL SYSTEM.
4. BASIS OF DESIGN IS LIGHT (ACUITY BRANDS). ELECTRICAL CONTRACTOR MAY SUBMIT WATTSTOPPER (LEGRAND), COOPER LIGHTING CONTROLS, CRESTRON, OR APPROVED EQUAL.
5. PROVIDE ENGRAVED PUSHBUTTON WALL SWITCHES AS SHOWN AND APPROVED BY OWNER.
6. PROVIDE SINGLE GANG BACKBOX WITH ONE (1) 3/4" EMT CONDUIT UP TO ACCESSIBLE CEILING SPACE FOR EACH LIGHTING CONTROL DEVICE FACEPLATE. PROVIDE CONDUIT WITH 90 DEGREE BEND AND NON-METALLIC BUSHING.
7. PROVIDE REMOTE POWER SUPPLY WITH ALL TOUCH SCREEN CONTROL DEVICES. POWER SUPPLY SHALL BE WIRED TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING.
8. ALL CABLING FOR LIGHTING CONTROL SYSTEM(S) SHALL BE PLENUM RATED. CONDUIT FOR CONTROL CABLING IS NOT REQUIRED IN PLENUM SPACES OR ABOVE CEILING, UNLESS OTHERWISE REQUIRED BY APPLICABLE CODES OR MANUFACTURER. PROPERLY SUPPORT ALL EXPOSED CABLING WITH J-HOOKS.
9. PROVIDE PRE-TERMINATED CABLING.
10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROGRAMMING OF THE LIGHTING CONTROL SYSTEM(S).
11. ALL OCCUPANCY/VACANCY SENSORS SHALL BE CAPABLE OF AUTOMATIC ON TO 50% / AUTOMATIC OFF ("OCCUPANCY" OPERATION) AND MANUAL ON / AUTOMATIC OFF ("VACANCY" OPERATION). SENSOR TIME OUT SETTING SHALL BE SET TO 15 MINUTE OFF WITHOUT SENSOR ACTIVATION. MICROPHONICS SHALL BE SET TO MINIMUM LEVEL.
12. SENSOR DEVICES SHOWN ON PLANS ARE SYMBOLIC. ELECTRICAL CONTRACTOR SHALL VERIFY FINAL QUANTITY AND LOCATION(S) OF SENSOR DEVICES WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND FIELD CONDITIONS. PROVIDE ADDITIONAL SENSOR DEVICES AS REQUIRED.
13. CONTROL DEVICES SHALL BE 0-10V AND CAPABLE OF DIMMING TO 10%, 1%, OR "DIM TO DARK" PER LUMINAIRE REQUIREMENTS - REFER TO LUMINAIRE SCHEDULE.
14. TYPICAL PROGRAMMING FOR SPACES SHALL BE ON/OFF AND DIMMING CONTROL PER ZONES INDICATED ON PLANS, UNLESS OTHERWISE NOTED IN "LIGHTING CONTROL SEQUENCE" NOTES PART OF LIGHTING CONTROL DETAIL(S).
15. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL INTERCONNECTION WIRING, CABLING, LOAD CONTROLLERS, POWER SUPPLIES, ETC. REQUIRED BY MANUFACTURER FOR A FULLY OPERATIONAL SYSTEM.

TYPE "PI" / "DT" FACEPLATE

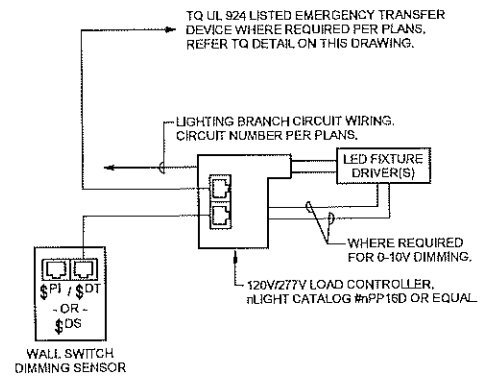


OCCUPANCY SENSOR WALL SWITCH.
 LIGHT CATALOG #MWSX LV / #WSX PDT LV OR EQUAL.
1 TYPE "PI" / "DT" FACEPLATE
 SCALE: NONE

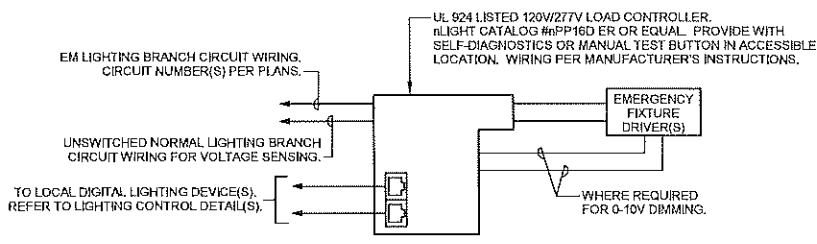
TYPE "LVA" FACEPLATE



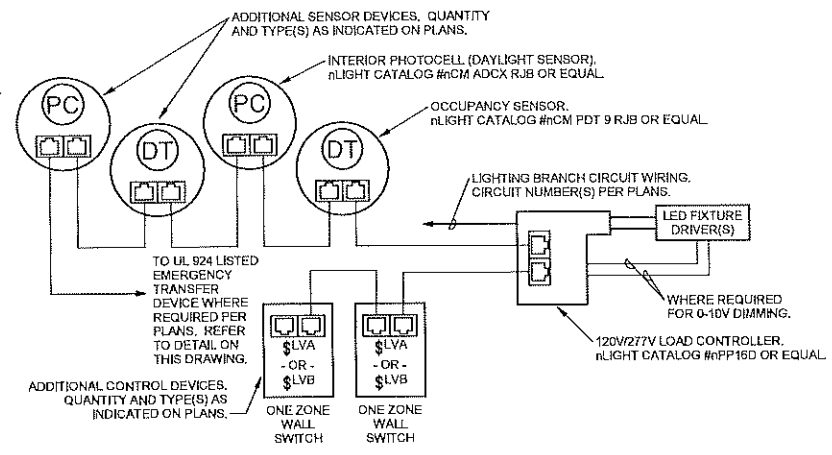
WALL SWITCH WITH ONE ZONE.
 LIGHT CATALOG #MPODM OR EQUAL.
3 TYPE "LVA" FACEPLATE
 SCALE: NONE



5 TYPICAL WALL SWITCH SENSOR LIGHTING CONTROL WIRING DIAGRAM
 SCALE: NONE



6 EMERGENCY LOAD CONTROLLER LIGHTING CONTROL WIRING DIAGRAM
 SCALE: NONE



7 TYPICAL ONE ZONE LIGHTING CONTROL WIRING DIAGRAM
 SCALE: NONE

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ATHLETIC COMPLEX

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PROJECT NO. J20211936.000
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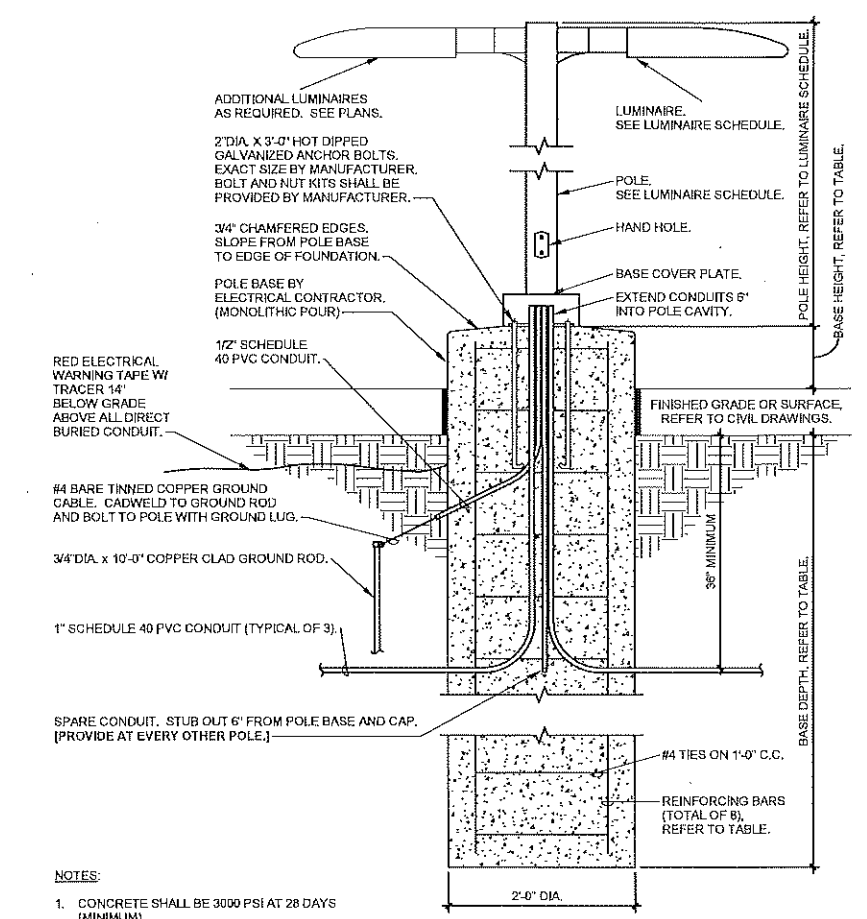
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SITE LIGHTING DETAILS AND DIAGRAMS

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E502
Sheet Number

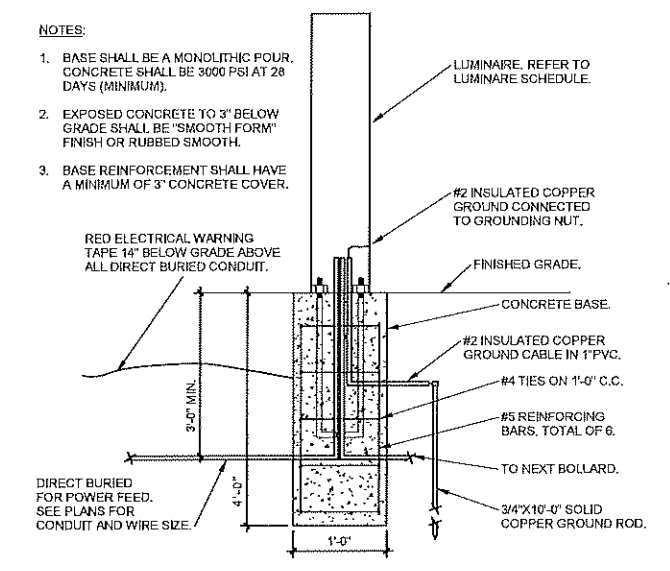


- NOTES:
- CONCRETE SHALL BE 3000 PSI AT 28 DAYS (MINIMUM).
 - EXPOSED CONCRETE TO 3" BELOW GRADE SHALL BE "SMOOTH FORM" FINISH, RUBBED SMOOTH TO COVER FORM MARKS AND SURFACE IRREGULARITIES.
 - POLE BASE REINFORCEMENT SHALL HAVE A MINIMUM OF 3" CONCRETE COVER.
 - POLES SHALL BE DESIGNED FOR A STEADY WIND VELOCITY OF 100MPH WITH A 1.3 GUST FACTOR. EC SHALL PROVIDE ADEQUATE WIRING SLACK WITHIN THE POLE BASE TO COMPENSATE FOR WIND MOVEMENT. INTEGRAL VIBRATION DAMPERS SHALL BE PROVIDED AND INSTALLED BY POLE MANUFACTURER ON ALL POLES 20'-0" AND TALLER.
 - THE EC SHALL COORDINATE SOIL CONDITIONS WITH THE CIVILSITE CONTRACTOR. IN CASES WHERE THE SOIL IS QUESTIONABLE, BASE DIAMETER AND DEPTH SHALL BE REVISED PER STRUCTURAL ENGINEER RECOMMENDATIONS.

POLE HEIGHT	BASE DEPTH	BASE DIAMETER	VERTICAL REBAR SIZE
10'-0"	4'-0"	1'-0"	#4
15'-0"	5'-0"	1'-6"	#5
20'-0"	6'-0"	2'-0"	#5
25'-0"	8'-0"	2'-0"	#5
30'-0"	12'-0"	2'-0"	#5
35'-0"	10'-0"	2'-6"	#6
40'-0"	10'-0"	2'-6"	#6

POLE LOCATION	BASE HEIGHT
UNPAVED AREAS (LAWN, PLANTERS, ETC.)	0'-3"
PARKING LOTS	3'-0"
SIDEWALKS	0'-0"

1 TYPICAL LIGHT POLE BASE DETAIL
 SCALE: NONE



2 BOLLARD BASE DETAIL
 SCALE: NONE

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 #3156412 ARCHITECTURE
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PROJECT NAME

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3800 VETERANS MEMORIAL DRIVE HILLIARD, OHIO 43026

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J20211935.000

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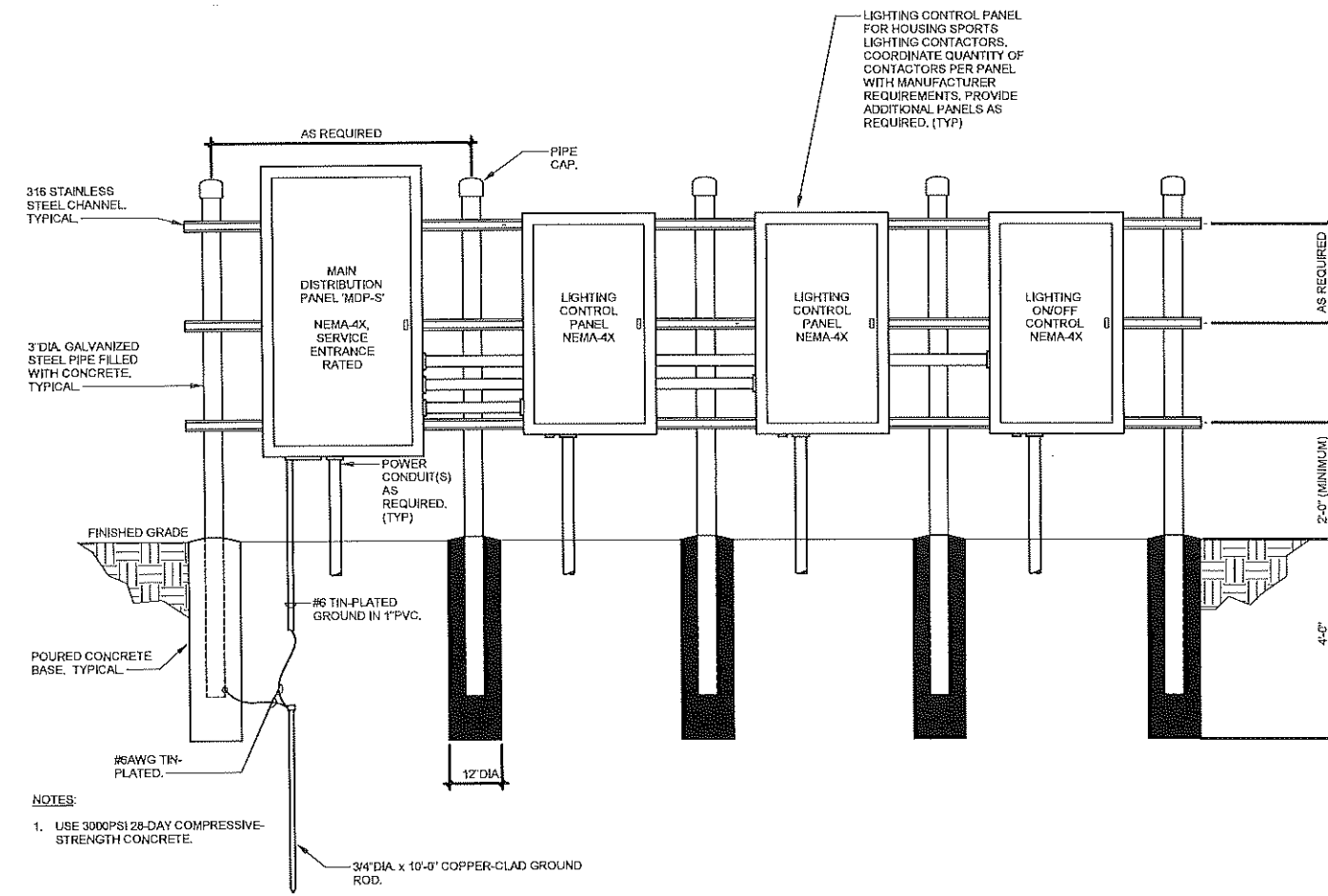
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SPORTS FIELD LIGHTING DETAILS

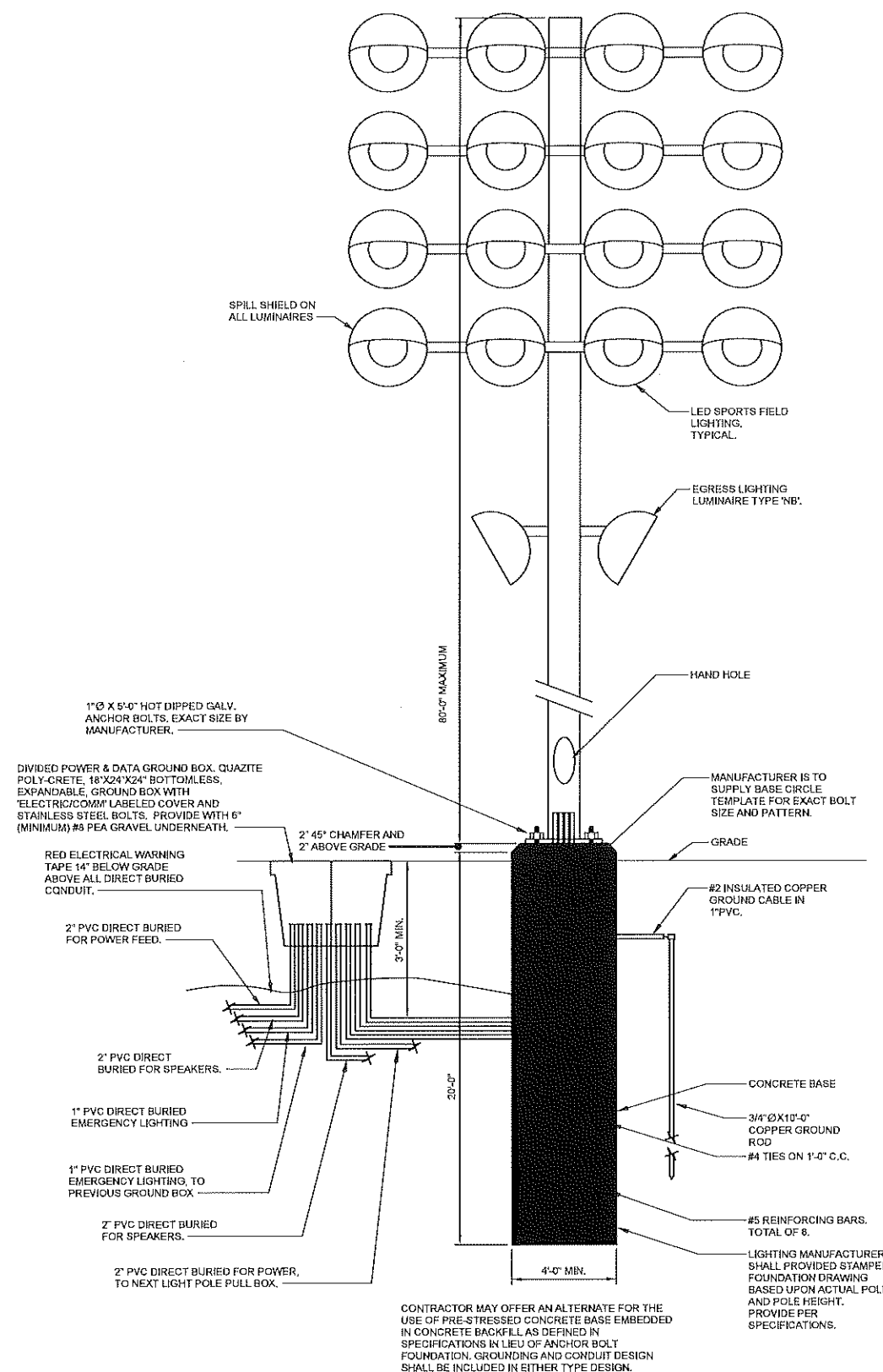
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1 SITE LIGHTING CONTACTOR WIRING DIAGRAM
 SCALE: 12" = 1'-0"



2 SITE LIGHTING CONTACTOR WIRING DIAGRAM
 SCALE: 12" = 1'-0"

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ATHLETIC COMPLEX

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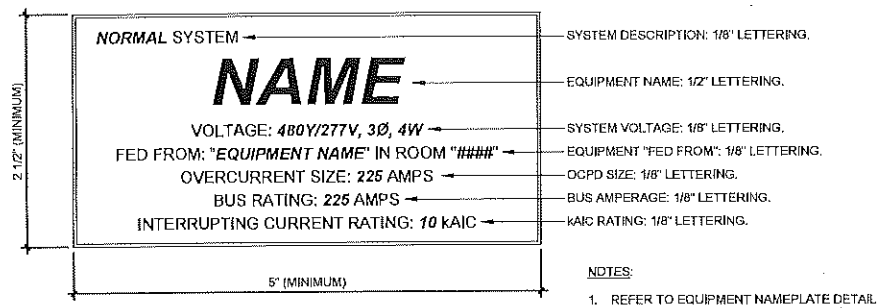
POWER DETAILS AND DIAGRAMS

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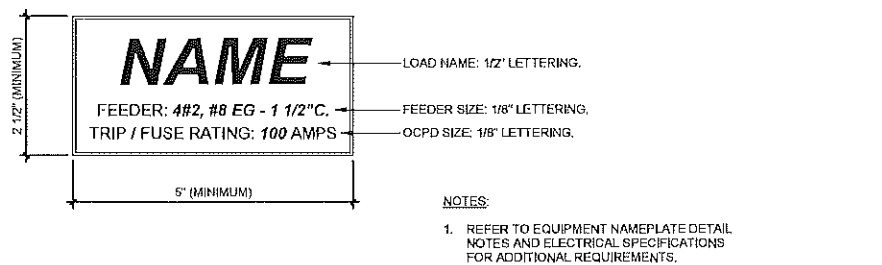
E511

ELECTRICAL EQUIPMENT NAMEPLATE DETAIL NOTES:

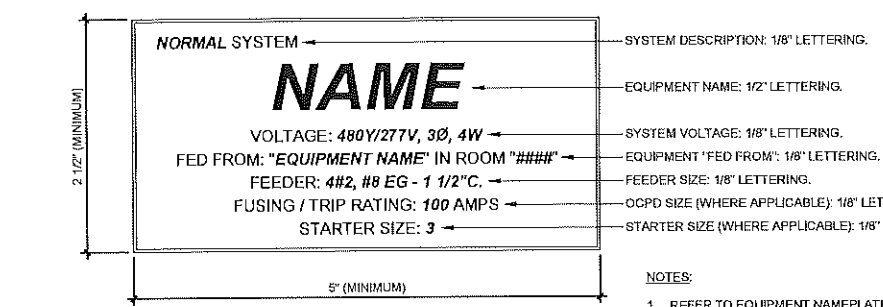
- DETAIL #1 SHALL BE UTILIZED FOR THE FOLLOWING EQUIPMENT:
 - A. PANELBOARDS.
 - B. DISTRIBUTION PANELBOARDS.
 - C. SWITCHBOARDS.
 - D. SWITCHGEAR.
- DETAIL #2 SHALL BE UTILIZED FOR THE FOLLOWING EQUIPMENT:
 - A. SWITCHGEAR MAIN AND FEEDER BREAKERS.
 - B. SWITCHBOARD MAIN AND FEEDER BREAKERS.
 - C. DISTRIBUTION PANELBOARD MAIN AND FEEDER BREAKERS.
- DETAIL #3 SHALL BE UTILIZED FOR THE FOLLOWING EQUIPMENT:
 - A. NON-FUSED DISCONNECT SWITCHES.
 - B. FUSIBLE DISCONNECT SWITCHES.
 - C. MOTOR STARTERS.
 - D. COMBINATION MOTOR STARTERS.
 - E. VARIABLE FREQUENCY DRIVES (VFD's).
- DETAIL #4 SHALL BE UTILIZED FOR THE FOLLOWING EQUIPMENT:
 - A. TRANSFORMERS.
- REFER TO OWNER'S STANDARDS FOR VARIATIONS TO REQUIRED NAMEPLATE INFORMATION AND FORMATTING.
- TEXT INCLUDED IN **BOLDED ITALICIZED** TEXT INDICATES INFORMATION SPECIFIC TO EACH PIECE OF EQUIPMENT.
- NAMEPLATES SHALL BE ENGRAVED ACRYLIC OR MELAMINE WITH BEVELED EDGES.
- FURNISH NAMEPLATE WITH SELF-ADHESIVE BACK OR PROVIDE TWO (2) STAINLESS STEEL SCREWS TO SECURE NAMEPLATE:
 - A. SCREWS SHALL MAINTAIN 1/2" DISTANCE FROM LETTERING.
 - B. SCREWS SHALL NOT DEGRADE THE NEMA RATING OF THE EQUIPMENT ENCLOSURE.
- WHERE EQUIPMENT LISTED ABOVE IS FURNISHED OR PROVIDED BY OTHER DIVISIONS AND CONNECTED OR INSTALLED BY THE ELECTRICAL CONTRACTOR, THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE EQUIPMENT NAMEPLATE. NAMEPLATE SHALL NOT COVER ANY FACTORY INSTALLED LABELING OR OTHER EQUIPMENT INFORMATION / IDENTIFICATION.
- NAMEPLATE BACKGROUND AND LETTER COLORING SHALL BE AS FOLLOWS:
 - A. **NORMAL SYSTEMS**: BLACK LETTERS ON A WHITE BACKGROUND.
 - B. **ARTICLE 700 SYSTEMS (EMERGENCY, LIFE SAFETY, CRITICAL BRANCH, ETC.)**: WHITE LETTERS ON A RED BACKGROUND.
 - C. **ARTICLE 701 SYSTEMS (LEGALLY REQUIRED STAND-BY)**: WHITE LETTERS ON A RED BACKGROUND.
 - D. **ARTICLE 702 SYSTEMS (OPTIONAL STAND-BY)**: BLACK LETTERS ON YELLOW BACKGROUND.



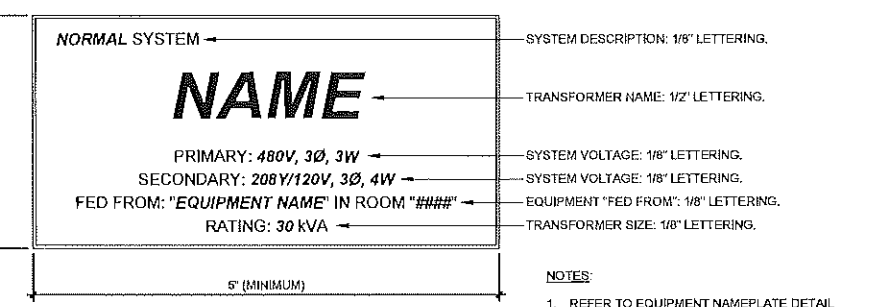
1 TYPICAL PANEL NAMEPLATE DETAIL
 SCALE: NONE



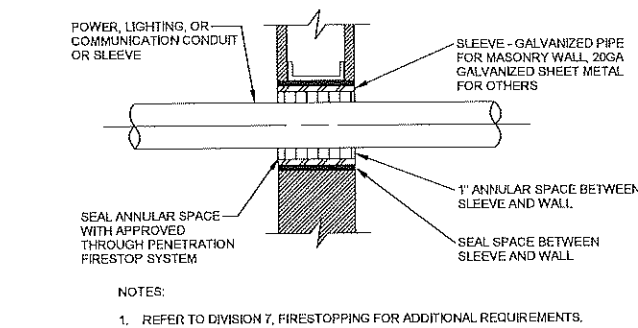
2 TYPICAL FEEDER OCPD NAMEPLATE DETAIL
 SCALE: NONE



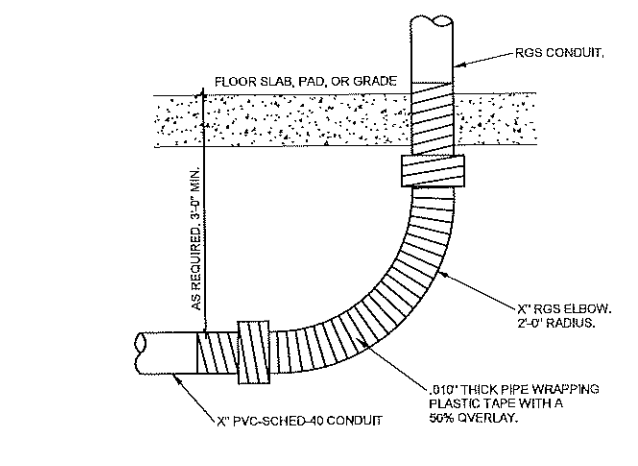
3 TYPICAL DISCONNECT NAMEPLATE DETAIL
 SCALE: NONE



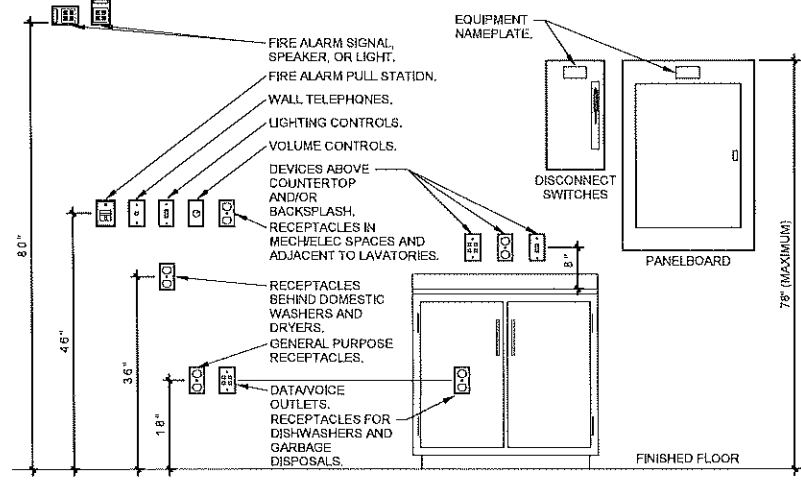
4 TYPICAL TRANSFORMER NAMEPLATE DETAIL
 SCALE: NONE



5 TYPICAL FIRESTOP SLEEVE DETAIL
 SCALE: NONE



6 TYPICAL CONDUIT TRANSITION PVC TO RGS DETAIL
 SCALE: NONE



- NOTES:**
- ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO THE CENTERLINE OF DEVICES EXCEPT FIRE ALARM AV DEVICES.
 - NO WIRING DEVICES OR OUTLET BOXES SHALL BE MOUNTED BACK TO BACK.
 - ALL MOUNTING HEIGHTS SHALL BE INSTALLED AT MOUNTING HEIGHTS AS INDICATED ON THIS DETAIL UNLESS NOTED OTHERWISE.
 - FOR ALL ELEVATIONS (WHERE APPLICABLE), CASEWORK DETAILS, FIRE WALLS, SMOKE WALLS, LOCATION OF COUNTERTOP RECEPTACLES, LIGHTING FIXTURE SWITCHES, TELEPHONE OUTLETS, EQUIPMENT ROUGH-INS, HEADWALLS, ETC., SEE ARCHITECTURAL DRAWINGS. WHERE NO ARCHITECTURAL ELEVATIONS OR DETAILS OCCUR, CONTRACTOR SHALL USE MEANS AND METHODS AS WELL AS HISHER FIELD KNOWLEDGE TO SPOT DEVICES IN BEST LOCATIONS FOR THE PROJECT.
 - ALL MOUNTING HEIGHTS SHALL COMPLY WITH ADA REQUIREMENTS:
 - A. GENERAL DEVICES: 15" MINIMUM, 48" MAXIMUM.
 - B. ABOVE COUNTER DEVICES: 44" MAXIMUM.
 - C. FIRE ALARM SIGNAL, SPEAKER, AND/OR LIGHT DEVICES: 80" MINIMUM, 96" MAXIMUM.

7 TYPICAL MOUNTING HEIGHTS DETAIL
 SCALE: NONE

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ATHLETIC COMPLEX

6371 SCIOTO DARBY ROAD HILLIARD, OH 43026



3800 VETERANS MEMORIAL DRIVE
 HILLIARD, OHIO 43026

PROJECT NO. J20211938.000
 Date: 01/31/2023
 Issued for: GMP 3

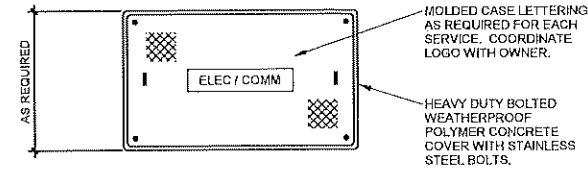
REVISIONS

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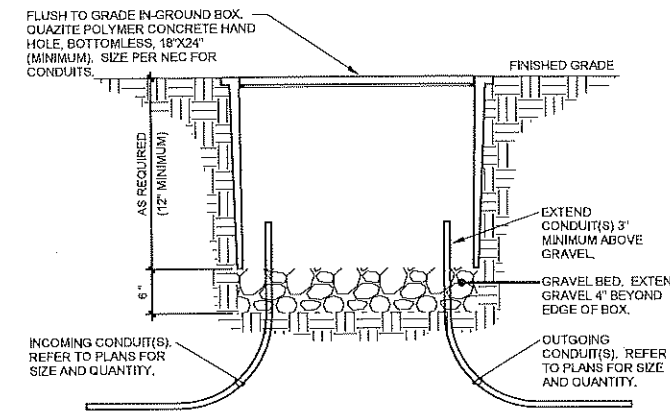
SITE POWER DETAILS

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E512



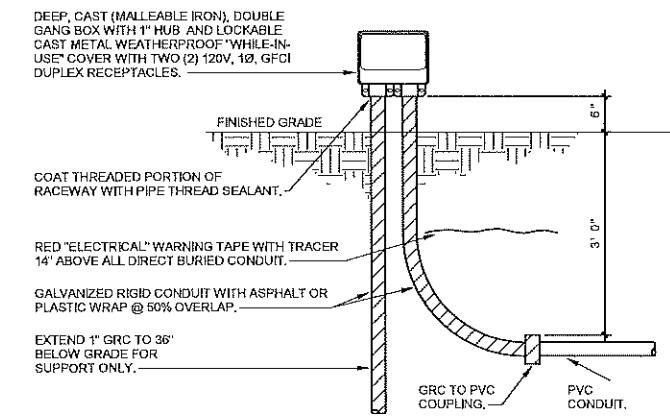
PLAN



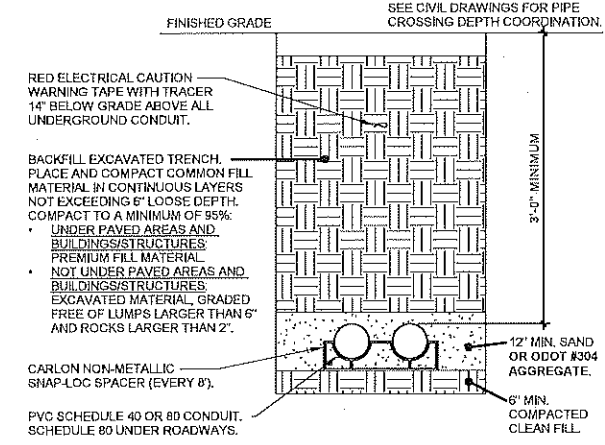
ELEVATION

- NOTES:
1. PROVIDE SPLICING CONNECTOR AS REQUIRED. USE BURNDY YPC2A8U OR APPROVED EQUAL. ENCAPSULATED WITH A RAYCHEM GEL ENCLOSURE #GHFC-1-90 SERIES.

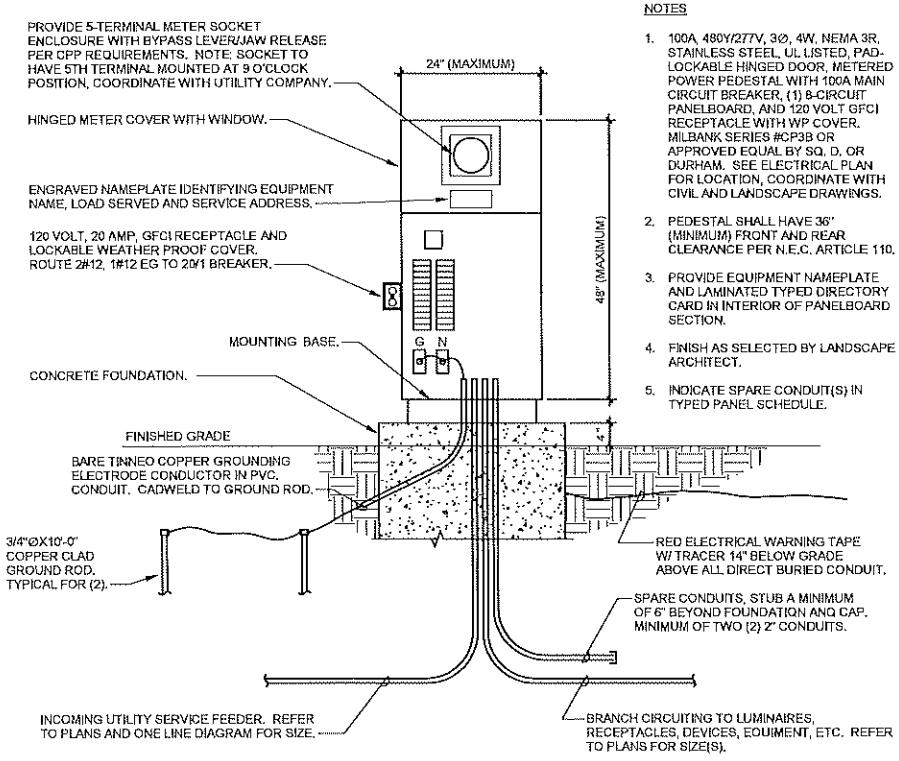
1 GROUND BOX DETAIL
 SCALE: NONE



3 OUTDOOR AT-GRADE RECEPTACLE DETAIL
 SCALE: NONE



4 TYPICAL DIRECT BURY CONDUIT SECTION
 SCALE: NONE



2 METERED POWER PEDESTAL DETAIL
 SCALE: NONE

- NOTES:
1. 100A, 480Y/277V, 3Ø, 4W, NEMA 3R, STAINLESS STEEL, UL LISTED, PAD-LOCKABLE HINGED DOOR, METERED POWER PEDESTAL WITH 100A MAIN CIRCUIT BREAKER, (1) 8-CIRCUIT PANELBOARD, AND 120 VOLT GFCI RECEPTACLE WITH WP COVER. MILBANK SERIES #CP38 OR APPROVED EQUAL BY SQ. D. OR DURHAM. SEE ELECTRICAL PLAN FOR LOCATION, COORDINATE WITH CIVIL AND LANDSCAPE DRAWINGS.
 2. PEDESTAL SHALL HAVE 36" (MINIMUM) FRONT AND REAR CLEARANCE PER N.E.C. ARTICLE 110.
 3. PROVIDE EQUIPMENT NAMEPLATE AND LAMINATED TYPED DIRECTORY CARD IN INTERIOR OF PANELBOARD SECTION.
 4. FINISH AS SELECTED BY LANDSCAPE ARCHITECT.
 5. INDICATE SPARE CONDUIT(S) IN TYPED PANEL SCHEDULE.

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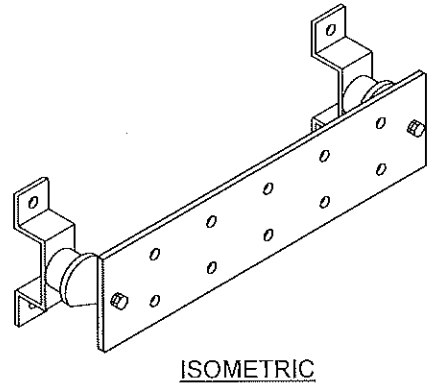
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ELECTRICAL GROUNDING RISER AND DETAILS

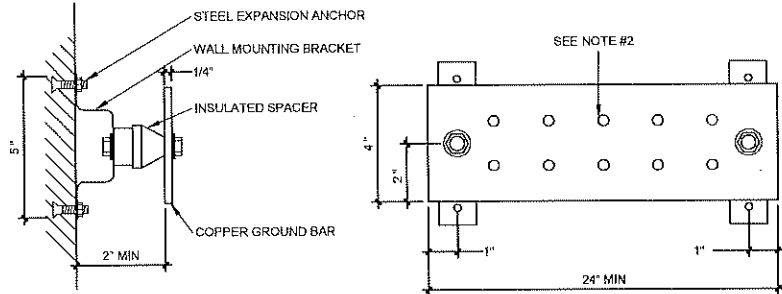
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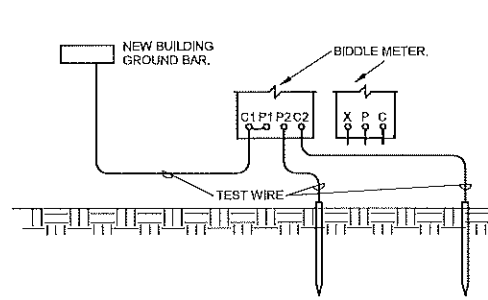
NOTES:
 1. PROVIDE A MINIMUM OF (1) MOUNTING POINT PER 12" OF BAR LENGTH.
 2. PROVIDE QUANTITY OF PREDRILLED STANDARD NEMA BOLT HOLES SIZED AND SPACED AS REQUIRED FOR CONNECTIONS USED.



ISOMETRIC



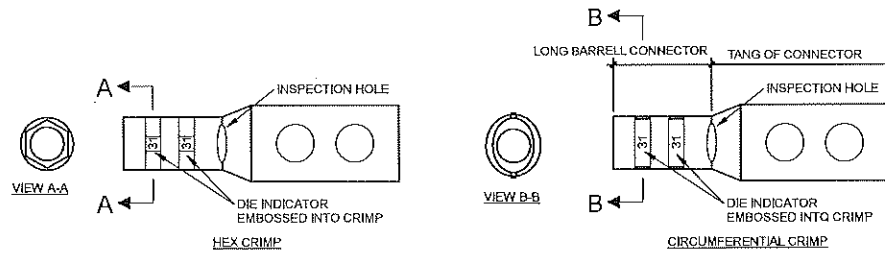
1 MAIN ELECTRICAL GROUND BUS (MEGB) DETAIL
 SCALE: NONE



LEGEND
 (C) - CURRENT REFERENCE GROUND ROD
 (P) - POTENTIAL REFERENCE GROUND ROD
 (D) - RECOMMENDED DISTANCE OF CURRENT REFERENCE GROUND ROD FROM GROUND BAR FOR SINGLE EARTH ELECTRODE/WATER PIPE D = 50 TO 60 FEET

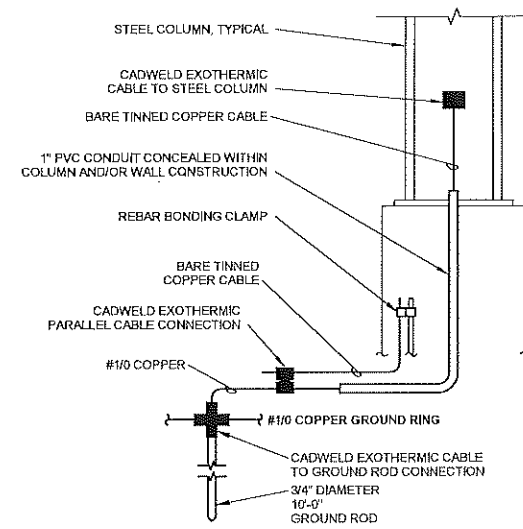
NOTES:
 1. COORDINATE TESTING ONE WEEK IN ADVANCE WITH OWNER.
 2. COMPLETE AND SUBMIT RESISTANCE TEST FORM.
 3. MEASURE THE EARTH RESISTIVITY AT GROUND BAR, AS SHOWN IN FIGURE. IF THE RESISTIVITY IS MORE THAN 5 OHMS CONTACT OWNER.

2 FALL OF POTENTIAL TEST DIAGRAM
 SCALE: NONE



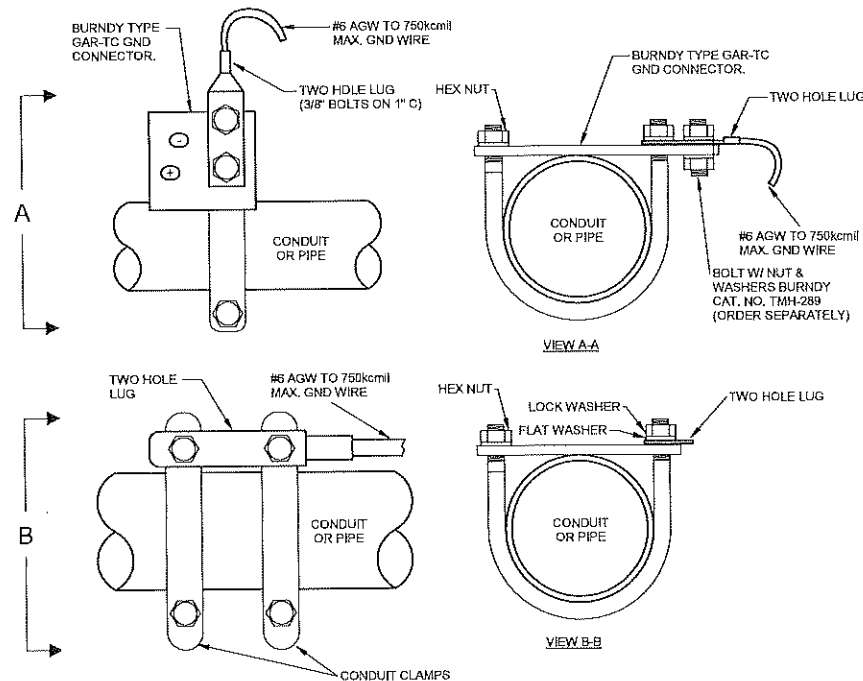
AFTER CRIMPING, ALL FLASHES, BURRS, OR SHARP EDGES RESULTING FROM THE CRIMPING PROCESS MUST BE REMOVED.

3 TWO HOLE CRIMP COPPER CONNECTION DETAIL
 SCALE: NONE

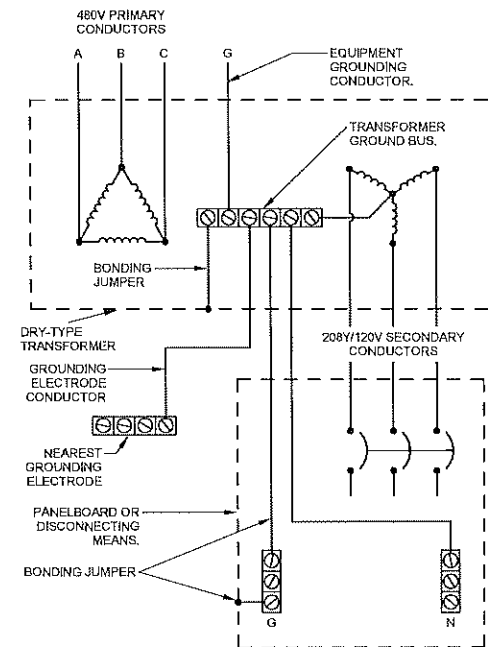


NOTES:
 1. ALL GROUNDING AND BONDING ELECTRODES AND CONDUCTORS SHALL BE IN CONFORMANCE WITH N.E.C. ARTICLE 250 REQUIREMENTS.
 2. FOR ALL ADDITIONAL REQUIREMENTS REFER TO SPECIFICATION SECTION 250526.

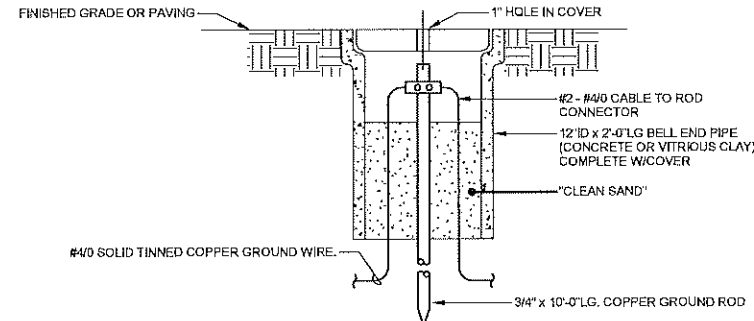
4 TYPICAL STEEL COLUMN AND REBAR GROUNDING DETAIL
 SCALE: NONE



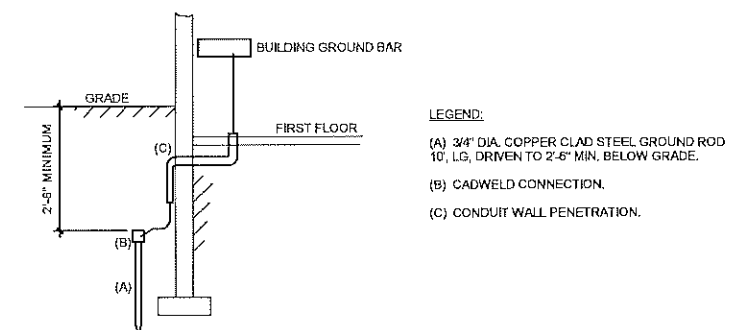
5 PIPE GROUND CLAMP DETAIL
 SCALE: NONE



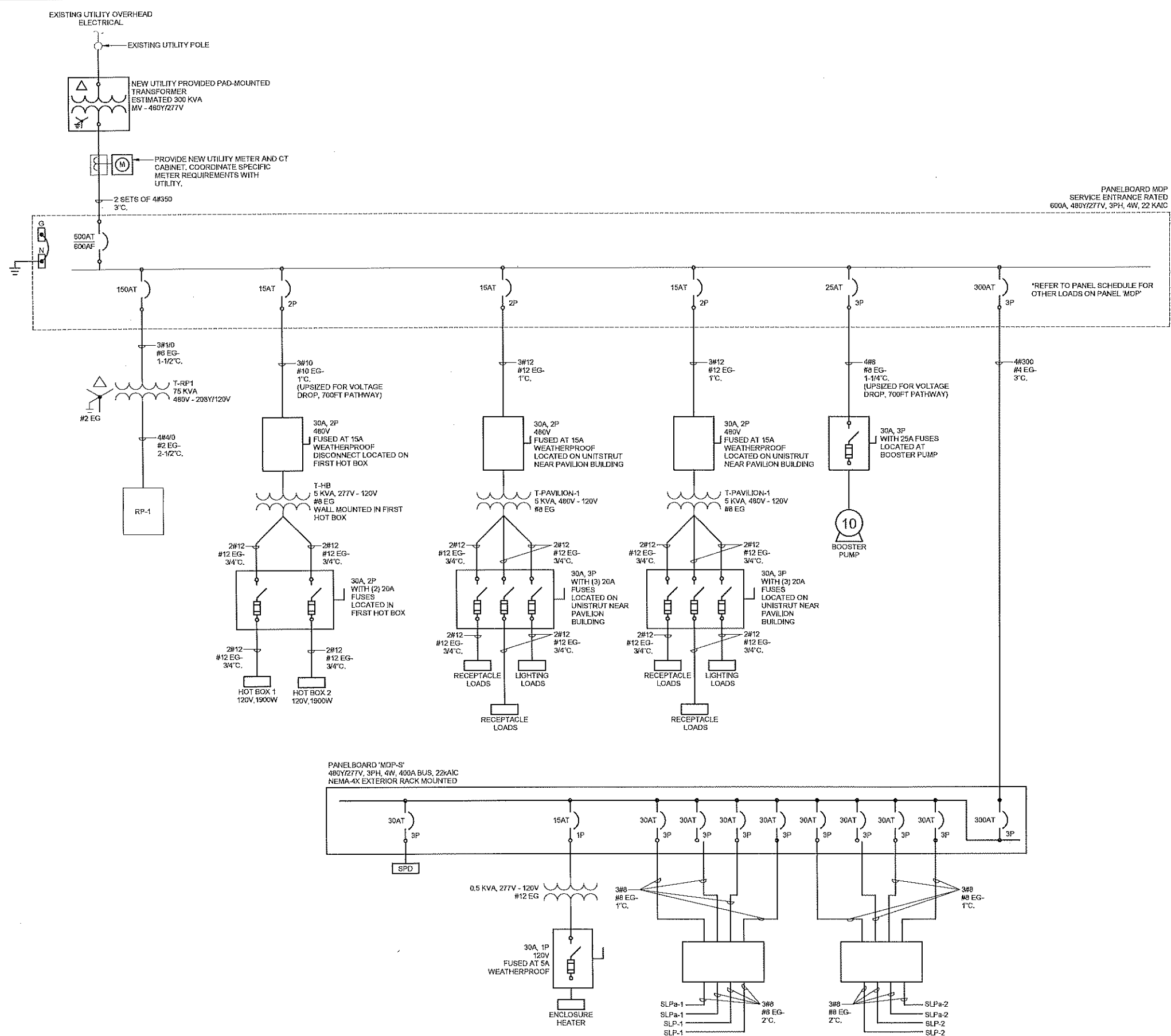
6 TYPICAL 480:208Y/120V DRY-TYPE TRANSFORMER GROUNDING DETAIL
 SCALE: NONE



7 GROUND ROD AND TEST WELL DETAIL
 SCALE: NONE



8 GROUNDING CONDUCTOR ENTRANCE DETAIL
 SCALE: NONE



ELECTRICAL ONE LINE SHEET GENERAL NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE LINE VOLTAGE WIRING BETWEEN CONTROL PANELS AND/OR VFD'S AND THEIR CORRESPONDING MOTORS. CONTROL PANELS AND/OR VFD'S AND MOTORS ARE PROVIDED BY MECHANICAL, HVAC CONTRACTOR. COORDINATE EXACT LOCATION OF ALL CONTROL PANELS, VFD'S AND MOTORS AND THEIR REQUIREMENTS WITH MECHANICAL HVAC AND/OR CONTROLS CONTRACTOR PRIOR TO ROUGH-IN.
2. THE SWITCHBOARD / PANELOBOARD LABELED AS P-1 ON DRAWINGS SHALL BE SUITABLE FOR USE AS SERVICE ENTRANCE (SE) EQUIPMENT AND LABELED IN ACCORDANCE WITH ALL U.L. REQUIREMENTS.
3. SEE "GROUNDING ELECTRODE SYSTEM" DETAIL FOR ADDITIONAL GROUNDING AND BONDING REQUIREMENTS.
4. THE ELECTRICAL CONTRACTOR SHALL INCLUDE IN HIS BID, ALL ELECTRIC UTILITY COMPANY CHARGES FOR PROVIDING SERVICE TO THE BUILDING, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: TRANSFORMERS, CONCRETE PADS/VOLTS, CABLES, DUCTS, TRENCHING, BACKFILL, CONCRETE ENGAGEMENT, METERING, GROUNDING, ALL ANCILLARY EQUIPMENT AND DEVICES, ETC., AND ASSOCIATED LABOR FOR A COMPLETE INSTALLATION PER N.E.C. AND ELECTRIC UTILITY COMPANY REQUIREMENTS. ANY LOCAL UTILITY COMPANY CHARGES FOR PROVISION OF ELECTRICAL SERVICE SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BASE PRICE. AS A MINIMUM, THE INSTALLATION SHALL MEET THE SERVICE AND INSTALLATION REGULATIONS OF THE LOCAL UTILITY.
5. ROUTE UNDERGROUND PVC CONDUIT INCLUDING AT LEAST ONE SPARE CONDUIT IN ACCORDANCE WITH LOCAL UTILITY REGULATIONS TO THE LOCAL UTILITY CONNECTION POINT. PROVIDE PRIMARY CONDUCTORS PER THE LOCAL UTILITY UNLESS IT IS REQUIRED THAT CONDUCTORS BE PROVIDED BY THE LOCAL UTILITY. CONDUCTOR SIZE AND TYPE TO BE DETERMINED WITH THE LOCAL UTILITY. REVIEW THE CONNECTION POINT AND ROUTING WITH THE LOCAL UTILITY PRIOR TO START OF WORK. CONFIRM TRENCHING AND BURIAL DETAILS WITH LOCAL UTILITY PRIOR TO START OF WORK.
6. PROVIDE A TRANSFORMER PAD AND/OR VAULT OF THE PROPER SIZE AND MATERIAL TO MEET TO SERVICE AND INSTALLATION REGULATIONS OF THE LOCAL UTILITY. COORDINATE THE TRANSFORMER LOCATION WITH THE LOCAL UTILITY PRIOR TO START OF WORK. PROVIDE A GROUND LOOP AND GROUNDING RODS AS REQUIRED TO MEET THE SERVICE AND INSTALLATION REGULATIONS OF THE LOCAL UTILITY. ALL GROUNDING CONNECTIONS SHALL BE MADE USING AN EXOTHERMIC WELD PROCESS.

SHEET KEY NOTES:

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ELECTRICAL ONE LINE DIAGRAM

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1 ELECTRICAL ONE LINE DIAGRAM
 SCALE: NONE

Sheet Number
E601

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Sheet Title

ELECTRICAL
 SCHEDULES

PRELIMINARY
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E701

SEAL

Sheet Number

LUMINAIRE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMPS	VOLTAGE	WATTS	REMARKS
EA	EMERGENCY LUMINAIRE MOUNTING: WALL/CEILING	LITHONIA LIGHTING EXTRONIX EVENLITE COMPASS EMERGI-LITE EELP	ELM2L LED-S1 TELESIS TCL CU2 EL-2LED CEM	LED	120 V	3 W	DUAL HEAD LED EMERGENCY LIGHT. WHITE THERMOPLASTIC. PROVIDE WITH WET PROTECTIVE VANDAL SHIELD. HOUSING: NICAD BATTERY. SELF-DIAGNOSTIC. 90 MIN BATTERY UL924 LISTED.
EX1	LED EMERGENCY EXIT SIGN - VANDAL RESISTANT	LITHONIA LIGHTING EXTRONIX EMERGI-LITE COOPER EELP	DLTLX	LED	120 V	3 W	RED LETTERING. AC ONLY. SEE SHEETS FOR FACES AND DIRECTIONS, HOUSING COLOR BY ARCHITECT.
FA	4X8" LINEAR LED VANDAL RESISTANT SURFACE LUMINAIRE	LITHONIA LIGHTING METALUX COLUMBIA LIGHTING DAY-BRITE HE WILLIAMS	VPF8	5500 LUMENS 4000K	120 V	53 W	0-10V DIMMING. OPAL LENS. FINISH BY ARCHITECT.
FB	4" LINEAR LED SURFACE LUMINAIRE	LITHONIA LIGHTING METALUX COLUMBIA LIGHTING DAY-BRITE HE WILLIAMS	ZL1N 4SNLED MPS FLUXSTREAM 75	3,000 LUMEN LED 4000°K	120 V	25 W	0-10V DIMMING. FINISH BY ARCHITECT.
SL2	16"x21-3/4"x3-15/16" DEEP LUMINAIRE WITH ALUMINUM HOUSING, 9.5" ARM, TYPE II DISTRIBUTION, SPILL LIGHT OPTICAL CONTROL, 600mA, INTEGRAL PHOTOCCELL, AND AFTER HOURS DIMMING, AND BRONZE FINISH. POLE SHALL BE 25' IN HEIGHT, ROUND TAPERED ALUMINUM WITH MATCHING FINISH.	McGRAW-EDISON GLEON II	ENTER CATALOG NUMBER HERE	ENTER LAMPS HERE	277 V	200 W	ENTER REMARKS HERE
SL4	16"x21-3/4"x3-15/16" DEEP LUMINAIRE WITH ALUMINUM HOUSING, 9.5" ARM, TYPE IV FORWARD THROW DISTRIBUTION, SPILL LIGHT OPTICAL CONTROL, 600mA, INTEGRAL PHOTOCCELL, AND AFTER HOURS DIMMING, AND BRONZE FINISH. POLE SHALL BE 25' IN HEIGHT, ROUND TAPERED ALUMINUM WITH MATCHING FINISH.	McGRAW-EDISON GLEON II	ENTER CATALOG NUMBER HERE	ENTER LAMPS HERE	277 V	200 W	ENTER REMARKS HERE
SL5	25" DIAMETERx29" HIGH POST-TOP LUMINAIRE WITH ALUMINUM HOUSING, TYPE V DISTRIBUTION, 600mA, INTEGRAL PHOTOCCELL, AND AFTER HOURS DIMMING, AND SILVER FINISH. POLE SHALL BE 20' IN HEIGHT, ROUND TAPERED ALUMINUM WITH MATCHING FINISH.	INVUE LIGHTING LUXESCAPE	ENTER CATALOG NUMBER HERE	4500 LUMENS 70CRU4000K	277 V	200 W	ENTER REMARKS HERE
SL42	TWO (2) 16"x21-3/4"x3-15/16" DEEP LUMINAIRES WITH ALUMINUM HOUSINGS, 9.5" ARM, TYPE IV FORWARD THROW DISTRIBUTION, SPILL LIGHT OPTICAL CONTROL, 600mA, INTEGRAL PHOTOCCELL, AND AFTER HOURS DIMMING, AND BRONZE FINISH. LUMINAIRES ARE MOUNTED BACK-TO-BACK AT 180 DEGREES. POLE SHALL BE 25' IN HEIGHT, ROUND TAPERED ALUMINUM WITH MATCHING FINISH.	(2) McGRAW-EDISON GLEON II	ENTER CATALOG NUMBER HERE	ENTER LAMPS HERE	277 V	400 W	ENTER REMARKS HERE
WA	QUARTER SPHERE EXTERIOR WALL SCOCNE	LITHONIA LIGHTING METALUX COLUMBIA LIGHTING DAY-BRITE HE WILLIAMS	WSQ	2000 LUMENS 70CRU4000K	120 V	20 W	WALL SCOCNE, TYPE 4 DISTRIBUTION. PROVIDE WITH VANDAL GUARD AND EMERGENCY FIXTURE WITH INTEGRAL COLD WEATHER BATTERY BACKUP. COORDINATE MOUNTING HEIGHT AND FINISH WITH ARCHITECT.

LUMINAIRE SCHEDULE NOTES:

- LUMINAIRE INDICATED IN SCHEDULE IS BASIS OF DESIGN. CONTRACTOR MAY SUBMIT ALTERNATE BY GARDOO OR LUMEC LIGHTING FOR CONSIDERATION. FOR ANY LUMINAIRES SUBMITTED OTHER THAN BASIS OF DESIGN LUMINAIRES, A POINT-BY-POINT PHOTOMETRIC PLAN SHALL BE PROVIDED FOR THE PROPOSED LUMINAIRE AS PART OF THE SHOP DRAWING SUBMITTAL. POINT-BY-POINT CALCULATIONS SHALL FOLLOW IESNA RECOMMENDED PRACTICES AND INCLUDE LIGHT LOSS FACTOR (LLF) USED FOR ALL LUMINAIRE TYPES, SURFACE REFLECTANCES, AVERAGE FOOTCANDLE LEVEL, MINIMUM FOOTCANDLE LEVEL(S), AND MAXIMUM-TO-MINIMUM RATIO FOR ALL AREAS WHERE ALTERNATE PROPOSED LUMINAIRE IS TO BE INSTALLED (ONE CALCULATION FOR TYPICAL AREAS IS ACCEPTABLE).
- ALL LUMINAIRES SHALL BE IN ACCORDANCE WITH THE LUMINAIRE SCHEDULE. THE LUMINAIRE SCHEDULE PROVIDES THE MANUFACTURER AND CATALOG NUMBER. THE LUMINAIRE PROVIDED SHALL CONFORM TO THE DESCRIPTION IN THE LUMINAIRE SCHEDULE, THE MANUFACTURER AND CATALOG NUMBER, AND ALL PROVISIONS OF THE CONTRACT DOCUMENTS.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, LUMINAIRE COLORS, LENGTHS, TRIMS, FINISHES, MOUNTING HARDWARE, CONFIGURATIONS AND HEIGHTS OF SUSPENDED LUMINAIRES, ETC. WITH ARCHITECT PRIOR TO ANY ROUGH-INS AND PLACING FINAL PURCHASE ORDERS.
- VERIFY FINAL LUMINAIRE LOCATIONS WITH OTHER CEILING MOUNTED EQUIPMENT SUCH AS DIFFUSERS, FIRE ALARM DEVICES, SPEAKERS, ETC. WITH ARCHITECTURAL RCP (REFLECTED CEILING PLANS).
- VERIFY EXACT HEIGHT AND LOCATIONS OF ALL WALL MOUNTED AND PENDANT/CABLE MOUNTED LUMINAIRES WITH ARCHITECTURAL ELEVATIONS PRIOR TO ANY ROUGH-IN.
- LUMINAIRES SHALL NOT BE SUPPORTED FROM SUSPENDED CEILING SUPPORTS UNLESS ADDITIONAL CEILING FRAMING AND SUPPORTS ARE ADDED BY THE CEILING CONTRACTOR ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, U.L. LISTINGS, AND ANY APPLICABLE STATE OR LOCAL CODES.
- CONNECTIONS TO RECESSED LUMINAIRES SHALL BE MADE WITH MINIMUM 1/2" FLEXIBLE METAL CONDUIT (FMC) FROM FIXTURE TO OUTLET BOX. LENGTH OF FMC SHALL NOT EXCEED 6'.
- AT THE CONCLUSION OF THE WORK, EACH LUMINAIRE MUST BE CLEANED PER MANUFACTURER'S INSTRUCTIONS, EQUIPPED WITH THE PROPER TYPE, NUMBER OF LAMPS, INCLUDING KELVIN TEMPERATURE AND WATTAGE, AND ALL IN GOOD OPERATING CONDITION.
- LUMINAIRE COLOR TEMPERATURE SHALL BE 4000K MINIMUM UNLESS OTHERWISE NOTED.
- NOMINAL LUMEN VALUES MAY VARY BETWEEN DIFFERENT MANUFACTURERS OF SAME TYPE OF LUMINAIRE. NOMINAL LUMEN VALUES GIVEN IN SCHEDULE ARE THE VALUES USED FOR DESIGN.
- FINAL COLOR SELECTION BY ARCHITECT/OWNER AT FIXTURE SUBMITTAL.
- LENSED FIXTURES SHALL HAVE A MINIMUM OF 0.125" THICK ACRYLIC LENS UNLESS OTHERWISE NOTED.
- FIXTURES DESIGNATED AS "EM" SHALL HAVE EMERGENCY BATTERY PACK OPTION. PROVIDE ADDITIONAL WIRING AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS FOR VOLTAGE SENSING.

EQUIPMENT CONNECTION SCHEDULE NOTES:

- ELECTRICAL CONTRACTOR SHALL COORDINATE OVERCURRENT PROTECTION SIZES WITH FINAL EQUIPMENT SELECTIONS PROVIDED BY MECHANICAL CONTRACTOR. OVERCURRENT PROTECTIVE DEVICES SHALL MATCH MANUFACTURER'S RECOMMENDED OVERCURRENT PROTECTION SIZE OR MAXIMUM OVERCURRENT PROTECTION (MOCP) SIZE.
- ELECTRICAL CONTRACTOR SHALL PROVIDE LABELING FOR ALL EQUIPMENT DISCONNECTING MEANS, INCLUDING VFDs, MOTOR CONTROLLERS, DISCONNECT SWITCHES, ETC. FURNISHED BY OTHER DIVISIONS. REFER TO EQUIPMENT NAMEPLATE DETAILS ON DWG. SERIES E-500's AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- ELECTRICAL CONTRACTOR SHALL INSTALL LINE VOLTAGE THERMOSTATS, VFDs, AND OTHER LINE VOLTAGE CONTROLLERS FURNISHED BY OTHER DIVISIONS AND/OR OWNER AS INDICATED ON CONNECTION SCHEDULE. COORDINATE EQUIPMENT CONTROL REQUIREMENTS WITH MECHANICAL EQUIPMENT SCHEDULE(S), PLUMBING EQUIPMENT SCHEDULE(S), OWNER FURNISHED EQUIPMENT INSTALLATION INSTRUCTIONS, ETC. COORDINATE CONTROL WIRING REQUIREMENTS WITH SYSTEM INSTALLER.
- ELECTRICAL CONTRACTOR SHALL PROVIDE NEMA RATED COMBINATION MOTOR STARTERS FOR EQUIPMENT FURNISHED BY OTHER DIVISIONS AND/OR OWNER REQUIRED TO BE INTERLOCKED WITH BUILDING AUTOMATION SYSTEM(S) AS INDICATED ON CONNECTION SCHEDULE. REFER TO COMBINATION MOTOR STARTER DETAIL ON DWG. SERIES E-500'S FOR ADDITIONAL REQUIREMENTS. COORDINATE EQUIPMENT CONTROL REQUIREMENTS WITH MECHANICAL EQUIPMENT SCHEDULE(S), PLUMBING EQUIPMENT SCHEDULE(S), OWNER FURNISHED EQUIPMENT INSTALLATION INSTRUCTIONS, ETC. COORDINATE CONTROL WIRING REQUIREMENTS WITH SYSTEM INSTALLER.

EQUIPMENT ELECTRICAL CONNECTION SCHEDULE											
MECHANICAL DESIGNATION	EQUIPMENT DESCRIPTION	MOTOR				LOCATION	OCPD SIZE	BRANCH CIRCUIT			REMARKS
		HP	KVA	VOLTAGE	PHASE			CONDUCTORS/CONDUIT	PANEL	CKT. #	
AC-1	SPLIT SYSTEM INDOOR UNIT	-	0 KVA	208 V	1	IT 29	20A	(3) #12, #12 EG IN 3/4"C	RP-1	22,24	UNIT PROVIDED WITH LOCAL DISCONNECT SWITCH. UNIT POWERED FROM ASSOCIATED OUTDOOR UNIT.
CU-1	SPLIT-SYSTEM CONDENSING UNIT	-	2.79 KVA	208 V	1	WEST EXTERIOR	20A	(3) #12, #12 EG IN 3/4"C	RP-1	22,24	PROVIDE WITH NEMA-3R DISCONNECT SWITCH NEAR UNIT.
DWH-1	ELECTRIC WATER HEATER	-	12 KVA	208 V	1	MECH 66	20A	(2) #12, #12 EG IN 3/4"C	RP-1	6	ENTER "REMARKS" HERE
EF-1	EXHAUST FAN	1/4	0.5 KVA	120 V	1	WOMEN'S RESTROOM 25	20A	(2) #12, #12 EG IN 3/4"C	RP-1	21	FURNISHED WITH NEMA 1 DISCONNECT SWITCH. INTERLOCKED WITH 120V THERMOSTAT. PROVIDE ALL WIRING AND FINAL CONNECTIONS FOR A COMPLETE AND OPERABLE SYSTEM.
EF-2	EXHAUST FAN	1/4	0.5 KVA	120 V	1	WOMEN'S RESTROOM 25	20A	(2) #12, #12 EG IN 3/4"C	RP-1	21	FURNISHED WITH NEMA 1 DISCONNECT SWITCH. INTERLOCKED WITH 120V THERMOSTAT. PROVIDE ALL WIRING AND FINAL CONNECTIONS FOR A COMPLETE AND OPERABLE SYSTEM.
RP-1	RECIRCULATION PUMP	1/6	0.5 KVA	120 V	1	MECH 66	20A	(4) #12, #12 EG IN 3/4"C	MDP	16,18,20	ENTER "REMARKS" HERE
UH-1	UNIT HEATER	-	12 KVA	480 V	3	WOMEN'S RESTROOM 25	20A	(4) #12, #12 EG IN 3/4"C	MDP	11,13,15	PROVIDED WITH FACTORY INSTALLED DISCONNECT SWITCH
UH-2	UNIT HEATER	-	12 KVA	480 V	3	WOMEN'S RESTROOM 25	20A	(4) #12, #12 EG IN 3/4"C	MDP	11,13,15	PROVIDED WITH FACTORY INSTALLED DISCONNECT SWITCH
UH-3	UNIT HEATER	-	8 KVA	480 V	3	MENS RESTROOM 26	20A	(4) #12, #12 EG IN 3/4"C	MDP	22,24,26	PROVIDED WITH FACTORY INSTALLED DISCONNECT SWITCH
UH-4	UNIT HEATER	-	8 KVA	480 V	3	MENS RESTROOM 26	20A	(4) #12, #12 EG IN 3/4"C	MDP	17,19,21	PROVIDED WITH FACTORY INSTALLED DISCONNECT SWITCH
UH-5	UNIT HEATER	-	2 KVA	208 V	1	FAMILY TOILET 28	20A	(3) #12, #12 EG IN 3/4"C	RP-1	5,7	PROVIDED WITH FACTORY INSTALLED DISCONNECT SWITCH
UH-6	UNIT HEATER	-	2 KVA	208 V	1	FAMILY TOILET 27	20A	(3) #12, #12 EG IN 3/4"C	RP-1	9,11	PROVIDED WITH FACTORY INSTALLED DISCONNECT SWITCH
UH-7	UNIT HEATER	-	3 KVA	480 V	3	MECH 66	20A	(4) #12, #12 EG IN 3/4"C	MDP	28,30,32	PROVIDED WITH FACTORY INSTALLED DISCONNECT SWITCH
UH-8	UNIT HEATER	-	3 KVA	480 V	3	IT 29	20A	(4) #12, #12 EG IN 3/4"C	MDP	23,25,27	PROVIDED WITH FACTORY INSTALLED DISCONNECT SWITCH
UH-9	UNIT HEATER	-	5 KVA	480 V	3	STORAGE 31	20A	(4) #12, #12 EG IN 3/4"C	MDP	34,36,38	PROVIDED WITH FACTORY INSTALLED DISCONNECT SWITCH

EDGE ENGINEERING ARCHITECTURE
 330 W. SPRING STREET, SUITE 350
 COLUMBUS, OH 43215
 614.486.3343
 www.edgeo.com

MCCARTHY CONSULTING, LLC
 84 W. RIVERGLEN DRIVE
 WORTHINGTON, OH 43085
 PHONE: 614.846.7111

MS CONSULTANTS, INC.
 2221 SCHROCK ROAD
 COLUMBUS, OH 43229-1547
 614.898.7100



CENTURY EQUIPMENT
 4199 LEAP ROAD,
 HILLIARD, OH 43026
 PHONE: 614.771.9995

CONSULTANTS

ATHLETIC COMPLEX

6371 SCIOTO DARBY ROAD HILLIARD, OH 43026



3800 VETERANS MEMORIAL DRIVE
 HILLIARD, OHIO 43026

PROJECT NAME
 CLIENT

PROJECT NO. J20211936.000
 Date: 01/31/2023
 Issued for: GMP 3

REVISIONS

TAG	ISSUED	DATE

ELECTRICAL PANEL SCHEDULES

PRELIMINARY
 NOT FOR CONSTRUCTION

E711

SEAL

Sheet Number

PANELBOARD SCHEDULE NOTES:

- BRANCH CIRCUIT BREAKER(S) FEEDING FIRE ALARM AND/OR EMERGENCY COMMUNICATIONS SYSTEMS SHALL BE IDENTIFIED AS REQUIRED BY THE LATEST ADOPTED EDITION OF NFPA 72 ARTICLES 10.6.5.2.2 AND 10.6.5.2.3.
- PROVIDE HACR RATED BREAKERS FOR ALL MECHANICAL EQUIPMENT.
- PER N.E.C. ARTICLE 408.4(A) A NEW TYPED PANELBOARD DIRECTORY CARD SHALL BE PROVIDED FOR ANY AND ALL PANELBOARDS PROVIDED/MODIFIED UNDER THIS CONTRACT. NEW DIRECTORY CARDS SHALL BE LOCATED ON THE INSIDE DOOR OF ASSOCIATED PANELS.
- AT THE CONCLUSION OF WORK, ALL EXISTING CIRCUIT BREAKERS THAT ARE NOT IN USE SHALL BE LABELED AS SPARE IN THE UPDATED TYPE WRITTEN PANELBOARD DIRECTORY AND SHALL BE IN THE "OFF" POSITION.
- NUMBERS IN "NOTES" COLUMN CORRESPOND TO NOTES LISTED AT THE BOTTOM OF THE PANEL SCHEDULE.
- ADDITIONAL REQUIREMENTS AT THE BOTTOM OF THE PANEL SCHEDULE APPLY TO THE ENTIRE PANEL.
- PANELBOARD SCHEDULES FOR EXISTING PANELBOARDS ARE BASED ON VISUAL OBSERVATIONS IN THE FIELD. CONTRACTOR SHALL VERIFY ALL CIRCUITS REQUIRED TO BE RE-WORKED AND/OR MODIFIED UNDER THIS CONTRACT.
 - NEW LOADS ARE IDENTIFIED BY BOLD FACE TYPE WITHIN THE "DESCRIPTION" COLUMN.
 - EXISTING LOADS ARE IDENTIFIED BY NORMAL TYPE WITHIN THE "DESCRIPTION" COLUMN.
 - FOR BOLD FACE TYPE WITHIN THE "TRIP" AND "POLE" COLUMNS, PROVIDE NEW CIRCUIT BREAKER AS INDICATED. ALL NEW CIRCUIT BREAKERS SHALL MATCH EXISTING CIRCUIT BREAKERS IN TYPE AND KAIC RATING.
 - FOR NORMAL TYPE WITHIN THE "TRIP" AND "POLE" COLUMNS, CIRCUIT BREAKER IS EXISTING TO REMAIN.

PANEL ID: MDP															
POWER SUPPLIED FROM: UTILITY MOUNTING: SURFACE ENCLOSURE: PER SPECIFICATIONS				VOLTAGE: 480Y/277 PHASE: 3 WIRES: 4				KAIC RATING: 22 KAIC LUG RATING: 600 A MAIN OCPD RATING: 500A							
NOTES	CIRCUIT DESCRIPTION	TRIP	POLE	CKT	A		B		C		CKT	POLE	TRIP	CIRCUIT DESCRIPTION	NOTES
1	PANEL RP-1 VIA T-RP1	150 A	3	1	4.76 kVA	53.18 kVA					2			MDP-5	
	HOT BOXES	15 A	2	3			5.13 kVA	53.18 kVA			4			EAST PAVILION	
	UH-2	20 A	3	5					4.53 kVA	53.18 kVA	6			WEST PAVILION	
	UH-4	20 A	3	7	1.9 kVA	0.5 kVA					8			UH-1	
	UH-8	20 A	3	9			1.9 kVA	0.5 kVA			10				
	LANDSCAPE BOOSTER PUMP	20 A	3	11					4 kVA	0.5 kVA	12				
	PARKING LIGHTING	20 A	1	13	4 kVA	0.5 kVA					14				
	(SPACE)			15			4 kVA	4 kVA			16				
	(SPACE)			17					2.67 kVA	4 kVA	18				
	(SPACE)			19	2.67 kVA	4 kVA					20				
	(SPACE)			21			2.67 kVA	2.67 kVA			22				
	(SPACE)			23					1 kVA	2.67 kVA	24				
	(SPACE)			25	1 kVA	2.67 kVA					26				
	(SPACE)			27			1 kVA	1 kVA			28				
	(SPACE)			29					3.88 kVA	1 kVA	30				
	(SPACE)			31	3.88 kVA	1 kVA					32				
	(SPACE)			33			3.88 kVA	1.67 kVA			34				
	(SPACE)			35					1.8 kVA	1.67 kVA	36				
	(SPACE)			37	3.2 kVA	1.67 kVA					38				
	(SPACE)			39							40	1	20 A	PARKING LIGHTING	
	(SPACE)			41							42	1	20 A	PARKING LIGHTING	
	(SPACE)			43							44	1		(SPACE)	
	(SPACE)			45							46	1		(SPACE)	
	(SPACE)			47							48	1		(SPACE)	
	(SPACE)			49	0 kVA						50	1		(SPACE)	
	(SPACE)			51			0 kVA				52	1		(SPACE)	
	(SPACE)			53							54	1		(SPACE)	
	SPD	30 A	3												
Total Amps:					306.7 A		304 A		303 A						
Total Load:					84.92 kVA		84.19 kVA		83.80 kVA						
LOAD CLASSIFICATION:					CONNECTED LOAD	DEMAND FACTOR	ESTIMATED...	PANEL TOTALS							
HVAC					76221 VA	125.00%	95277 VA	kVA (CONNECTED): 253.0 kVA							
LIGHTING					11754 VA	125.00%	14693 VA	kVA (ESTIMATED DEMAND): 275.0 kVA							
MISC.					159652 VA	100.00%	159652 VA	CURRENT (CONNECTED): 46.0 A							
Other					160 VA	100.00%	160 VA	CURRENT (ESTIMATED DEMAND): 46.2 A							
RECEPTACLE					5220 VA	100.00%	5220 VA								
NOTES:														ADDITIONAL REQUIREMENTS:	
1. REFER TO ONE LINE DIAGRAM FOR CONDUCTOR AND CONDUIT SIZE.															

PANEL ID: RP-1															
POWER SUPPLIED FROM: T-RP1 MOUNTING: SURFACE ENCLOSURE: PER SPECIFICATIONS				VOLTAGE: 208Y/120 PHASE: 3 WIRES: 4				KAIC RATING: 10 KAIC LUG RATING: 225 A MAIN OCPD RATING: 225 A							
NOTES	CIRCUIT DESCRIPTION	TRIP	POLE	CKT	A		B		C		CKT	POLE	TRIP	CIRCUIT DESCRIPTION	NOTES
	LTG - BUILDING EXTERIOR	20 A	1	1	0.16 kVA	0.36 kVA					2	1	20 A	REC - CONCESSION (ALT E-1)	
	REC - EWC EAST	20 A	1	3			0.18 kVA	0.36 kVA			4	1	20 A	REC - CONCESSION (ALT E-1)	
	UH-5	20 A	2	5					1 kVA	0.5 kVA	6	1	20 A	EF-1	
	UH-6	20 A	2	7	1 kVA	1.09 kVA					8	1	20 A	REC - EXTERIOR	
	RECEPTACLE	20 A	1	9			1 kVA	0.18 kVA			10	1	20 A	REC - IT 29	
	REC - CONCESSION (ALT E-1)	20 A	1	11					1 kVA	0.18 kVA	12	1	20 A	REC - IT 29	
	TIME CLOCK	20 A	1	13	0.72 kVA	1.08 kVA					14	1	20 A	REC - WOMENS RESTROOM 25	
	REC - IT	20 A	1	15			0.36 kVA	1.15 kVA			16	1	20 A	BUILDING LIGHTING	
	EF-2	20 A	1	17					0.1 kVA	0.36 kVA	18	1	20 A	REC - CONCESSION (ALT E-1)	
	(SPACE)			19	0.16 kVA	0.18 kVA					20	1	20 A	REC - EWC WEST	
	(SPACE)			21			0.5 kVA	1.39 kVA			22	2	20 A	CU-USAHU-1	
	(SPACE)			23						1.39 kVA	24		20 A		
	(SPACE)			25		0 kVA					26	1	20 A	SPARE	
	(SPACE)			27		0 kVA					28	1	20 A	SPARE	
	(SPACE)			29		0 kVA				0 kVA	30	1	20 A	SPARE	
	(SPACE)			31		0 kVA				0 kVA	32	1	20 A	SPARE	
	(SPACE)			33		0 kVA				0 kVA	34	1	20 A	SPARE	
	(SPACE)			35		0 kVA				0 kVA	36	1	20 A	SPARE	
	(SPACE)			37		0 kVA				0 kVA	38				
	(SPACE)			39		0 kVA				0 kVA	40	3	30 A	SPD	
	(SPACE)			41		0 kVA				0 kVA	42				
Total Amps:					40.0 A		43 A		38 A						
Total Load:					4.76 kVA		5.13 kVA		4.53 kVA						
LOAD CLASSIFICATION:					CONNECTED LOAD	DEMAND FACTOR	ESTIMATED...	PANEL TOTALS							
HVAC					7787 VA	125.00%	9734 VA	kVA (CONNECTED): 14.4 kVA							
LIGHTING					1164 VA	125.00%	1443 VA	kVA (ESTIMATED DEMAND): 16.7 kVA							
MISC.					100 VA	100.00%	100 VA	CURRENT (CONNECTED): 46.0 A							
Other					160 VA	100.00%	160 VA	CURRENT (ESTIMATED DEMAND): 46.2 A							
RECEPTACLE					5220 VA	100.00%	5220 VA								
NOTES:														ADDITIONAL REQUIREMENTS:	

CASE 3: PZ-23-16 – DUNLAP HOLDINGS LLC PROPERTY – 4000 PARKWAY LANE

PARCEL NUMBER: 050-002266

APPLICANT: Dunlap Holdings LLC, c/o Cyndie Dunlap, 4000 Parkway Lane, Hilliard, OH 43026; c/o Anthony Kelly, 3599 Chiller Lane, Columbus, OH 43219.

REQUEST: Review and approval of a conditional use under the provisions of Hilliard Code Section 1123.03, 1123.04, and 1123.18(f) for indoor commercial recreation on 1.01 acres.

BACKGROUND:

The site is 1.01 acre located at the northwest corner of Parkway Lane and Lyman Drive. According to the Franklin County Auditor, a 10.260-square-foot building was constructed on the site in 1975. On November 13, 2003, the Planning and Zoning Commission approved an M-5 plan modification, a Cemetery Road Corridor Overlay District plan, and a conditional use for the expansion of an existing building with wholesale business and warehouse uses. On November 20, 2003, the Board of Zoning Appeals approved a variance for the building setbacks, lot coverage, interior parking lot landscaping, and screening to accommodate that expansion. That approved expansion was never constructed.

On April 12, 2018, the Planning and Zoning Commission approved minor changes to a Level “B” site plan to permit a 4,224-square-foot building addition. As part of that expansion the Board of Zoning Appeals also approved an expansion of the non-conforming warehouse use and a variance to reduce the front building setback for the addition to the former Sports Imports building on April 19, 2018.

The applicant is now requesting approval of a conditional use to permit indoor commercial recreation.

COMMISSION ROLE:

The Commission is to review the proposed conditional use for conformance to the provisions of Hilliard Code Sections 1123.03, 1123.04, and 1123.18(f). Conditional uses differ from permitted uses in that they may have a greater impact on the surrounding area and thus require special review and approval. The Commission is to ensure that the proposal will be compatible in this location. In considering the application, the Commission may impose such requirements and conditions as the Commission may deem necessary for the protection of adjacent properties and the public interest. Following a recommendation on the conditional use from the Commission, the application will be forwarded to City Council for a final decision.

Conditional Uses differ from permitted uses in that they may have a greater impact on the surrounding area and thus require special review and approval. The Commission is to ensure that the proposal will be compatible in this location. In considering the application, the Commission may impose such requirements and conditions as the Commission may deem necessary for the protection of adjacent properties and the public interest using the following review criteria as provided in Section 1123.03:

- That the proposed use will be consistent with the intent and purposes of the zoning code and the Comprehensive Plan and is compatible with the character of the general vicinity.
- That the proposed use complies with applicable requirements of the zoning code, except as specifically altered in the approved conditional use.
- That the proposed use and site layout will not impede the orderly development of the surrounding property for uses permitted in the district. Due consideration will be given to the location and height of proposed buildings and structures, location and type of proposed fences or walls, location and screening of parking areas, and the location and type of proposed landscaping.
- That the area and proposed use will be adequately served by essential public facilities and services, as applicable, such as highways, streets, police, and fire protection, drainage structures, refuse disposal,

water and sewer. The applicant or landowner will be required to install public utilities, streets or other public infrastructure as required by the city, state or other agencies to applicable specifications that are necessitated by the conditional use development. Dedication of said public infrastructure may be required.

- That the proposed use will not involve uses, activities, processes, materials, equipment or conditions of operation detrimental to any persons, property, or the general welfare by reason of excessive traffic, noise, smoke, fumes, glare, odor or other characteristic not comparable to permitted uses.
- The location and scale of the use, the nature and intensity of the proposed operations, the site layout and the relation of the proposed use to surrounding streets will not cause undue traffic congestion or hazards beyond that which would be normally expected based on the existing pattern of uses and the planned character reflected in the city's Comprehensive Plan.

Following a recommendation on the conditional use from the Commission, the application will be forwarded to City Council for a final disposition. If the conditional use is approved, a parking variance from the Board of Zoning Appeals would be necessary. Following public review, the applicant would be responsible to receive required building permits, fence permit, zoning certificate and certificate of occupancy prior to operation.

STAFF RECOMMENDATION:

Staff finds the proposed conditional use is consistent with the provisions of Hilliard Code Sections 1123.03 and 1123.04. Staff finds that the proposed use generally meets the spirit and intent of the Code and will not negatively impact surrounding properties or the provision of public services. Staff also finds that the proposed training facility is a specialized facility and does not exceed the size and scale limitations within the B-4/I-270 Corridor District. Based on these findings, staff recommends that the Commission forwards a positive recommendation to Council concerning the proposal with the following six conditions:

- 1) That a parking variance is obtained from the Board of Zoning Appeals concerning the proposed conditional use;
- 2) That the indoor commercial recreation area is limited to lacrosse and soccer training, that no spectators or matches/events are permitted and that training sessions are not permitted during regular weekday office hours;
- 3) That the 8,319-square foot indoor commercial recreation space (including weight/speed training and lacrosse/soccer training) is limited to a maximum of 20 persons;
- 4) That the existing dumpster pad on the south side of the building is screened per Code and that the required fence permit is obtained prior to installation;
- 5) That the approved 2018 landscape plan is revised consistent with the Hilliard Design Manual to specify proposed trees and shrubs and that landscaping is installed prior to operation;
- 6) That should the proposed use create traffic congestion issues within the public right-of-way, the conditional use approval may be reconsidered by City Council.

CONSIDERATIONS:

- **Site Overview.** The site and surrounding properties are zoned B-4, I-270 District. The proposed office and retail uses are permitted in this zoning district. The indoor commercial recreation component is a conditional use. To the north is an existing Wendy's restaurant. To the west is an existing Sheetz gas station/convenience store. To the east, across Lyman Drive, is Tim Horton's restaurant. To the south, across Parkway Lane, are commercial businesses. Access to the site is from an existing curb cut on Parkway Lane. Parking is located on the south side of the building. 5-foot-wide sidewalks exist along the site's Parkway Lane and Lyman Drive frontage.

- **Recreation/Leisure Criteria.** In addition to the general criteria for conditional uses, Section 1123.18(f) includes the following specific recreation and leisure criteria for uses within the B-4, I-270 Corridor District:
 - ✓ To avoid large, single tenant uses that detract from the intent of the B-4, I-270 Corridor District, assembly and performance halls, clubs and lodges, community and senior centers and indoor commercial recreation uses shall be limited to no more than 10,000 square feet of gross floor area for a single tenant building, unless otherwise approved as part of a conditional use.
 - ✓ If part of a larger principal use, health and fitness facilities are limited to no more than 25% of the gross floor area of the principal use, unless otherwise approved as part of the conditional use.
- **Additional Code Criteria.** Code Section 1123.04 also states that reasonable conditions may be imposed on the approval of a conditional land use to achieve the following:
 - (1) Ensure public services and facilities affected by the proposed use or activity will be capable of accommodating increased service and facility loads necessitated by the proposed use.
 - (2) Ensure that the use is compatible with adjacent conforming land uses and activities.
 - (3) Protect natural resources; the health, safety, and welfare; and the social and economic well-being of those who will use the land or activity under consideration, the residents, business owners and landowners immediately adjacent to the proposed use or activity, and the community as a whole.
 - (4) Relate to the valid exercise of the police power and purposes which are affected by the proposed use or activity.
 - (5) Meet the purpose of the zoning code, be in compliance with the standards established in the code for the land use or activity under consideration and be in compliance with the zoning district standards.
- **Proposed Use.** The site includes an existing 14,484-square-foot building that was formerly used for office and warehouse uses as Sports Imports. This proposal includes a request for conditional use to permit the incorporation of a 4,224-square foot lacrosse training facility that will not permit spectators and an additional weight and speed training area that includes an additional 4,095 square feet. This 8,319-square foot recreational training component by Building Code permits an occupancy level of 167 people.
- **Business Plan.** The applicant has indicated that the office and retail uses will include a total of 10 employees during normal business hours. During evenings a total of 3 retail employees and 10 to 11 persons scheduled for training will be present. No spectators are permitted for the training sessions and no games are to be played in the facility as identified by the applicant. The weekend schedule will also include 3 retail employees and 10 to 11 persons scheduled for training throughout the day. Expected parking needs at all times are estimated at 10 to 13 spaces and attendees for training are expected to be picked up and dropped off. A general schedule has been provided by the applicant that outlines this expectation.
- **Parking Requirements.** The site currently accommodates up to 27 spaces (including the loading dock spaces) and could be re-striped to provide 29 spaces per Code. Based on the proposed floor plan, the Zoning Code requires the following level of parking for which a variance will be necessary from the Board of Zoning Appeals. While the Building Code establishes occupancy for “assembly” spaces at 167 for this proposal, it is not intended to use as an assembly space for large groups of people:

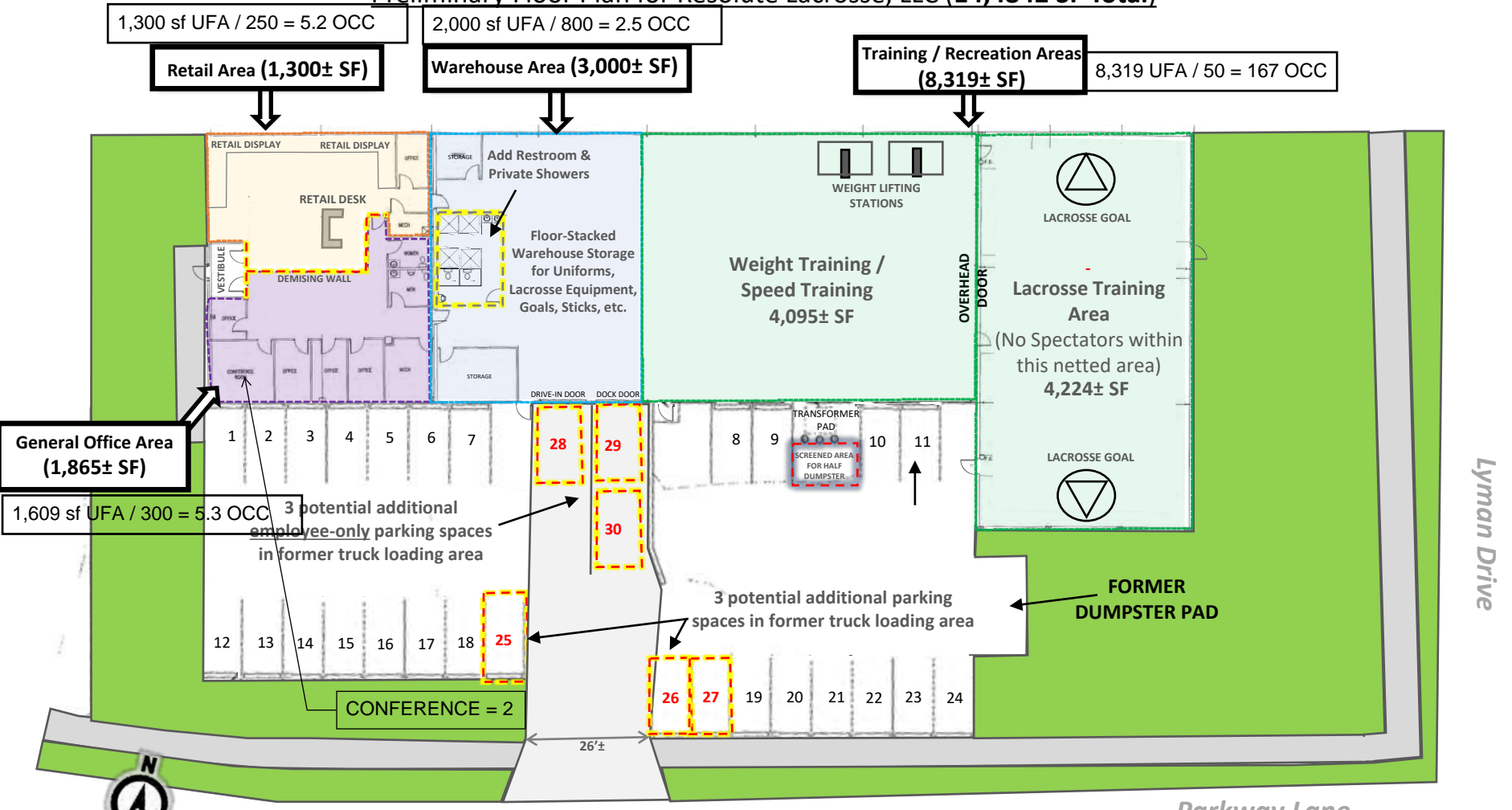
Building Space	Parking Requirement	Square footage	Spaces Required
Office	1 per 300 sf UFA	1,609 sf UFA	5.36
Retail	1 per 250 sf UFA	1,300 sf UFA	5.20
Warehouse/Storage	1 per 800 sf UFA	2,000 sf UFA	2.50
Training/Recreation	1 per 3 persons per max occupancy	8,319 sf (167 occupancy*)	55.67
			68.73 (69 spaces)

*maximum occupancy according to the Building Code provisions for assembly uses

- **Landscaping.** In 2018 the site was approved for a building expansion that included an approved landscape plan that is not fully implemented as required by Section 1125.04 of the Code. Staff recommends that the required landscaping is installed prior to operation. This should include submission of revised plans that include shrubs around the building addition and street trees along Lyman Drive and Parkway Lane.
- **Lighting.** The proposed conditional use is not modifying the site and no changes are proposed to the existing site lighting.
- **Access & Service.** The Zoning Code requires dumpsters to be adequately screened. The existing dumpster pad which has been added recently does not include required service area screening and must be brought into compliance with the Code.
- **Signage.** No identification signage has been proposed at this time. All signage will comply with Code or be brought back to the Commission for consideration.

[END OF REPORT | PZ-23-16]

Preliminary Floor Plan for Resolute Lacrosse, LLC (14,484± SF Total)



PARKING SPACE TALLY ASSUMING 'A' USE

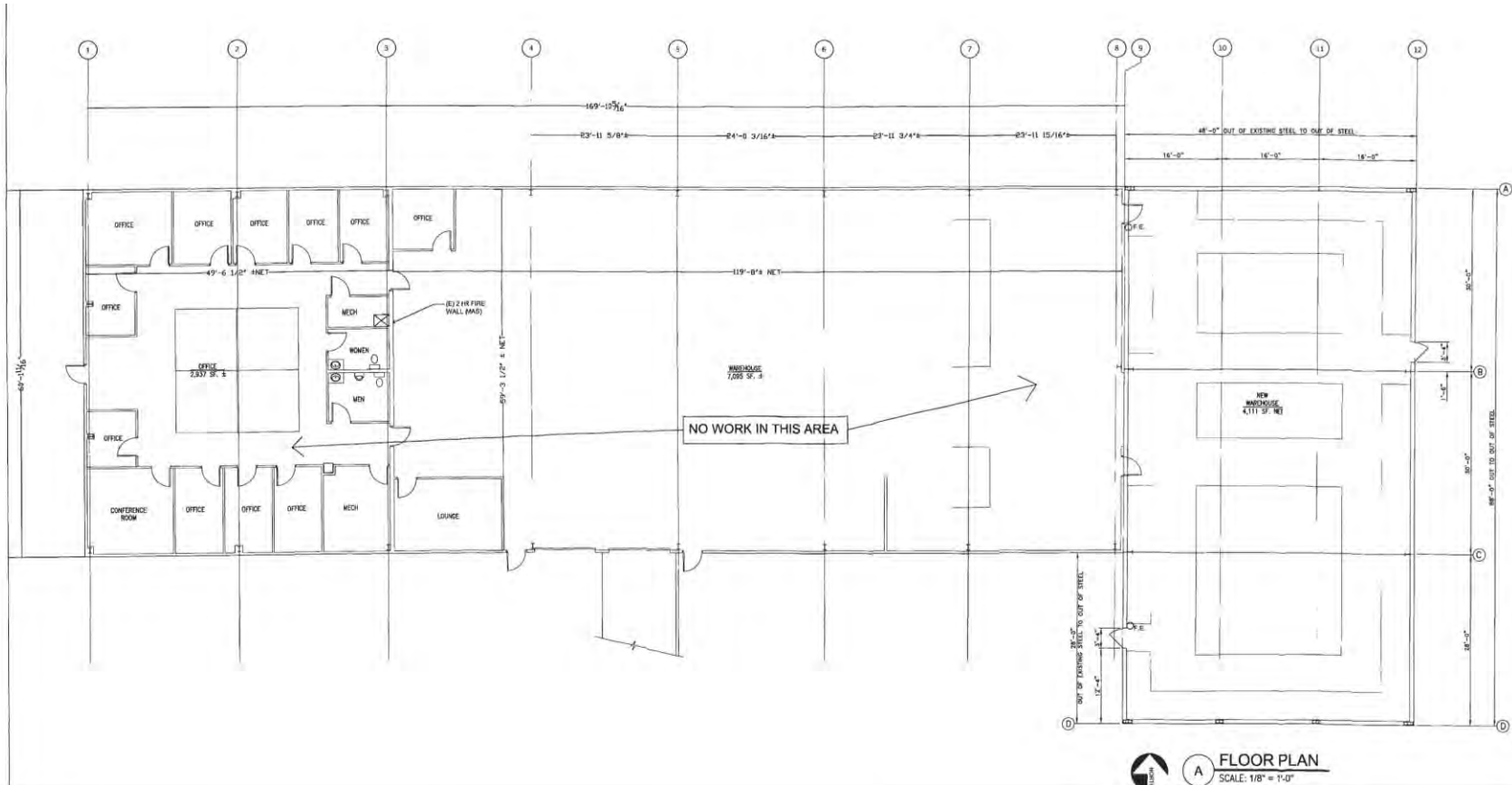
+ 5.2
+ 5.3
+ 2
+ 2.5
+ 167/3 = 56
= 71 PARKS

- Automobile Parking (no semi-trucks will be used)**
- 24 Existing Spaces
 - 30+ Potential Spaces by using 6 already-paved, underutilized, existing parking areas

The information contained herein has been obtained from sources we deem reliable. We have no reason to doubt its accuracy, but we do not guarantee it.

4000 Parkway Lane
Hilliard, OH 43026

Existing Floor Plan



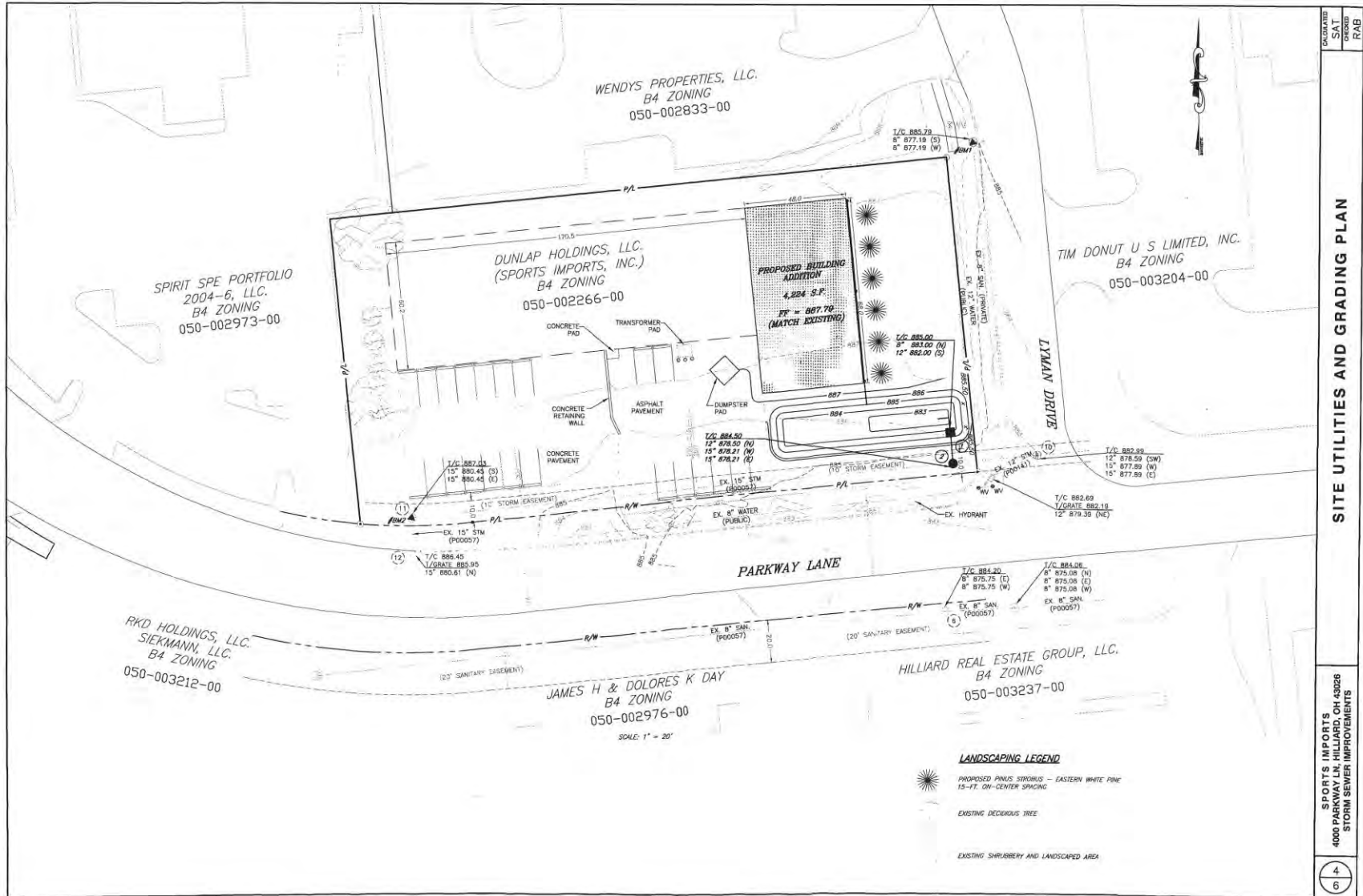
DESIGNNetwork
Discover, I
411 follows avenue, west jafferson, ohio 43162

REVISIONS	

DATE: 3.1.20
JOB NUMBER: 172!
SHEET NUMBER: A1

4000 Parkway Lane
Hilliard, OH 43026

Existing Site Plan Showing 22 Auto Parking Spots (although today we estimate the property already has 24 to 30 existing auto parking spots)



4000 Parkway Lane
Hilliard, OH 43026

Aerial Photo Showing New Dumpster Location That Now Allows for 24 Current & Existing Auto Parking Spaces



4000 Parkway Lane – Conditional Use for Resolute Lacrosse

Who is Resolute Lacrosse:

Based in Columbus, Ohio [Resolute Lacrosse](#) is a leader in athletic training and development for various sports, with a focus on lacrosse. Founded in 2009 by Ohio State varsity lacrosse alumni and Major League Lacrosse all-stars Greg Bice and Anthony Kelly, Resolute Lacrosse hosts position clinics, training sessions, individual lessons, coaching clinics, elite teams & camps! Resolute Lacrosse offers high level coaching and training by equipped and knowledgeable coaches.

The owners of Resolute Lacrosse are also part owners of [The Resolute Athletic Complex \(RAC\)](#) at Easton, which is a 74,000 athletic facility. The RAC offers a variety of options to serve central Ohio for athletic training and play, school field trips, birthday and team parties, fundraisers, and corporate team events. The RAC offers three indoor turf fields, a small-group training area, a fitness center as well as an upper-level mezzanine for spectators and a dedicated gathering area. The intention is to keep this location as the primary use facility and add 4000 Parkway Lane as a secondary location to facilitate back-office operations as well as small events and reduced size training sessions.

Why Resolute Lacrosse chooses 4000 Parkway Lane for their 2nd location:

Resolute Lacrosse is just a small piece of what makes the Resolute Athletic Complex (RAC) at Easton operate successfully. The RAC facility is primarily (85%) soccer teams playing in in-house leagues as well as youth soccer clubs. Resolute Lacrosse currently rents space from the RAC for limited times during the winter to host indoor box lacrosse leagues and tournaments, box elite team practices and our high school leagues. The intention is to continue to use the RAC for these larger spectator and player-heavy events and relocate to 4000 Parkway Lane lacrosse operations, office employees, warehousing of uniforms/equipment and utilize additional training areas for our athletes. The addition of a lacrosse-focused retail space is also envisioned for the new facility to provide an added advantage for athletes. 4000 Parkway Lane also provides Resolute Lacrosse with a dedicated space for athletes to work on positional training, small group learning and individual training sessions. This will include on-field training as well as off-field training such as weight and speed work.

The operations envisioned for 4000 Parkway Lane will be vastly different from the current operations of the RAC at Easton. The RAC has an estimated 300,000 visitors/players each year. With three full-sized indoor fields, and mainly operates league play with roughly 30+ people on each of the 3 fields, every hour each evening.

The goal of the new training space at 4000 Parkway Lane is to utilize off-peak hours for small group training for athletes of all ages. Operations will occur on weekday evenings from roughly 4:00 PM until 10:00 PM. On weekends the training space will operate from roughly 8:00 AM until 10:00 PM.



Never stop. Never quit. Be Resolute

The employee office area will only be used weekdays from 8:00 AM until 3:00 PM by 7 full-time staff. During those hours there will be approximately 7 to 10 cars regularly parked in the lot, and additional spots would only be used in the rare event of an onsite meeting.

Facilities Management:

4000 Parkway Lane currently has 24 existing parking spaces. Future plans include limiting the occupancy of the building so that parking needs do not exceed existing spaces at any given time. There is also a plan in place to create 6+ additional parking spaces by restriping the asphalt/concrete areas that already exist. We are confident that we will not need more parking spaces than the ones that already exist. Please note that the building currently has a dock door and a drive-in door which will not be utilized as there is no use for semi-trucks or large vans. In the unlikely event additional parking is needed, the truck loading and truck maneuvering areas can be used for additional designated parking areas for facility staff.

Please see the attached schedule for an overview of what foreseen daily operations would look like in terms of parking lot usage. We anticipate that no more than 20 parking spots will ever be in use simultaneously. If the space does have what we estimate to be approximately 24 to 30 existing parking spaces, there should be a cushion in the unlikely event of the temporary need for additional parking. Additionally for training purposes, we will use the space for athletes only, eliminating spectators and thereby freeing up additional parking. We will encourage all patrons to both carpool and simply drop off and pick up their athletes, which will also help reduce the number of vehicles in the parking lot.

Benefits to the Community:

Resolute Lacrosse has had a presence in central Ohio since 2009. Through the last 14 years, it has been our primary priority to help develop athletes into better people. Athletic training is secondary to improving character, integrity and purpose. We also are proud to offer a facility with numerous opportunities for personal and athletic growth, community collaboration and a safe place for student athletes. Although our mission is to serve others, we are filled with gratitude for the profound positive impact that the greater Columbus athletic community has had on our personal lives. In this spirit, our goal with the new space is to continue to give back by expanding current opportunities to reach additional communities, impact more athletes and provide greater training services. We are proud to make a new home for our business in Hilliard and look forward to the mutual benefits that will accompany this new partnership.



Never stop. Never quit. Be Resolute

Resolute Lacrosse, LLC

Estimated Auto Parking Spaces Needed at 4000 Parkway Lane, Hilliard, OH

WEEKDAY SCHEDULE		
WEEKDAY - DAYTIME (8:00 AM to 4:00 PM)		
Area of Facility	Time	Cars
Office Space	8:00 AM - 3:00 PM	7
Training / Recreation Space	8:00 AM - 3:00 PM	0 - Space will not be used
Possible Retail	11:00 AM - 7:00 PM	3 (1 Employee & 2 reserved parking spots for customers)
		TOTAL ESTIMATED PARKING SPOTS USED: <u>10 to 12</u>

WEEKDAY - EVENINGS (3:00 PM to 10:00 PM)		
Area of Facility	Time	Cars
Office Space	3:00 PM - 10:00 PM	0 - No office workers in evening
Training / Recreation Space	4:00 PM - 10:00 PM	10 - 11 per session with a 15 minute transitional period between groups
Possible Retail	11:00 AM - 7:00 PM	3 (1 Employee & 2 reserved parking spots for customers)
		TOTAL ESTIMATED PARKING SPOTS USED: <u>10 to 13</u>

WEEKEND SCHEDULE		
WEEKEND - ALL DAY (8:00 AM to 10:00 PM)		
Area of Facility	Time	Cars
Office Space	N/A - Closed	0 - No office workers on weekends
Training / Recreation Space	8:00 AM - 10:00 PM	10 - 11 per session with a 15 minute transitional period between groups
Possible Retail	11:00 AM - 7:00 PM Saturday	3 (1 Employee & 2 reserved parking spots for customers)
	12:00 PM - 5:00 PM Sunday	3 (1 Employee & 2 reserved parking spots for customers)
		TOTAL ESTIMATED PARKING SPOTS USED: <u>10 to 13</u>

Weekday Training Space Schedule w/ Transition Times	Weekend Training Space Schedule w/ Transition Times
TIME: 4:00 PM - 10:45 PM	TIME: 8:00 AM - 10:00 PM
4:00 to 5:00 - Training Session	8:00 to 9:00 - Training Session
5:00 to 5:15 - Transitional Time	9:00 to 9:15 - Transitional Time
5:15 to 6:15 - Training Session	9:15 to 10:15 - Training Session
6:30 to 6:45 - Transitional Time	10:15 to 10:30 - Transitional Time
6:45 to 7:45 - Training Session	10:30 to 11:30 - Training Session
7:45 to 8:00 - Transitional Time	11:30 to 11:45 - Transitional Time
8:00 to 9:00 - Training Session	11:45 to 12:45 - Training Session
9:00 to 9:15 - Transitional Time	12:45 to 1:00 - Transitional Time
9:15 to 10:15 - Training Session	1:00 to 2:00 - Training Session
10:15 to 10:45 - Clean Up and Close	2:00 to 2:15 - Transitional Time
	2:15 to 3:15 - Training Session
	3:15 to 3:30 - Transitional Time
	3:30 to 4:30 - Training Session
	4:30 to 4:45 - Transitional Time
	4:45 to 5:45 - Training Session
	5:45 to 6:00 - Transitional Time
	6:00 to 7:00 - Training Session
	7:00 to 7:15 - Transitional Time
	7:15 to 8:15 - Training Session
	8:15 to 8:30 - Transitional Time
	8:30 to 9:30 - Training Session
	9:30 to 10:00 - Clean Up and Close

****Please note that most training sessions will take place outside of normal business hours and on weekends****

The information contained herein has been obtained from sources we deem reliable. We have no reason to doubt its accuracy, but we do not guarantee it.



April 26, 2023

Anthony Kelly, Founder
Resolute Lacrosse
3599 Chiller Lane
Columbus, OH 43219

RE: 4000 Parkway Lane

Dear Anthony:

Thank you for providing us the opportunity to advise you on the proposed conditional use you are pursuing for a new lacrosse training facility in Hilliard, OH. We are in receipt of the City's comments as supplied by Dax Hudson, of Lee and Associates, and can offer the following comments to the zoning board.

The property at 4000 Parkway Lane is approximately 14,484 gross s.f. The previous use was warehouse/business and is proposed to be a recreational use as defined in the current zoning code, and a Mixed use occupancy of Business/Warehouse/Assembly use according the Ohio Building Code. This facility is for private training and skill development for lacrosse players. There will be no games played and there will not be any spectators. The occupancy is proposed to be limited due to the nature of the use planned in this building.

- The building as existing appears to be reasonably suited for the proposed use. The owner will need to install a fire barrier within the building to limit the assembly use fire area. We would still need to review HVAC and electrical systems for compliance. Any further improvements would be designed according to current building code requirements.
- The current building is not suppressed at this time. If we separate the assembly space from the business use with a fire barrier, the building will not be required to be sprinklered.
- The Hilliard zoning code classifies the use of this building as recreational use, requiring 1 parking space per every 3 occupants in the training area. The current training space load, as calculated according to the Ohio Building Code, would allow 167 occupants in this training area at one time, as currently planned. However the potential owner of this building intends to have a substantially lower occupancy in the building and will post this reduced occupant load in the building. The anticipated occupancy of this building would not exceed 58 at any one time. They intend to apply for a parking variance to reflect their decreased occupant load. The potential owner also schedules training on a staggered schedule to reduce the amount of car traffic throughout the day.
- The potential owner would be happy to assist in funding the requested ADA curb ramp and would propose to offer \$1,500 to the City for the construction of this ramp

Sincerely,
OHM Advisors

A handwritten signature in blue ink that reads "Jennifer Carney Triplett".

Jennifer Carney Triplett
Architect, Principal



OHM Advisors

580 NORTH FOURTH STREET, SUITE 610
COLUMBUS, OHIO 43215

T 614.418.0600
F 614.418.0614

OHM-Advisors.com

EXP. 12/31/23



Don Schonhardt, Mayor

3800 Municipal Way, Hilliard, Ohio 43026 | Phone 614.876.7361 | www.hilliardohio.gov

**Planning and Zoning Commission
Record of Action
April 12, 2018 Meeting**

The Planning and Zoning Commission took the following action at this meeting:

CASE 6: 18-0358LC – Sports Imports – 4000 Parkway Lane

PARCEL NUMBER: 050-002266

APPLICANT: Dunlap Holdings c/o Jamie Reiser, 4000 Parkway Lane, Hilliard, Ohio 43026.

REQUEST: Review & approval of minor changes to a Level “B” site plan under the provisions of Hilliard Code Chapter 1131 to permit a 4,224-square-foot building addition.

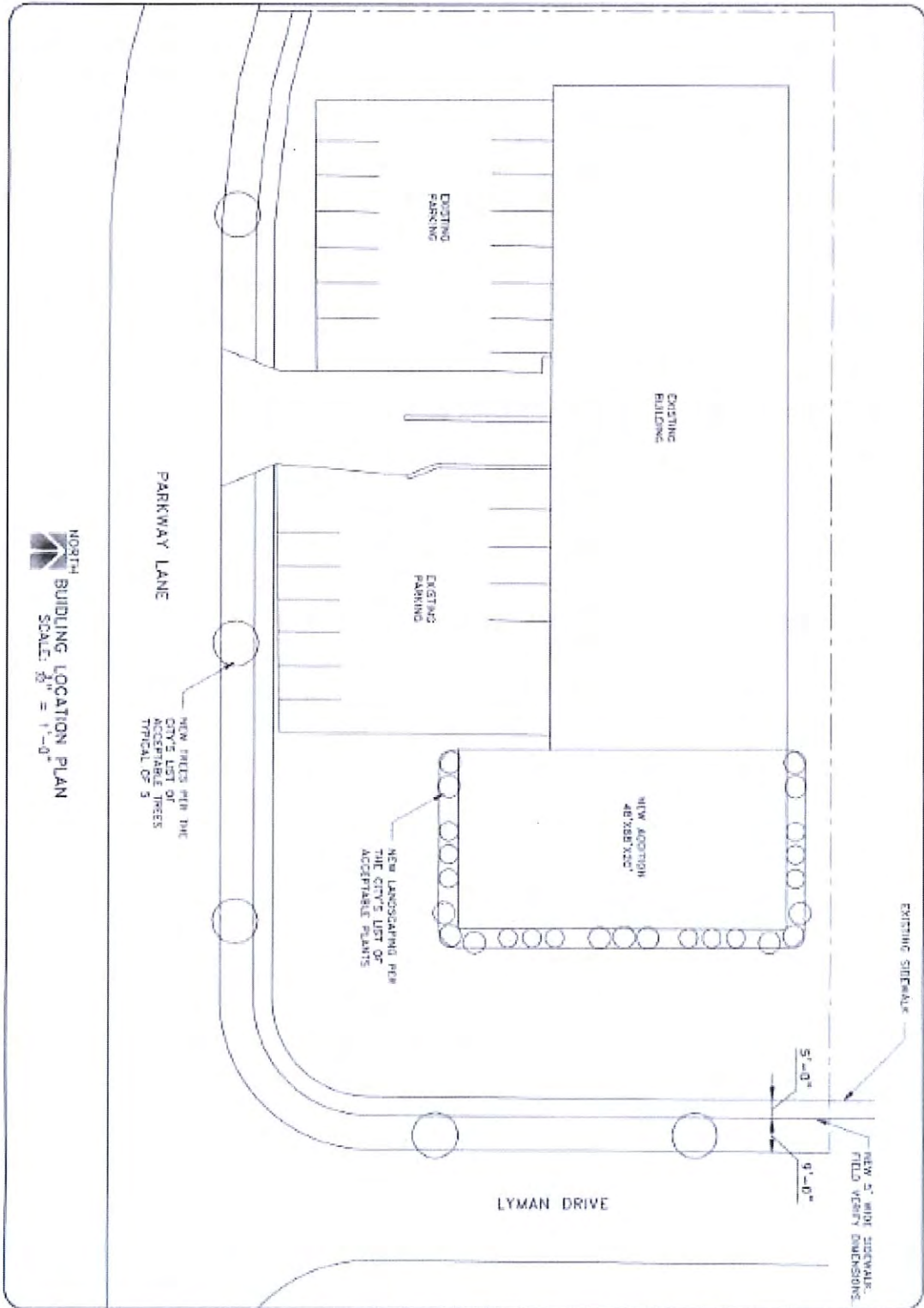
MOTION: Mr. Muether made a motion to approve CASE 6: 18-0358LC – Sports Imports – 4000 Parkway Lane for minor changes to a Level “B” site plan under the provisions of Hilliard Code Chapter 1131 to permit a 4,224-square-foot building addition with the following 5 conditions:

- 1) That Board of Zoning Appeals approval concerning the proposed addition is obtained;
- 2) That public sidewalks meet the City’s specifications and are installed with the building expansion;
- 3) That landscape plans are revised to specify trees and shrubs consistent with Section 12.2 of the Hilliard Design Manual;
- 4) That a site lighting plan demonstrating that all fixtures will be cut-off type and that light trespass onto adjacent properties or rights-of-way will be eliminated is submitted with the application for a building permit; and
- 5) That signage conforms to the provisions of the Zoning Code.

Mr. Bergefurd seconded the motion.

VOTE:

Ms. Nixon	Yes
Mr. Muether	Yes
Chairman Movshin	Yes
Mr. Bergefurd	Yes
Mr. Uttley	Yes
Mayor Schonhardt	Yes



NORTH BUILDING LOCATION PLAN
SCALE: 3/8" = 1'-0"

	DATE: 02/20/19 DRAWN BY: [Name] CHECKED BY: [Name] PROJECT NO: [Number] SHEET NO: 51	DUNLAP HOLDINGS SPORTS IMPORTS 400 PARKWAY LANE WILLARD, OHIO 43086 HAMILTON COUNTY
	[Table with columns for revision, date, and description]	



Don Schonhardt, Mayor

3800 Municipal Way, Hilliard, Ohio 43026 | Phone 614.876.7361 | www.hilliardohio.gov

**Board of Zoning Appeals
Board Order
April 19, 2018 Meeting**

The Board of Zoning Appeals took the following action at this meeting:

CASE 1: 18-0082AC – Sports Imports – 4000 Parkway Lane

PARCEL NUMBER: 050-002266

APPLICANT: Dunlap Holdings c/o Jamie Reiser, 4000 Parkway Lane, Hilliard, Ohio 43026.

REQUEST: Review and approval of expansion of a nonconforming use under the provisions of Hilliard Code Chapter 1137, and a variance from the provisions of Code Section 1111.03(b) to reduce the minimum front yard for a 4,224-square-foot building addition.

MOTION: Mr. Piper made a motion to approve CASE 1: 18-0082AC – Sports Imports – 4000 Parkway Lane for an expansion of a nonconforming use under the provisions of Hilliard Code Chapter 1137, and a variance from the provisions of Code Section 1111.03(b) to reduce the minimum front yard for a 4,224-square-foot building addition with the following 2 conditions:

- 1) That all conditions of Planning and Zoning Commission approval on April 12, 2018 are met; and
- 2) That the minimum building setback is not less than 49 feet from the Lyman Drive right-of-way line and not less than 47 feet from the Parkway Lane right-of-way line.

Mr. Moeller seconded the motion.

VOTE:

Mr. Epling	Yes
Mr. Moeller	Yes
Mr. Piper	Yes
Ms. Mulrane	Yes
Mr. Boshane	Yes
Mr. Donato	Yes

CASE 5: PZ-23-17 – DAYLIGHT DONUTS – 5228 CEMETERY ROAD

PARCEL NUMBER: 050-011463 & 050-011462 (LANDMARK LOFTS SUBDIVISION)

APPLICANT: WRK Development LLC., 250 E. Broad Street, Suite 1100, Columbus, OH 43215; Kohr Royer Griffith Inc., c/o John Royer, 1480 Dublin Road, Columbus, OH 43215; Daylight Donuts, c/o Yaser Alwadeya, 5228 Cemetery Road, Hilliard, OH 43026.

REQUEST: Review and approval of a revised lighting plan to permit decorative outdoor string lights and a revised landscape plan to permit the removal of existing trees on 5.68 acres.

BACKGROUND:

The site is 2.91 acres located at the northeast corner of Cemetery Road and Franklin Street within the Landmark Lofts PUD. On May 9, 2013, the Planning and Zoning Commission approved a comprehensive signage plan for the Landmark Lofts development. On May 14, 2015, the Commission approved a PUD Final Development Plan for a mixed-use development consisting of 204 multi-family dwelling units, a 6,000 square-foot clubhouse, 14,068 square feet of retail/commercial uses, and 404 parking spaces on 6.26 acres. On January 10, 2019, the Commission also approved a sign variance to permit a second wall sign. The applicant is now requesting approval of a revised lighting plan to permit decorative outdoor string lights and a revised landscape plan to permit the removal of existing trees.

COMMISSION ROLE:

The Commission is to review the proposal for conformance to the provisions of Hilliard Code Section 1117.08 and the Landmark Lofts PUD Development Plan and Text. The Code specifically provides the following requirements for making modifications to an approved PUD Final Development Plan, development text or zoning map in Section 1117.06 of the Code:

- The proposed development is consistent with the purpose of the PUD in Section 1117.01;
- The proposed development meets the qualifying conditions as outlined in Section 1117.02;
- The PUD is consistent with the recommendations of the Hilliard Comprehensive Plan;
- The development is compatible with the existing and intended uses surrounding the site;
- The design and layout is harmonious with the natural character of the site and surrounding area and employs best management practices to ensure their conservation;
- The proposed development does not place undue burdens on public facilities and services;
- The PUD includes uses or conditional uses that are not injurious to public health, safety and welfare;
- The development conforms to the requirements of the Code unless specifically modified and approved;
- The final development plan is substantially consistent with the approved Concept Plan for the PUD; and
- Approval will result in a recognized and substantial benefit to the users of the project and the community in a way not otherwise feasible under conventional zoning.

The Commission is also to review the proposal for conformance to the Sign Code provisions of Chapter 1129. Following approval by the Commission, the applicant can move forward with the proposed improvements according to the requirements of the Code and conditions set forth by the Commission.

STAFF RECOMMENDATION:

Staff finds that the proposed string lights are appropriate for patio lighting but are not permitted as part of signage as defined by the Code. Staff finds that the proposal to remove several trees is necessary so that existing signs are readable and can provide reasonable business identification consistent with the purpose of the Sign Code. Based on these findings, staff recommends approval of the proposed plans with three conditions:

- 1) That clear string lights are permitted as accent lighting for the patio areas only;

- 2) That all clear string lights are removed from the side of buildings and signage to comply with the Code Enforcement notice; and
- 3) That a revised landscape plan identifying trees to be removed for sign visibility is submitted along with proposed replacement trees, subject to staff approval.

CONSIDERATIONS:

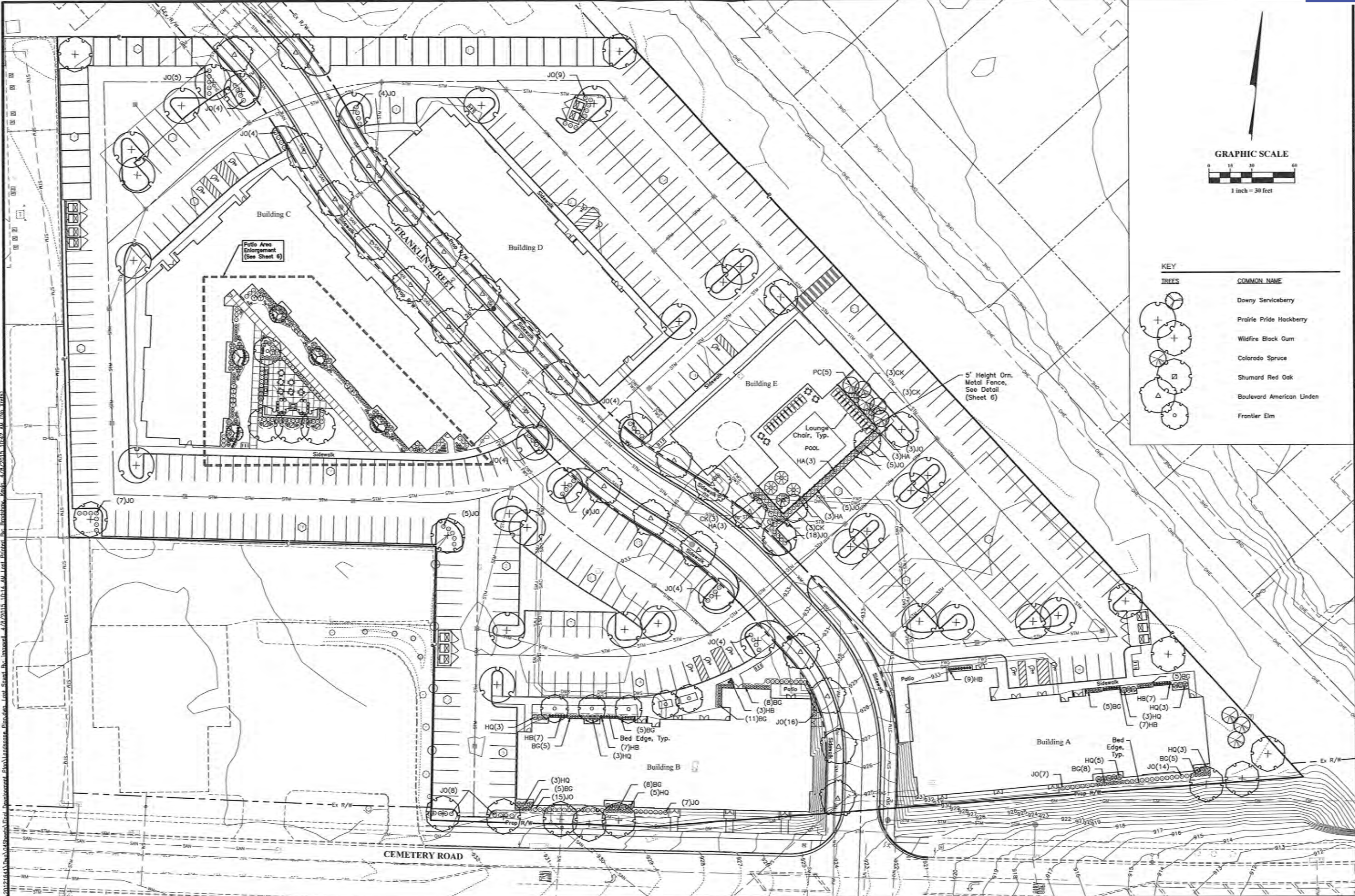
- **Existing Trees.** The PUD Concept Plan for The Lofts did not show trees in the existing locations at the southwest corner of Building “A” or the southeast corner of Building “B”. Building design was revised to include outdoor seating in these areas during the development process, and additional trees and shrubs were included. These trees have matured since installation, and some are visually blocking wall signs on the building. Staff would support the removal of several trees around the patio that are blocking the view of wall signs if replacement trees are provided elsewhere on the site or in the area along the Cemetery Road underpass as an alternative.
- **Approved Sign Plan.** The approved Comprehensive Sign Plan for commercial uses at *The Lofts* permits a maximum of two mounted signs for each tenant space with one sign facing a public street and the other facing the parking lot behind the building. On January 10, 2019, Daylight Donuts obtained a sign variance to permit a second wall sign with the condition that all signs are externally illuminated per the approved Sign Plan. String lights for sign illumination are prohibited by the Sign Code and are not allowed by the PUD text.
- **String Lights.** Building “B” has existing string lights placed around the outdoor seating area for Yabo’s Tacos. Building “A” has string lights placed around the perimeter of the Daylight Donuts wall sign facing Cemetery Road, which has received a violation notice from Code Enforcement. The Sign Code does not permit illumination for signs where the light source such as string lights is not fully concealed. Staff recommends clear string lights for ambiance around the outdoor seating areas for both patio areas be approved, but not to illuminate signage.

[END OF REPORT | PZ-23-17]









KEY

TREES	COMMON NAME
	Downy Serviceberry
	Prairie Pride Hackberry
	Wildfire Black Gum
	Colorado Spruce
	Shumard Red Oak
	Boulevard American Linden
	Frontier Elm

REVISIONS

MARK	DATE	DESCRIPTION

DONALD W. KELLY & ASSOCIATES

CITY OF HILLIARD, FRANKLIN COUNTY, OHIO
 FINAL DEVELOPMENT PLAN
 FOR
LANDMARK LOFTS
CEMETERY ROAD
 LANDSCAPE PLAN

EMHT
 Environmental Management & Technology, Inc.
 Engineers • Surveyors • Planners • Scientists
 5500 New Albany Road, Columbus, OH 43254
 Phone: 614/770-0000
 emht.com

DATE	April 7, 2015
SCALE	1" = 30'
JOB NO.	20121641
SHEET	5/9

S:\2015\21641\Drawings\21641-05.dwg Plot Date: 4/7/2015 10:44 AM Plot By: D:\dwg\jmk\jmk.dwg Plot Date: 4/7/2015 10:44 AM (No. 2)



Don Schonhardt, Mayor

3800 Municipal Way, Hilliard, Ohio 43026 | Phone 614.876.7361 | www.hilliardohio.gov

**Planning and Zoning Commission
Record of Action
January 10, 2019 Meeting**

The Planning and Zoning Commission took the following action at this meeting:

CASE 1: 18-0411LC – Daylight Donuts – 5260 Franklin Street

PARCEL NUMBER: 050-011463

APPLICANT: WRK Development c/o Greg Kitzmiller, 3800 Agler Road, Columbus, Ohio 43219.

REQUEST: Review & approval for a sign variance under the provisions of Hilliard Code Section 1129.08 to permit a second wall sign.

MOTION: Mr. Muether made a motion to approve CASE 1: 18-0411LC – Daylight Donuts – 5260 Franklin Street for a sign variance under the provisions of Hilliard Code Section 1129.08 to permit a second wall sign with the following 4 conditions:

- 1) That wall signage for the tenant space is limited to the existing wall sign on the south elevation and the proposed wall sign on the west elevation, unless otherwise approved by the Planning and Zoning Commission;
- 2) That the size of the proposed wall sign is limited to no more than 29 square feet;
- 3) That illumination for all signs are externally-illuminated per the approved Comprehensive Sign plan; and
- 4) That a sign permit is obtained prior to the installation of any sign.

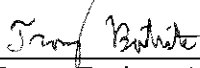
Ms. Nixon seconded the motion.

VOTE:

Ms. Nixon	Yes
Mr. Lewie	Yes
Mr. Muether	Yes
Chairman Movshin	Yes
Mr. Bergefurd	Yes
Mayor Schonhardt	Yes

STATUS: The motion passed 6-0 and CASE 1: 18-0411LC – Daylight Donuts – 5260 Franklin Street was approved for a sign variance under the provisions of Hilliard Code Section 1129.08 to permit a second wall sign with the 4 conditions listed above.

CERTIFICATION:



 Tromy Batiste, Acting Clerk
 January 14, 2019